

THE CONSERVANCY

an addendum to the Westfield-Washington
Township Comprehensive Plan



THE CONSERVANCY ADDENDUM, RESOLUTION 16-100 (adopted _____, 2016)

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OVERVIEW

PURPOSE

This document is an addendum to the [Westfield-Washington Township Comprehensive Plan](#) adopted on February 12, 2007 (Resolution 07-06), as amended, in accordance with I.C. 37-7-4-500 et seq. (the “2007 Comprehensive Plan”). This addendum is to be known as “The Conservancy” addendum and is an update to the 2007 Comprehensive Plan with respect to the geographic area as shown in [Figure 1: Land Use Concept Plan Map](#).

Figure 1: Comprehensive Plan 2007 Land Use Concept Map
(Source: Comprehensive Plan 2007)

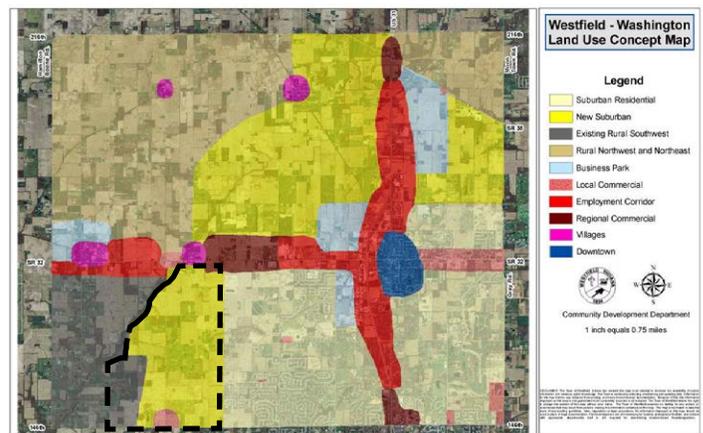
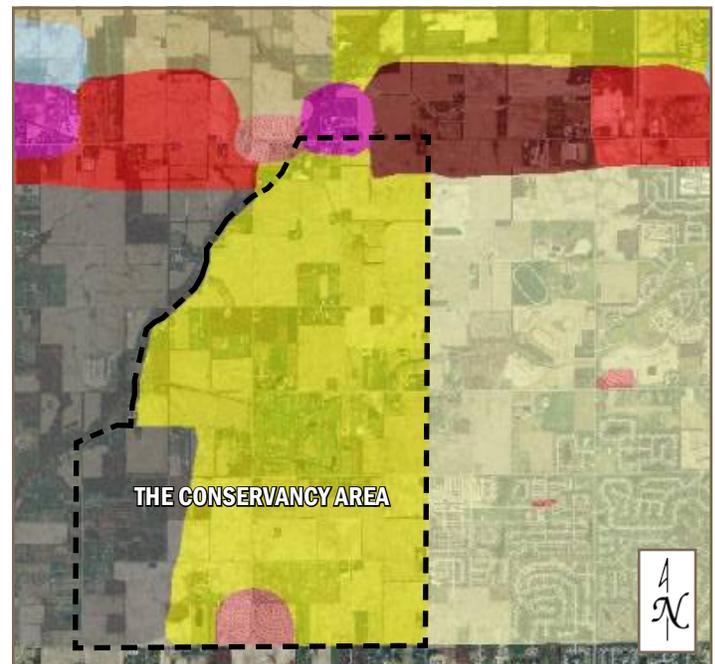


Figure 2: The Conservancy Area
(Source: Comprehensive Plan 2007)



BACKGROUND

Indiana planning statutes provide the purpose of a comprehensive plan is “the promotion of public health, safety, morals, convenience, order, or the general welfare and for the sake of efficiency and economy in the process of development.”

After the plan is adopted, Indiana law mandates that in land use decision making, “each governmental entity within the territorial jurisdiction where the plan is in effect shall give consideration to the general policy and pattern of development set out in the comprehensive plan”.

In addition to serving as a guide for future land use decisions, this addendum will serve as the basis for future development regulations such as the zoning ordinance and the subdivision control ordinance.

Westfield (the “City”) and the unincorporated areas of Washington Township (the “Township”) recorded a joinder on May 11, 1977, in accordance with I.C. 18-7-6 (now I.C. 36-7-4-1200). This joinder established an advisory planning commission with the City’s planning and zoning jurisdiction applying to the entire Township.

CONTEXT

The 2007 Comprehensive Plan provided a general land use vision supplemented with critical land use policies. The comprehensive plan that pre-dated the 2007 Comprehensive Plan contained a parcel-specific map that often created confusion for the public and for decision-makers, as the distinction between comprehensive planning and zoning was blurred.

As a result, the 2007 Comprehensive Plan was intended to be policy and concept oriented as a framework for decision-making. Accordingly, the land use plan (see [Figure 1: Comprehensive Plan 2007 Land Use Concept Map](#)) was intentionally general in nature to not be parcel-specific but rather show overall patterns of future land use.

Since 2007, the City and Township have continued to see significant growth pressures. The City issued a record number of building permits in 2014, which were then exceeded in 2015. As a result, the City initiated a special census in 2015 to better assess the population growth and needs of the community.

One area of the community that has received development pressure is the southwest part of the Township. This development pressure has warranted consideration to update and refine in a more detailed manner the geographic area that encompasses The Conservancy.

Residents in the surrounding area are hopeful this addendum will further define the community’s expectations for The Conservancy and will encourage development that is sensitive to its unique rural and environmental characteristics.

PLANNING PROCESS

The process of preparing this addendum was citizen-driven and involved a series of neighborhood meetings and open houses hosted by a group of citizen and community leaders. The study group members (“The Conservancy Task Group” or “TCTG”) include:

- ▶ Kristen Burkman Westfield Citizen
- ▶ Suzy DuBois Westfield Citizen
- ▶ Steve Hoover City Council
- ▶ Dr. Ginny Kelleher Township Citizen
- ▶ Ken Kingshill Plan Commission
- ▶ Chuck Lehman City Council
- ▶ Cindy Spoljaric City Council
- ▶ Danielle Tolan Township Trustee
- ▶ Dr. Bruce VanNatta Westfield Citizen

The work product and copies of materials discussed as part of the planning meetings and open houses are described in detail within the appendices to this addendum.

Figure 3: TCTG Open House



Figure 4: The Conservancy Area

EXECUTIVE SUMMARY

INTRODUCTION

This document is an addendum to update the [Westfield-Washington Township Comprehensive Plan](#), as amended (the “2007 Comprehensive Plan”), with respect to the geographic area shown in [Figure 4: The Conservancy Area](#), to be known as “The Conservancy”. The Conservancy is bound on the south by 146th Street; Ditch Road on the east; State Highway 32 on the north; and Little Eagle Creek Avenue and Shelborne Road on the west. The Conservancy encompasses approximately four (4) square miles.

PURPOSE

This addendum further establishes a vision for appropriate land uses and various design and aesthetic features of development that will result in an increase in the quality of life for residents, businesses, and visitors of the community.

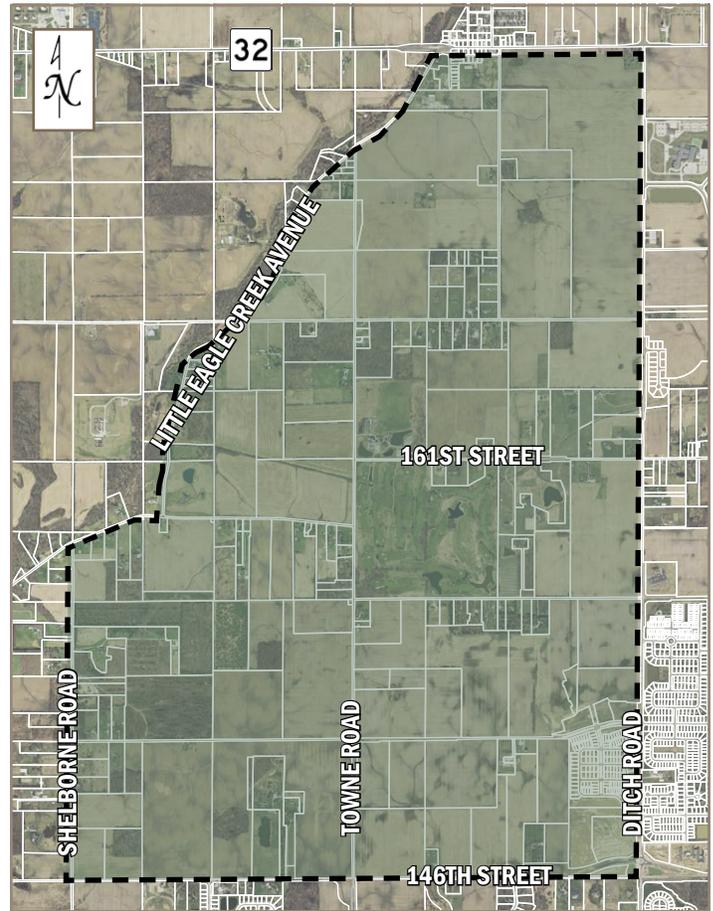
This addendum shall serve as the primary guide for each new development or redevelopment as it pertains to changes of zoning, development plans, subdivisions, and/or variance considerations within The Conservancy. The City recognizes that there may be creative ideas that accomplish the overall vision, but may not meet some of the detailed criteria established in this addendum.

The Conservancy: The conservation of something, especially a lifestyle, wildlife and the environment.

VISION

The Conservancy is a unique area of the community due to its existing topography and large agricultural and equestrian tracts. This area provides a lifestyle choice for residents not found in other areas of the community. As a result, this addendum provides guidance to ensure the existing character of this area is maintained.

The Conservancy will continue to have a rural character that includes natural open spaces (e.g., fields, streams) with the predominant land uses of low-density residential, farmsteads, individual houses on large lots, and equestrian uses. This addendum supports that the character of The Conservancy should essentially remain unchanged.



Existing suburban uses within The Conservancy should maintain considerable green space and perimeter buffering from adjacent uses. While it is expected over time the few remaining large farms may be converted to larger residential lots and smaller artisan farms, the rural character and equestrian nature should be retained with substantial open space.

TASK GROUP REVIEW

Prior to the City’s approval of a development within The Conservancy, it is desirable that each proposed development be reviewed by The Conservancy Task Group (or its designees, successors, or assigns).

The purpose of this review is to ensure compatibility of the development with the vision and direction of the Comprehensive Plan, specifically this addendum, and any subsequent amendments and addenda.

LAND USE CHARACTER AREA CLASSIFICATION

EXISTING CHARACTER

The Conservancy currently includes single-family residences (e.g., farmstead, estate lots, suburban), equestrian uses, artisan farms and commodity farms. It also includes the Little Eagle Creek watershed (on its western boundary), wetlands, rolling topography, and upland woods.

The natural character of the area is enjoyed by residents and visitors alike as a valued community amenity.

Residents who move into rural areas should not expect the same type of environment or the same level of services as the more suburban or urban areas of the community. Public water, sanitary sewer, and storm water drainage facilities may not be immediately available. Farming is a legitimate commercial land use activity that will produce noise, dust and odors, and occasionally will impede traffic.

Artisan Farm: a small farm with owners living on site that produces goods or services for the local table market (not the commodity market). This term includes but is not limited to orchards, tree nurseries, hay, vegetables, and the raising of limited numbers of animals such as horses, llamas, alpacas, sheep, goats, and chickens.

Commodity Farm: large-scale commercial farming producing goods for large markets, rather than small local markets, such as farmers markets or local food stores.



Figure 5.B (Source: TCTG Photo)



Figure 5.C (Source: TCTG Photo)

Figure 5: Existing Character Examples
Figure 5.A (Source: TCTG Photo)



NEW CLASSIFICATION

The Conservancy area was generally identified with the “Rural Residential” and “Suburban Residential” land use character areas in the 2007 Comprehensive Plan, with a node of “Commercial” identified at the intersection of 146th Street and Towne Road (see [Figure 1: Comprehensive Plan 2007 Land Use Concept Map](#)).

This addendum hereby establishes a new land use character area known as “The Conservancy”, as further characterized herein. The Conservancy designation shall apply to the geographic area set forth in [Figure 4: The Conservancy Area](#), which replaces and supersedes the “Suburban Residential” land use character area identified for this geographic area by the 2007 Comprehensive Plan. The Conservancy functions as an extension of the Existing Rural Southwest land use character area.

LAND USES

The Conservancy is an area with newer suburban developments and existing rural areas. The vision of this addendum is for the continuation of the historic rural patterns (single-family houses on large parcels). New development should only occur on large lots consistent with the rural patterns or in rural or conservation subdivisions, as defined in this addendum (see “The Conservancy Subdivisions” on page 17).

EXISTING ZONING

As depicted in [Figure 6: Zoning Map Excerpt](#), The Conservancy Area currently includes land zoned the Planned Unit Development (PUD) Districts of Ackerson Farms, Westgate, Harmony (see [Figure 7: Existing Homes in Harmony](#)) and Towne West.

In addition, the northwest corner of 159th Street and Towne Road is zoned the SF2: Single-Family Low Density District while the remaining areas within The Conservancy are generally zoned the AG-SF1: Agriculture / Single-Family Rural District (the “AG-SF1 District”)(see [Figure 8: Examples of Existing Rural Uses](#)).

Figure 6: Zoning Map Excerpt

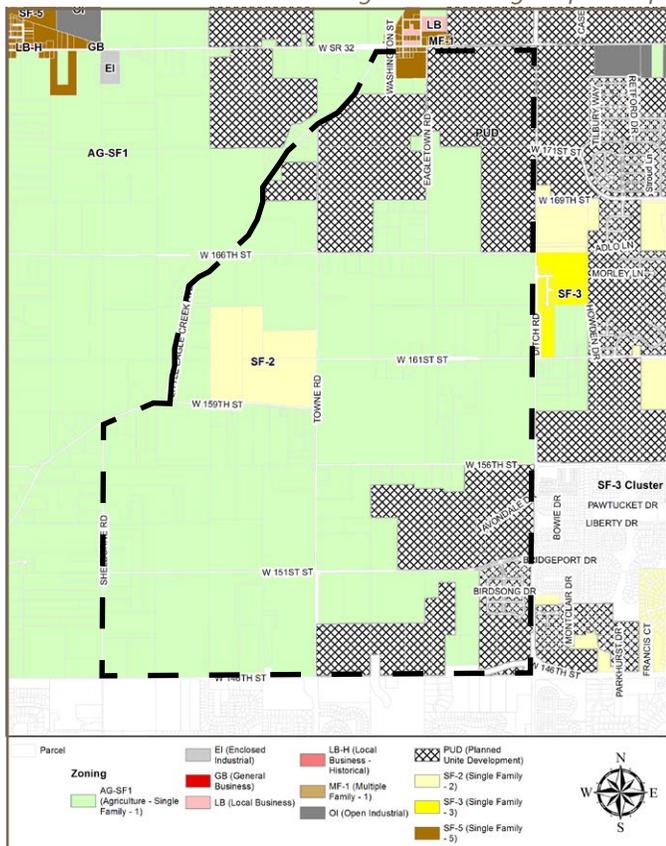


Figure 7: Existing Homes in Harmony
Figure 7.A (davidweekleyhomes.com)



Figure 7.B (coxrealestategroup.com)



This addendum recognizes that land already zoned to allow for “suburban residential” and “commercial” are appropriate transitions from 146th Street, State Highway 32 and Ditch Road; however, new development within The Conservancy should be restricted to lesser intense uses that enhance and encourage the preservation of the natural environment and that is compatible with the rural character and lifestyle.

Figure 8: Examples of Existing Rural Uses
Figure 8.A (Source: TCTG Photo)



Figure 8.B (Source: TCTG Photo)



Figure 8.C (Source: TCTG Photo)



Figure 8.D (Source: TCTG Photo)



Figure 8.E (Source: TCTG Photo)



DEVELOPMENT POLICIES

New suburban residential subdivisions are not appropriate within The Conservancy; rather, low density residential and agricultural uses (e.g., farmsteads, individual houses on large lots, and equestrian uses) should be encouraged.

A. Single-Family Uses: The envisioned long-range gross density is low with rural or conservation subdivisions that result in substantial open space and that utilize low impact development techniques. Allow the continuation of the historic rural patterns (single-family houses on large parcels).

New residential development will be accommodated, but only on large lots consistent with existing patterns or in rural or conservation subdivisions as defined in this addendum (see “The Conservancy Subdivisions” on page 17).

B. Commodity Farms: Large-scale commodity farms (crops and livestock) are subject to eventual change under development pressure. The few remaining large-scale agricultural tracts are still encouraged; however, if developed, then they should be converted to other uses consistent with the rural character established in this addendum.

Equestrian Uses: The use of land for horses, donkeys, or mules including, but not limited to: horse ranches, boarding stables, riding schools and academies, horse exhibition facilities, pack stations, barns, stables, riding arenas (indoor or outdoor), corrals, and paddocks accessory and incidental to the above uses.

C. Agricultural & Equestrian Uses: Agricultural, equestrian and artisan farm uses should continue to be permitted and encouraged to maintain the rural, country-like atmosphere (see [Figure 9: Agricultural & Equestrian Uses](#)).

Figure 9: Agricultural & Equestrian Uses

Figure 9.A (Source: TCTG)



Figure 9.B (Source: TCTG Photo)



Figure 9.C (Source: TCTG Photo)



Figure 9.D (Source: TCTG Photo)



D. Other Uses: Other uses contemplated within The Conservancy include those uses permitted by the Unified Development Ordinance within the AG-SF1 District; however, the following uses are determined to not be appropriate for The Conservancy’s rural character: amusement park, zoo, auction barn, stockyard, cemetery, airport or heliport, kennel, wireless communication service facilities, alternative energy sources for public consumption (e.g., windmills,solar panels).

E. Historic Structures: Preserve historically significant buildings and resources (barns, houses, fences, etc.) that contribute to the rural history and character of the area, where appropriate and possible (see [Figure 10: Historic Structures Examples](#)).

Figure 10: Historic Structures Examples

Figure 10.A (Source: TCTG)



Figure 10.B (Source: TCTG Photo)



Figure 10.C (Source: TCTG Photo)



OPEN SPACE AND RECREATION

Open fields, farms, parks, water bodies, and other open space and recreation areas, whether public or private, are important to the community’s character. The Conservancy includes the Little Eagle Creek watershed (on its western boundary), wetlands, rolling topography, and upland woods.

This addendum encourages low density development. As a result, open space, as envisioned by this addendum, may be a part of individual lots and owned by individuals, or it may be located in common areas owned and maintained by homeowners’ associations.

The protection of primary conservation or natural areas and secondary conservation areas is a priority in this area. New development (individual structures or subdivisions) should protect and promote healthy forests, clean water, open spaces, open views, and wildlife habitats. Sites should be designed and developed to reduce the unnecessary removal of trees on lots and the preservation of mature trees and replacement/reforestation of trees is encouraged.

Primary Conservation or Natural Area: Wetlands, upland woods, orchards, steep slopes, streams, creeks, rivers, wildlife habitat.

Secondary Conservation Areas: Those areas that are buildable but have conservation value, including: mature woodlands, hedgerows, freestanding trees or tree groups, wildlife habitats and travel corridors, prime farmland, groundwater recharge areas, greenways and trails, historic site and buildings and scenic view sheds.

Figure 11: Wildlife Habitats (Source: TCTG Photo)



TRAILS & GREENWAYS

PERIMETER PATHS. The City’s Unified Development Ordinance currently requires proposed development plan or subdivisions abutting an existing right-of-way to install pedestrian paths, jogging paths, and bicycle paths along streets in accordance with the City’s Thoroughfare Plan. As a result, as development occurs within The Conservancy, it is anticipated that eight-foot (8’) wide asphalt paths will be provided (see [Figure 12: Perimeter Paths](#)) along existing thoroughfares.

Figure 12: Perimeter Paths
Figure 12.A: Alternative Transportation Plan Excerpt
(Source: Westfield Thoroughfare Plan)

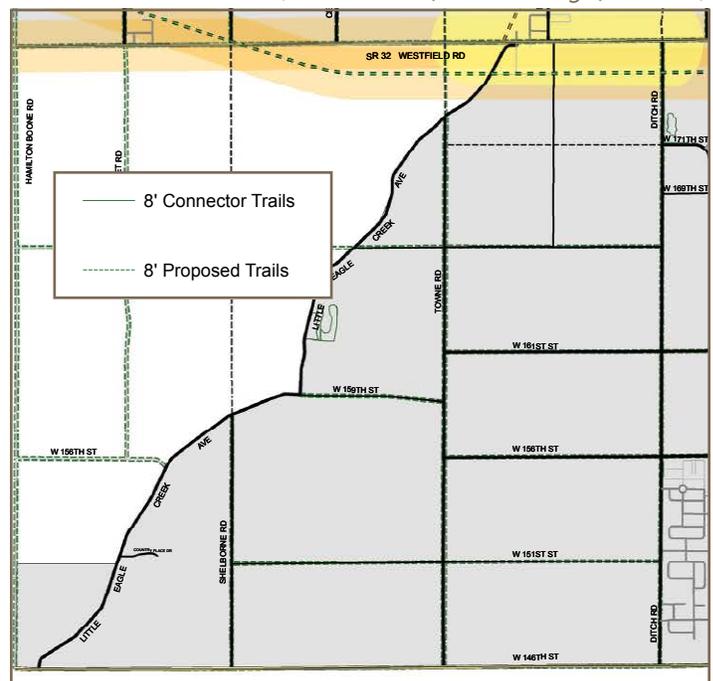


Figure 12.B: Perimeter Path (Source: City Photo)

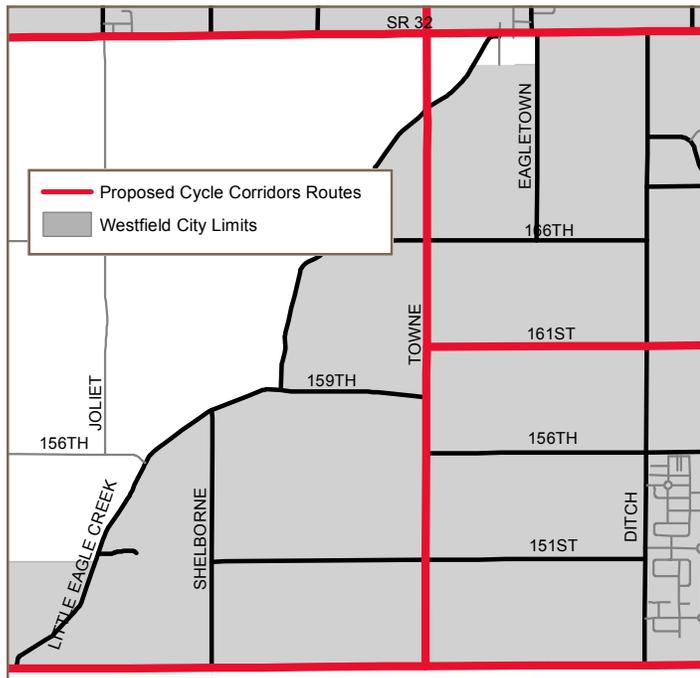


CYCLE TRACKS. The City's Complete Streets Policy was adopted by the Council on January 14, 2013, as Resolution No. 12-114. The Complete Streets Policy is designed to encourage developers, elected officials, government agencies, planners, engineers and architects to use an interdisciplinary approach to incorporate the needs of all users into the design and construction of roadway projects within the community.

The Complete Streets Policy establishes that: (i) complete streets design principles should be considered for all new City roadway construction and reconstruction projects, during all phases of project implementation including planning, design, right-of-way acquisition, construction and engineering; and (ii) complete streets principles should also be considered as part of the development plan review process, the zoning process and the comprehensive planning process.

The designation and enhancement of specific corridors in the community for cyclists was the initial approach to begin implementing the Complete Streets Policy. As a result, the Council adopted an amendment to the City's Alternative Transportation Plan in 2013 that identified specific corridors to facilitate designated travel lanes for cyclists (see [Figure 13: Cycle Corridors Map Excerpt](#)).

*Figure 13: Cycle Corridors Map Excerpt
(Source: Westfield Thoroughfare Plan)*



RAYMOND WORTH PARK

Raymond Worth Park is located within The Conservancy and currently consists of approximately 16.62 acres fronting on Little Eagle Creek Avenue.

*Figure 14: Raymond Worth Park
Figure 14.A (Source: City Photo)*



As delineated in the Westfield Park and Recreation Master Plan, the existing park conditions are characterized as undeveloped with poor connectivity to trails and developed areas of the community; however, the park provides a unique and uncommon opportunity as a nature preserve, including the potential for reforestation through volunteer efforts.

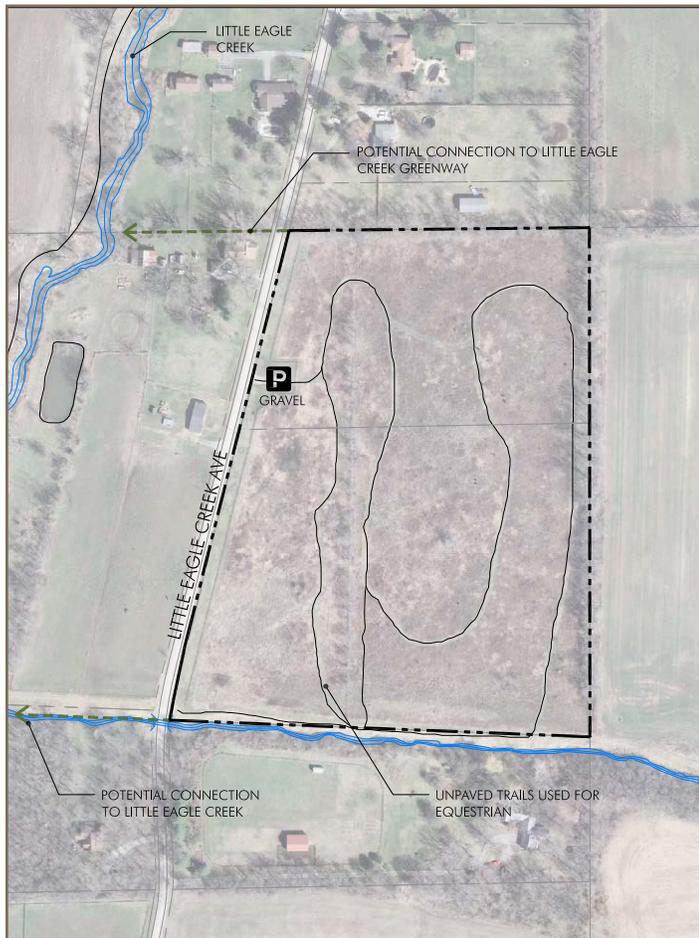
Figure 14.B (Source: City Photo)



This greatest value of this park as an asset is its undisturbed, natural condition, which is consistent with the vision of this area. Anticipated improvements that would further complement the vision of the area include:

- ▶ Primitive camping and camping platforms, which are planned to be available in partnership with the community's Eagle Scouts.
- ▶ Walking paths and trails, observation areas, and possibly nature-type geocaching or a small nature center.
- ▶ Potential pollinator gardening site. A partnership opportunity may exist with the North Central Beekeepers Club (who currently meets at the Cool Creek Park Nature Center).
- ▶ Potential nesting site (e.g., bald eagles, owls, bats) to encourage the preservation of the natural wildlife habitat in the area while providing for educational opportunities.

Figure 14.C (Source: Westfield Park and Recreation Master Plan)



Development surrounding the park should complement and enhance the natural character and view sheds of the park.

GOLF COURSE

A public golf course is currently located within The Conservancy and consists of approximately 206 acres generally located on the east side of Towne Road, between 156th Street and 166th Street.

The Conservancy is ideal for the recreation of golf within the community due to the area's beautiful topography and environmental benefits. The golf course is a valuable recreational asset that attracts visitors to the community and supports youth and local businesses.

The following information supports the continued use and operation of a golf course in The Conservancy:

- ▶ A golf course fits the community's [Family Sports Capital of America](#) strategy by offering recreational opportunities for all ages.
- ▶ The course is one of the busiest in central Indiana averaging around 30,000 rounds annually.*
- ▶ The course provides approximately one hundred (100) jobs over the course of the year.*
- ▶ Over four hundred and twenty-five (425) local youth participate in lessons, leagues, and camps each year, representing one of the largest programs in Indiana.*
- ▶ The course supports vibrant mens', ladies' and senior leagues.*
- ▶ The course is a valuable community partner that annually donates approximately five hundred (500) rounds of golf to local charities, as well as loans golf carts to the schools and parks department.*
- ▶ The course is the home course for the Westfield-Washington School District's boys and girls golf teams.*
- ▶ The course hosts a number of outings and tournaments each season drawing in hundreds of residents and visitors to the community. Charitable earnings from outings held are estimated to exceed \$5 million in the past seven years, which represents millions of dollars going back into the community.*
- ▶ The course is one of six offering the Evans Scholarship Program. Currently ten (10) students are caddying to apply for this scholarship with each scholarship valued at \$80,000.*

Figure 15: Existing Golf Course
Figure 15.A (Source: woodwindgolf.com)



Figure 15.B (Source: woodwindgolf.com)



Figure 15.C (Source: TCTG Photo)



*Source: Cohoat and O'Neal Golf Management

DEVELOPMENT POLICIES

Open space significantly contributes to the distinction between rural and semi-rural areas from the suburban and urban areas of the community. As a result, this addendum is intended to encourage long term conservation and thoughtful design around these areas.

A. Flexibility: Promote flexible design that maximizes open space by regulating gross density rather than minimum lot sizes. This approach will permit a wide range of lot dimensions (area, frontage, setbacks, etc.).

There are several ways to use the conserved open space: maintain it in its natural state, use it as pasture or cropland (see [Figure 17: Maintained Pasture / Cropland](#)), or provide passive or active recreation opportunities (see [Figure 16: Example Recreation Opportunities](#)).

Figure 16: Example Recreation Opportunities
Figure 16.A (Source: chevalnc.com)



Figure 16.B (Source: gatheringwaters.org)



Figure 16.C (Source: mountainx.com)



B. Connectivity: Design open space to form an interconnected network, with provisions for linkages to existing or potential open space and wildlife corridors on adjoining properties (public or private).

C. Preservation: Maintain stream corridors, woodlands, wetlands, hedge rows, and other valuable natural and historic resources as part of the dedicated open space with a priority to protect primary conservation or natural areas and secondary conservation areas (see [Figure 18: Example Natural Areas](#)) (see also [Appendix A](#)).

Figure 17: Maintained Pasture / Cropland (Source: TCTG Photo)



D. View Sheds: Locate open space so as to maintain the visual character of scenic roads (e.g., Little Eagle Creek Avenue, 161st Street) and natural areas.

E. By Design: Open spaces should consist of usable areas or valuable natural areas. Open space should not consist only of land left over in the site plan design process.

Figure 18: Example Natural Areas
Figure 18.A (Source: TCTG Photo)



Figure 18.B (Source: TCTG Photo)



F. Stormwater Management: Open space should be used as an integrated storm water management approach to maintain natural drainage patterns, attenuate water quality impacts, replenish groundwater, and incorporate detention facilities as visual and environmental amenities, or other low impact development techniques.

Low Impact Development: A comprehensive land planning and engineering design approach with a goal of maintaining and enhancing the pre-development hydrologic regime of urban and developing watersheds.

G. Buffering: Use open space, parks, and less intensive land uses as buffers. Where subdivisions (suburban, rural or conservation) are proposed to abut existing rural or agricultural uses, then buffers with a minimum depth of one hundred (100) feet should be required to preserve the rural environment. The use of natural buffers involving reforestation is encouraged (see also [Appendix A](#)).

Reforestation Buffer: A buffer, typically 100 feet or more in width, that is planted in native trees, shrubs, grasses and wildflowers that provide privacy and serve as animal habitats. Reforestation buffers are typically low or no maintenance areas containing a mix of species providing a natural look to the landscape.

1. Reforestation Buffer Plan: The criteria for a restoration buffer plan includes:

- ▶ Should be designed by a Registered Consulting Arborist, Registered Landscape Architect, or the Department of Natural Resources District Forester.
- ▶ Be on a standard reforestation ten (10) foot by eleven (11) foot spacing.
- ▶ In addition to the standard reforestation, two (2) rows of trees with a mix of deciduous (minimum size of two and one half (2.5) inches in caliper) and coniferous (minimum height of ten (10) feet) species should be required. Additionally, one (1) row of native shrubs intermingled all on a standard reforestation ten (10) foot by twelve (12) foot spacing should be planted in the buffer yard.
- ▶ Whips (e.g., nursery stock approximately twelve (12) inches tall) and some larger trees should be planted.
- ▶ Where easements are required and trees are not permitted, then native grasses and

wildflowers should be planted.

- ▶ Reforestation buffers should be preserved within a recorded tree preservation easement. Within the easement, no whips or trees planted should be permitted to be removed unless the tree is damaged, diseased, or dead, or required to be removed to comply with safety requirements of any governmental agency.
- ▶ If a protected tree is damaged or otherwise removed, except as permitted to be removed, then the responsible party should be required to replant the impacted area subject to the availability of space for healthy growth in the easement.

*Figure 19: Examples of Reforestation
Figure 19.A (Source: TCTG Photo)*

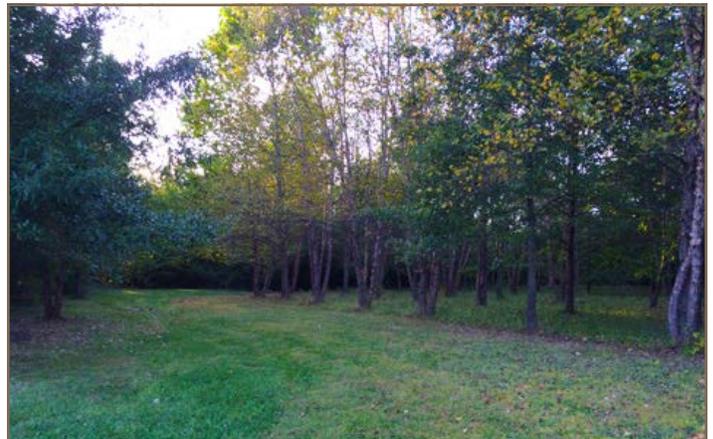


Figure 19.B (Source: TCTG Photo)



THE CONSERVANCY SUBDIVISIONS

The 2007 Comprehensive Plan summarizes two subdivision types: rural and conservation. These two subdivision types are restated and further expanded upon herein and are the only two types of new residential subdivisions that are contemplated by this addendum to be appropriate in The Conservancy.

CONSERVATION SUBDIVISION

Many of the concepts outlined herein for conservation subdivisions can be found in “Conservation Design for Subdivisions: A Practical Guide to Creating Open Space Networks” by Randall G. Arendt.

A. Overview: One of the best ways to achieve preserving rural character is to develop as conservation subdivisions. These subdivision forms allow development of detached single-family homes clustered on smaller lots, but not to exceed a gross density of 0.33 dwelling units per acre.

A conservation subdivision with an increase in density may potentially be considered if it is consistent with and contributes to the rural character of The Conservancy.

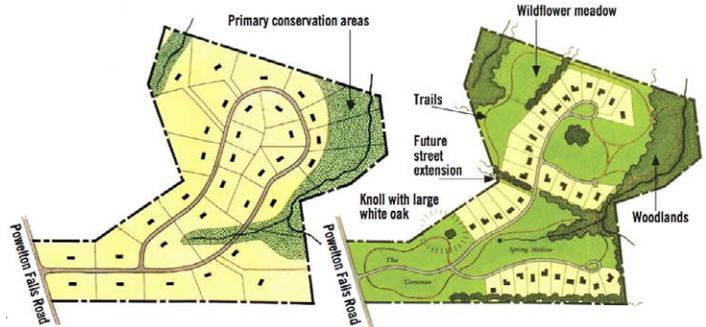
Figure 20: Example Conservation Subdivision
Figure 20.A (Source: Conservation Design for Subdivisions)



Conservation subdivisions allow the location of buildings on land best suited for construction, while permanently preserving valuable resources without changing the gross density permitted on the development site. This creative and flexible subdivision approach encourages building sites with attractive views, both from offsite roads and on-site

buildings; encourages efficiency in the development of roads and utilities (shorter roads because there is less frontage per unit); and contributes to the variety of housing choices.

Figure 21: Traditional v. Conservation Subdivision
(Source: upstatebusinessjournal.com)



B. Considerations: There are other issues which must be considered in the design of a cluster or conservation subdivision. The following highlights the primary issues:

1. **Location of Sewer Treatment Facilities:** Dwelling units may be served by private on-site well and septic systems or public water and sanitary sewer.
2. **Ultimate Use of Open Space:** There are several ways to use the conserved open space: maintain it in its natural state, use it as pasture or cropland, or provide passive or active recreation (see also [Figure 16: Example Recreation Opportunities](#)).
3. **Permanent Protection of Common Spaces:** There are three common ways to permanently preserve conserved spaces: an individual commonly owned lot with a conservation easement, deed restrictions or covenants, or as a part of a privately owned lot that is protected in a similar manner.

C. Design Steps:

1. **Site Analysis Map:** A map of potential conservation areas begins with information available from mapping services. The maps and aerial photos should be used to identify the primary and secondary conservation areas on the site and the features on surrounding properties (see [Figure 22: Example Site Analysis Map \(Step 1\)](#)).

This information should be combined to identify the areas on the site that are the best candidates for preservation/conservation. While it is not an exact process, this step allows the identification of the areas with the most potential to contribute to the rural character of the area.

Primary Conservation or Natural Area: Wetlands, upland woods, orchards, steep slopes, streams, creeks, rivers, wildlife habitat.

Secondary Conservation Areas: Those areas that are buildable but have conservation value, including: mature woodlands, hedgerows, freestanding trees or tree groups, wildlife habitats and travel corridors, prime farmland, groundwater recharge areas, greenways and trails, historic site and buildings and scenic view sheds.

2. **Site Inspection:** The applicant and City should conduct a site inspection to confirm the site analysis map and identify additional unmapped features that may exist. This step is especially important for identifying scenic view sheds.
3. **Conservation and Development Areas Map:** The applicant should provide a map illustrating the areas to be conserved (conservation areas) and the land area available for building sites (development areas)(see [Figure 23: Example Development Areas Map \(Step 3\)](#)). This map will serve as the basis for the final site plan and should designate at least sixty percent (60%) of the site for conservation.
4. **Conservation Plan:** Finally, the applicant should prepare a conservation plan. Because the conservation plan is not driven by a prescribed lot size, the most efficient and rural design can be accomplished by first locating the houses to capitalize on the best views and buffering from the off-site roads. Then the house sites should be connected with roads and trails, which minimize the amount of roads to be developed while still safely providing access to each building. Finally, the lot lines should be drawn. (See [Figure 24: Example Conservation Subdivision \(Step 4\)](#)).

Figure 22: Example Site Analysis Map (Step 1)
(Source: Conservation Design for Subdivisions)

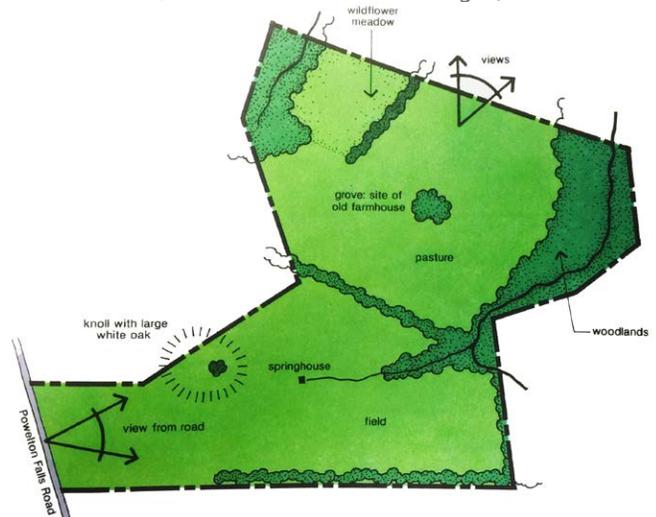


Figure 23: Example Development Areas Map (Step 3)
(Source: Conservation Design for Subdivisions)



Figure 24: Example Conservation Subdivision (Step 4)
(Source: Conservation Design for Subdivisions)



D. Development Policies: Provide for conservation subdivisions that allow for detached single-family homes clustered on smaller lots that generally permits the same gross density of the underlying zoning district (e.g., 0.33 dwelling units per acre) for the overall development. This serves to preserve large areas of open space and historic features. Conservation subdivisions should have the following criteria:

1. **Yield Plan:** A yield plan should be included with each development proposal to illustrate the number of dwelling units that could be built on a parcel of land under the AG-SF1 District standards.

Such analysis should then be considered to determine the appropriate number of total dwellings for a development, without regard to lot sizes. A conservation subdivision should be density neutral to allow for the maximizing of open space and the clustering of homes.

2. **Landscape Architect:** Development should be planned with the involvement of a certified landscape architect.

3. **Substantial Open Space:** A minimum of sixty percent (60%) of the subdivision's gross acreage should be connected open space (see "Development Policies" on page 14).

- ▶ Commonly held and maintained open space. Encouraged to include recreational uses.
- ▶ Greenbelt linkages for wildlife and pedestrians.
- ▶ Perimeter buffering (e.g., 100 feet in width or greater). Encourage use of natural buffers involving reforestation of natural vegetation.

4. **Preserved Primary Conservation Areas:** An inventory of sensitive areas, open space, etc. should be completed prior to any application for development and such proposals should include how the plan enhances such areas.

- ▶ Streams are buffered, pollution is reduced, water quality improves.
- ▶ Preserve natural topography; no mass grading.

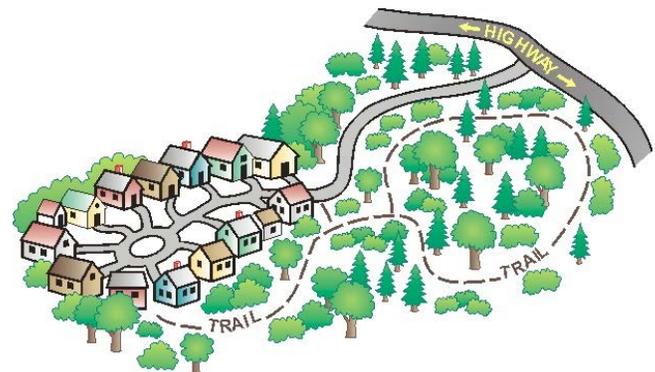
5. Clustering of Homes:

- ▶ Varying lot sizes, dimensions, and setbacks, with a minimum building separation of twenty-five (25) feet but varied throughout the development.
- ▶ Home sites should border open space.

Figure 25: Example Clustering
Figure 25.A (Source: behance.net)



Figure 25.B (Source: www.tcrpc-pa.org)



6. Infrastructure Considerations:

- ▶ Rural street patterns (no curb and gutter, no sidewalks, single-loaded streets).
- ▶ Reduced stormwater runoff, less need for stormwater management facilities.
- ▶ Subdivisions should include standards for development and maintenance of common infrastructure.
- ▶ Low impact development techniques are encouraged (see [City's Construction Standards](#) for examples).

RURAL SUBDIVISION

A. Overview: Where conservation subdivisions primarily cluster homes in exchange for shared open spaces, rural subdivisions serve to preserve large areas of green spaces and historic features on larger residential lots of three (3) acres or more. As a result, preserved open spaces may or may not be held in common ownership.

B. Development Criteria: Provide for rural subdivisions that allow for detached single-family homes on three (3) acres or more per home site. This serves to preserve large areas of open space and historic features. These subdivisions should have the following criteria:

1. Large Homesites:

- ▶ Minimum of three (3) acres lots.
- ▶ Larger open areas serve as preserved open space on individual lots rather than commonly owned areas; however, shared recreational areas are encouraged where appropriate.

2. Shared Private Streets (or driveways):

- ▶ Should include rural street patterns (no curb and gutter, no sidewalks).
- ▶ Subdivisions need to include standards for development and maintenance of common infrastructure.

3. Utilize Natural Topography:

- ▶ Homes and infrastructure (stormwater management, streets, driveways) should be sited utilizing the natural topography with no mass grading.
- ▶ Use of bioswales, rain gardens, etc. is strongly encouraged.
- ▶ Impact on existing vegetation should be minimized and tree inventories and preservation plans should be required, where appropriate for home building pads and infrastructure.

Figure 26: Rural Subdivision Character Examples

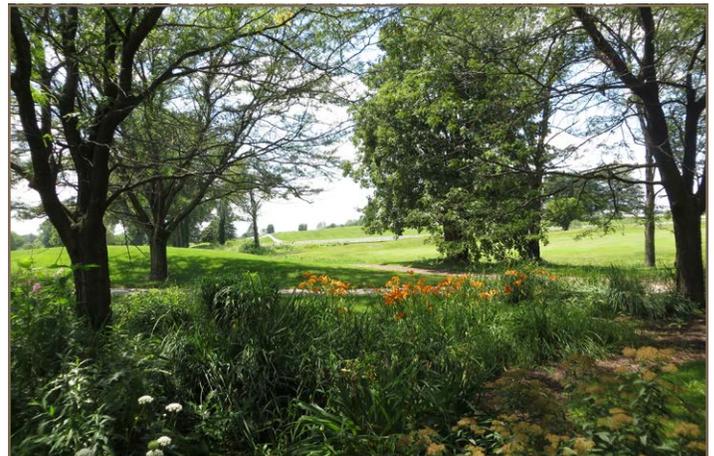
Figure 26.A (Source: TCTG Photo)



Figure 26.B (Source: TCTG Photo)



Figure 26.C (Source: TCTG Photo)



ARCHITECTURAL GUIDELINES

These guidelines are intended to encourage a variety of architectural details and styles that should complement existing natural features and surrounding homes. The following criteria represent the quality design considerations that are important in The Conservancy for houses within subdivisions:

A. Architectural Styles: Traditional architectural styles are preferred as the foundation of design. The design employed should be compatible with traditional architectural styling in terms of make, shape, profile, and proportion. The recommended architectural styles for The Conservancy include Arts & Crafts, French Country, Country Eclectic, English Country, English Tudor, American Farmhouse, Stick, and Shingle.

Figure 27: Example Houses
Figure 27.A (Source: chavalnc.com)



Figure 27.B (Source: Langston Development)



A. Harmonious Elements: A consistent scale should be used throughout the design of the home and other site planning, architecture, and landscaping improvements, with each element designed in proportion to the other elements. Four-sided (360 degree) architecture should be required.

Figure 28: Example Landscaping and Four-Sided Architecture (Source: siepmannrealty.com)



B. Building Massing: The elements of massing and building composition are important to create aesthetically pleasing homes. Simple massing and well-defined traditional details will add an element of distinction to the residence and are strongly encouraged.

C. Exterior Materials: Exterior materials should work in harmony with the natural landscape and shall be substantially of brick, clapboard (including shake shingle) stacked stone, fiber cement siding or hard coat stucco (as appropriate to the style).

Blending materials on the elevation is acceptable; however, if masonry is used on the exterior walls it should terminate only at an inside corner. The same provision should apply to exterior panels of other material such as vertical siding, etc.

Exposed foundations should be finished with brick, stone veneer or stucco. If there is a change of material, then the primary veneer material should cover the main body of the house while ancillary areas may be of a secondary material. The selected building material for the exterior should be used logically and consistently throughout.

Architectural features such as quoin-corners are encouraged as appropriate to the style. Aluminum, vinyl, and steel should not be permitted.

- D. **Windows:** Window shape and style should be traditional in manner and consistent on all sides (elevations) of the residence with a similar treatment of heads, jambs, and sills throughout. When divided-lite windows or window grids are used on the front they shall also be used on the sides and rear of the home. When shutters are used on the front of a home, they should also be used on appropriate windows on the sides and rear.
- E. **Roof Design:** The main roof should have a minimum slope of eight (8) vertical to twelve (12) horizontal. Roof shapes and configuration shall be logical and consistent with the design of the house.
- F. **Roof Materials:** Roofing materials should be of color that complements the natural tones of the area and should consist of shingles (minimum 40-year warranty), cedar shakes, tile, slate, copper, metal or similar permanent roofing.
- G. **Chimneys:** Exterior fireplaces and chimneys should be constructed of all masonry material. Chimneys should be located, designed, and be constructed of a material that is appropriate to the home. Exposed metal flues and wood chases should not be used. Direct vent fireplaces should be allowed only on the side or rear of the home.
- H. **Porches, Patios, and Terraces:** When proposed, porches, patios, and terraces should be designed as integral parts of the home. Materials used in the construction of these elements should be consistent with the rest of the home.
- I. **Gutters and Downspouts:** Gutters and downspouts should be used at all eave lines unless deemed inconsistent with the architectural style. The color of exterior down pipes (except copper downpipes) should blend with the color of the exterior of the home. All rainwater should be piped away from the home unless alternative treatments (i.e. rain barrels, which are strongly encouraged) are incorporated.
- J. **Garages:** Garages may be attached or detached to the home, but they should be fully enclosed and of an architectural design and detailing consistent with the home (carports should not be permitted). Detached garages should only be located in the established rear yard. Side loading or courtyard garages with proper screening, or garages that are accessed from

the side street (for a corner lot) or from a rear lane are expected.

- K. **Streetscape Monotony:** This addendum recognizes that quality in design applies not just to site design or individual homes, but also to the collective impact of an entire development.

Grouping or clustering similar “high quality” individual homes may not achieve a high-quality development because of the potential monotony, resulting in development that is not part of a sensitive and/or high quality overall design.

Additionally considerations to increase variety include varying setbacks as well as placement on lots to achieve views of open space.

Figure 29: Example Streetscape
Figure 29.A (Source: libertyprairie.org)



Figure 29.B (Source: terrain.org)



LANDSCAPING GUIDELINES

Landscaping within The Conservancy should highlight or enhance the property's natural features as much as possible (see also "[Open Space and Recreation](#)" on page 11).

A. General Design: Landscaping should preserve and enhance the overall beauty of properties by maintaining existing vegetation and natural amenities as natural and untouched as possible. Trees of more than 8" caliper are strongly encouraged to be preserved.

- 1. Xeriscaping Preferred:** The use of drought-resistant, native plant materials and landscaping practices in landscape design is strongly preferred to conventional lawn treatments.
- 2. Native Vegetation:** Various hardwoods, dogwoods and pine trees are found within the area, and it is the intent to maintain this landscape integrity. Landscaping indigenous to the area is encouraged (see [Appendix A](#)). A large percentage of the plant material chosen for common areas and public open space should be native with exceptions being granted only for superior species. Similar plant selection is encouraged for the private yards.
- 3. Screening:** Plant material should be used to reduce the scale of high blank walls. All exterior HVAC units, utility meters, outside refuse containers, and satellite dishes should be screened from view. Berms and fencing are discouraged in favor of more natural appearing buffers using native plants.

B. Lot Landscaping:

- 1. Lawn Areas:** Lawns may be grassed with sod or seed. All grass areas must be neatly maintained at all times. Landscaping should always complement the architecture of the residences and provide a warm invitation onto the property and individual home sites. Hardscaped and decorative features that embrace the landscape are encouraged.
- 2. Walkway Layout:** It is encouraged that all private walkways be designed with a curvilinear

flow rather than straight, rigid lines. They should be no less than three (3) feet wide. Materials for construction should be concrete, concrete pavers, flagstone, or similar materials.

Figure 30: Example Yard Landscaping

Figure 30.A

(Source: {website} via {name} on Pinterest)



Figure 30.B

(Source: {website} via {name} on Pinterest)



Figure 30.C

(Source: {website} via {name} on Pinterest)



- 3. Decks and Elevated Patios:** All elevated decks should be landscaped around the perimeter to screen the view underneath the deck. Lattice may supplement the screening material.
- 4. Foundation Planting:** Foundation plants should be layered from front to back with taller shrubs located near the foundation and successively smaller plants in front. Shrubs that will overgrow the location at maturity should be avoided. Shrubs should frame the view of the house. Planting beds should be designed with

flowing curves rather than in straight lines.

5. **Wildlife Corridors:** The Conservancy is desired to offer a wildlife haven. As a result, home sites are encouraged maintain natural spaces where feasible (e.g., corridors at the rear of lots with a minimum width of twenty (20) to fifty (50) feet in width) as an additional wildlife corridor. Such areas should be landscaped to provide food and cover for wildlife. Recommendations of the National Wildlife Federation’s [Backyard Habitat Program](#) are preferred.

- C. **Landscape Lighting:** Special consideration should be given to minimize light pollution and promote energy efficient lighting. The intrusion of lighting across property lines and into the [nighttime sky](#) should be minimized, thereby avoiding a disruption to the quality of life of the residents. Exterior lighting is encouraged to enhance the appearance of the landscape and the architecture of the house. Lighting should comply with the Unified Development Ordinance’s standard to be fully screened or down lit (unless wattage is one hundred (100) watts or less).

- C. **State Highway 32 Overlay District:** The State Highway 32 Overlay District regulations of the Unified Development Ordinance do currently apply to land within The Conservancy. As such, the State Highway 32 Overlay District regulations should continue to apply, as appropriate.

PUD DISTRICT ORDINANCE TEMPLATE

This addendum contemplates that new development may result in new and separate Planned Unit Development (“PUD”) District Ordinances.

- A. **PUD District Naming Convention:** Because there may be multiple PUD District Ordinances created for developments within this area, it is highly desirable that a common and consistent naming convention be used for all developments characterizing whether it is a conservation subdivision or rural subdivision, and its location within The Conservancy.
- B. **Underlying Zoning:** As is true with every PUD District Ordinance in the City of Westfield, any new PUD District Ordinance is required to establish a base, underlying zoning district to serve as the foundation of the ordinance. Unless otherwise listed in the PUD District Ordinance, the standards in a PUD District default to the Unified Development Ordinance. The appropriate underlying zoning district for PUD District Ordinances within The Conservancy is the AG-SF1: Agriculture / Single-Family Rural District.

APPENDIX A

THE CONSERVANCY TREE LIST

A. Tree Species Recommendation: This list is provided as a guide to the most appropriate species for tree plantings. There is no single perfect tree; the most successful course is to match the planting site limitations with the right tree for that spot. Each site must be evaluated and possible restrictions of tree species noted. These restrictions include rooting space, soil texture, soil pH, drainage, exposure, overhead wires and surrounding building surfaces.

The trees appearing on this list have different requirements and tolerances. All of these species should do well in The Conservancy.

Before selecting any particular species or variety further research should be done to ensure that the site would satisfy the specific requirements of the tree. Some of the species or cultivators listed here may not be readily available at local nurseries, particularly in calipers large enough for planting in high traffic areas. Substitutions of other native stock not listed could be considered.

B. Small Trees (with narrow crowns): Suitable for tree lawns at least 5' wide and under power lines .

- ▶ Amelanchier species (Serviceberry)
- ▶ Cornus kousa (Kousa Dogwood)
- ▶ Prunus serrulata ('Kwanzan' Cherry)
- ▶ Syringa reticulata (Japanese Tree Lilac)

C. Small Trees (with broad crowns): Suitable for tree lawns at least 8' wide and under power lines.

- ▶ Carpinus caroliniana (American Hornbeam)
- ▶ Cercis canadensis (Eastern Redbud)
- ▶ Chionanthus virginicus (Fringetree)
- ▶ Cornus alternifolia (Pagoda Dogwood)
- ▶ Cotinus obovatus (American Smoketree)
- ▶ Crataegus crus-galli inermis (Thornless Cockspur Hawthorn)
- ▶ Halesia carolina (Silverbell)

- ▶ Koelreuteria paniculata (Goldenraintree)
- ▶ Maackia amurensis (Amur Maackia)
- ▶ Styrax japonica (Japanese Snowbell)

D. Medum Trees: Suitable for tree lawns at least 6' wide, but not under power lines .

- ▶ Aesculus x carnea ('Briotii' Rubyred Horsechestnut)
- ▶ Alnus cordata (Italian Alder)
- ▶ Alnus glutinosa (European Black Alder)
- ▶ Carpinus betulus (European Hornbeam)
- ▶ Cladrastis kentukea (Yellowwood)
- ▶ Evodia danielii (Korean evodia (bebe tree))
- ▶ Fagus sylvatica ('Roseo-marginata' Tricolor Beech)
- ▶ Gleditsia triacanthos inermis ('Impcole' Imperial Honeylocust)
- ▶ Nyssa sylvatica (Sourgum / Blackgum)
- ▶ Ostrya virginiana (American Hophornbeam)
- ▶ Oxydendrum arboretum (Sorrel tree / Sourwood)
- ▶ Parrotia persica (Persian Parrotia)
- ▶ Phellodendron amurense ('Macho' Amur Cork Tree (male only))
- ▶ Prunus virginiana ('Canada Red' Chokecherry)
- ▶ Tilia (Linden)

E. Large Trees: Suitable for continuous tree lawns at least 5' wide, but not under power lines.

- ▶ Betula nigra (River Birch)
- ▶ Celtis occidentalis (Hackberry)
- ▶ Corylus colurna (Turkish Filbert)
- ▶ Diospyros virginiana (Persimmon)
- ▶ Fagus sylvatica (European Beech)
- ▶ Eucommia ulmoides (Hardy Rubber Tree)
- ▶ Ginkgo biloba (Ginkgo (male only))
- ▶ Gleditsia triacanthos inermis (Thornless Honeylocust)
- ▶ Gymnoclanus dioica (Kentucky Coffeetree)
- ▶ Liquidambar styraciflua ('Rotundiloba' Sweetgum)

- ▶ Liriodendron tulipifera (Tuliptree)
- ▶ Magnolia acuminata (Cucumber Magnolia)
- ▶ Metasequoia glyptostroboides (Dawn Redwood)
- ▶ Platanus x acerifolia (London Planetree)
- ▶ Prunus serotina (Black Cherry)
- ▶ Quercus bicolor (Swamp White Oak)
- ▶ Quercus coccinea (Scarlet Oak)
- ▶ Quercus imbricaria (Shingle Oak)
- ▶ Quercus macrocarpa (Bur Oak)
- ▶ Quercus muehlenbergii (Chinkapin Oak)
- ▶ Quercus robur ('Fastigiata' English Oak)
- ▶ Quercus rubra (Northern Red Oak)
- ▶ Sophora japonica (Japanese Pagodatree)
- ▶ Taxodium distichum (Bald Cypress)
- ▶ Tilia tomentosa (Silver Linden)
- ▶ Ulmus species (Elm cultivars)
- ▶ Zelkova serrata (Japanese Zelkova)

F. Additional Trees for Open Space, Yards and Buffers:

- ▶ Aesculus species (Ohio buckeye/Chestnut)
- ▶ Carya species (Hickory/Pecan)
- ▶ Catalpa speciosa (Northern Catalpa)
- ▶ Cercidiphyllum japonicum (Katsuratree)
- ▶ Fagus grandifolia (American Beech)
- ▶ Juglans species (Black Walnut)
- ▶ Juniperus virginiana (Eastern Redcedar)
- ▶ Magnolia species (Magnolia)
- ▶ Malus species (Crabapple/Apple)
- ▶ Picea species (Spruce)
- ▶ Pinus species (Pine)
- ▶ Populus deltoides (Cottonwood)
- ▶ Pseudotsuga menziesii (Douglas Fir)
- ▶ Thuja occidentalis (White Cedar)
- ▶ Tsuga species (Hemlock)

G. Undesirable Trees and Comments:

- ▶ Acer negundo (Boxelder): pervasive, shallow

roots, weak wood

- ▶ Acer saccharinum (Silver Maple): pervasive, shallow roots, weak wood
- ▶ Ailanthus altissima (Tree of Heaven): seeds, suckers, weak wood
- ▶ Betula papyrifera (Paper Birch): insects
- ▶ Betula pendula (European White Birch): insects
- ▶ Elaeagnus angustifolia (Russian Olive): form, disease, thorns
- ▶ Fraxinus species (Ash): Emerald ash borer
- ▶ Morus species (Mulberry): fruit, shallow roots
- ▶ Paulownia tomentosa (Paulownia): weak wood, prolific seeds
- ▶ Pyrus calleryana (Pear): weak branching, low branches, invasive
- ▶ Populus alba (White Poplar): suckers, shallow roots, weak wood
- ▶ Populus deltoides (Cottonwood): weak wood, shallow roots, seeds
- ▶ Populus nigra (Lombardy Poplar): insects, disease, short-lived
- ▶ Tilia species (Linden): Japanese beetle
- ▶ Ulmus americana (American Elm): insects, disease
- ▶ Ulmus pumila (Siberian Elm): weak wood, seeds

Mozelle and I purchased a home "permanent wave" folks who lived in Westfield and since we could do only one curl at a time, it would take all day to do one person's hair. I still raised a lot of chickens, but now we went from "chicken coops" to "brooder houses" buying our "brooder chickens" from a hatchery. Then we moved the laying hens to the "hog barn" for during the depression in the thirties pigs got so cheap Perry decided to quit for a while and tore the old chicken house down. He fixed up the hog barn, he even had the electricity fixed so he could turn the lights on down there from our house, about four A.M. and the hens would jump off the roost and in a little while would give a "cocking concert" and start laying eggs like mad. We still sold milk though and raised our own hawks, in fact the cows are what brought us through that awful depression. It was hard to even pay the small interest that we had to pay, on our new farm and keep taxes and expenses up. A lot of people around here even lost their farms and everything, banks closed and businesses went bankrupt. Corn was so cheap, we even burned it in our cook stove and furnaces and it did make a hot fire.

By this time, my folks had moved from Westfield to Carmel and Luitanias and Star Kirksman were married. Also Mozelle and Maurice were married and gone to Michigan to live and Ronald was born there. When he was three years old his father died and he came to live at Arthur's, for his mother taught school for awhile in Michigan.

In the meanwhile my folks moved again, this time to Grandma Carl's house in Horton, and in about a year she fell and was never able to get up and Star were living in Indianapolis and Sue was born this same year, then in about three years Bill Kirksman was born and in three more years the Kirksmans

moved to Westfield. Lola and Fletcher had moved to Sherman, from Horton previously and so the moving went.

Again we decided to remodel our house so we enclosed the front porch and took out a partition and made a long living room of which we were real pleased, we could still have our dining area at one end. We had also built a new bathroom on the north side of our house and that really was an improvement on the whole. We had a new bath on the north side, especially in zero weather. Grandma Harvey stayed with Arthur's in the summer and with us in the winter and she enjoyed our new bathroom. The fall and broke her hip while living at Arthur's in June and died a week later in the hospital.

Perry and I and our three girls attended the Methodist Church at Eagleton and later, all became members and that little church became a big part of our lives for we loved the people and tried to do our part in helping to carry the load of the program and the church. There was remodeling or repair work to do, he was always on hand, helping with the others, to do the job, or serving as a trustee or other obligations.

Every year in June there would be a "children's day" program to be worked up and given and the girls and I would get in on that and then years later a "Fish Fry" was a yearly event in July. The whole church and community took an interest and worked together. Eagleton church people had a reputation of good food and years of experience of frying them and the people look forward to this event. Now, those precious days are just a memory, for through death and families moving away and the young people married, all became members and that little church became a big part of our lives for we loved the people and tried to do our part in helping to carry the load of the program and the church. There was remodeling or repair work to do, he was always on hand, helping with the others, to do the job, or serving as a trustee or other obligations.

stationed in New Orleans as a territorial agent for the FBI, then later to Natchez, Mississippi. Perry and I took a trip to visit them while in the hospital and it is a very interesting place. In 1952 Carl's mother died of cancer and Carl was transferred to Indianapolis area and built a new house on 16th Street. Then the next year Carl's mother died.

Then on February, 1954 Joe H. McDonald was born. Carl was transferred to Muncie area and they moved in January, 1958 and Mike was born in October, 1958 and Kevin born in October, 1959. Carl was then transferred to the Richmond area and bought a home and moved to Centerville in 1961. Teresa was born there in 1962 and Mary Ellen was born in 1966. At the present time they are still living in Centerville. Joe received his degree from Ball State in 1976, Mike a Senior, Kevin a Junior and Teresa a Freshman in High School. Mary Ellen is in the 5th grade. So it goes with this wonderful, busy family of McDonalds.

In the same year of Eloise's wedding, we were surprised when Jeanette came in one night from a date with Wavy Myers, flashing a diamond ring on her finger and later announcing they had set the wedding date for August of the same year. We didn't know how we could survive two weddings in the same summer, but as before, plans began to unfold and the old sewing machine again got another work out, making another white satin gown, with some of the same features as her sister's. Long sleeves, train etc., and also more birdseye's dresses to be made. Miscellaneous shawls again were made and very lovely and useful gifts were appreciated by both girls.

Their wedding was also held in Westfield Methodist Church, on August 22, 1948, with Rev. George Lee officiating and again by my sister, Ruthanna, playing the beautiful wedding music.

Again a church full of relatives and friends witnessed a lovely wedding and again we had the reception out here. The day was perfect and the guests assembled in the shady yard. Their wedding trip was up in Canada, but in about a week they were back eager to go to their apartment which they had made ready in Muncie and to resume their education at Ball State.

Wavy and Jeanette were both Juniors at Ball State and they rented a three room apartment in Muncie and lived there until they received their degrees in June of 1950, Wavy receiving a coaching degree and Jeanette with an elementary. They both worked part time, for expenses weren't too easy to keep up, while in school, but things were going to change for Wavy was ready for a job now and he was in luck. Carmel High School hired him as a Football Coach, beginning that fall. Now Jeanette was expecting a baby in October and we told them just to move in here for the winter and until they found an apartment in Carmel. So October 7, 1950, Cheryl Lynn was born in Lebanon Hospital. We were thrilled to have a baby in the house and Jeanette did substitute teaching now and then until the end of school and we were glad to take care of our third grandchild, while she was busy teaching.

Jeanne and Everett had their second child in 1941. Shirley Kay Babb was born and now we have three grandchildren. Wavy and Jeanette lived in Carmel until 1953, when Wavy had a chance to coach at Remmalaer with a view to coaching at Ball State. Jeanette also taught in Carmel school and she taught in the Remmalaer school also. They bought a house and moved in. Jeanne never stayed in Remmalaer with a pleasant one, Wavy having an undefeated season in football, but a coach moves on when opportunity presents itself and in 1957 he was again in Muncie, ready to come to Huntington to coach football. In the fall of 1957 they moved and bought a large old type house which

1975 Eagleton church merged with Westfield Methodist. I will never forget Mother's Day of 1975, when my children planned to surprise me and all of my family was present at the last of the services that we had in our Eagleton Church. They planned the whole program and had bulletins printed, flowers for the Mothers, took pictures, made tapes of the service and later presented me with the picture album and recording of Rev. Carrigan's last sermon and all of the program. The program included readings by former members, readings and solos by some of our family's talent. The old church was full that day, for when people found out what my family had done, they also rounded up their families and everyone enjoyed seeing one another once more in our little church. I found out that this wonderful family of ours has no limit on the things desired to do for their parents and I love every one of them dearly for their concern and love they have had for us, and I am truly thankful to God for sending us such a family, a closer one I never saw, for each one so concerned with the others and the wonderful get-togethers we have several times every year, with a table laden with delicious food which each one contributes. Of course one chair is always vacant, with the death of the head of our family in 1962, but memories are a wonderful thing and we all remember those golden days when he was in our midst. His children, included were my sister, Ruthanna, and they all left them with his clean living and love for his family and neighbors.

We have had some wonderful preachers at Eagleton church too. Sometimes it would be their very first charge and they would be moved on to another church, usually for a promotion in two or three years. I remember in 1940 when my Jean and Everett came home from college and my sister, Eloise was the young minister who had never performed a wedding ceremony and of course it was our very first wedding too, and they both helped us plan and prepare for this event. We arranged our

living room as a little chapel with chairs facing the altar at the front end of the room, leaving an aisle down the center. It was three days after Christmas and our decorations were overgrown in the Westfield appearance. Mrs. Bealar, our music teacher in Westfield School, brought her Hammond organ and with that, along with a violin solo and vocal solo, Jean had a lovely simple wedding. Little Sue Ann, a cousin, carried the ring in a calla lily and Jean had a friend as his best man and so the wedding was performed with a simple dignity on December 27, 1940. They went to Marion, Illinois to live, for Everett was traveling for Ribbes' in that area. Alas, another World War II was brewing though and Everett was drafted into the army, which interrupted the lives of so many young men. Time came when he had to appear for training so Jean moved in with us, with their few pieces of furniture.

Everett was sent to the Italy area and was gone almost three years without a single furlow. He was comradely for he had no injuries like some and he did get back home, OK.

In the meantime Jean got a good job at Indianapolis driving to work and back in her little blue Ford, but with an extreme anxiety, familiar with so many young men at that time. Everett arrived home in December of 1945 and they lived here until the next summer when they moved to an apartment in Westfield and lived there until the summer of 1946. Then they decided to build a house on a lot on Everett's Dade place and moved in to the new house on July 1946. Again our country had peace and people picked up, where they left off and resumed life's work once more.

Everett was still traveling for Ribbes Co. and now with a little son, life seemed complete, but no more. In the summer of 1947 a trip to Washington D.C. and New York was planned, so we loaded our Buick with everyone who could go and in a July morning we started on our journey. Included were the Kirksman family, Jeanette and Perry and me. We visited Aunt Lydia Bray and Dorell in D.C. and later on to New York to visit Mary Lou and Harold. We had such a wonderful time seeing the sights in D.C. and New York with Dorell as our guide.

another sister came to the Babb family for a darling black haired, brown eyed little Mary Jane Babb was born on January 16, 1952. Now the family must be complete, with a boy aged 16 and two girls age 13 and 10 years old so everyone dreamed until it was July 11, 1942 a precious little bundle was presented to the family when Lisa Annette was born in Hoboken in the Babb family, with older sisters and a teen age brother, but was loved and cared for by all.

Our Mother died of a cerebral hemorrhage in 1943 and our Father lived alone for a while in his house in Horton. We later sold his house and lived with his girls until his death in August of 1946. Dessie Harvey also died in that same year, leaving Arthur, Floyd and Ronald there with him until Mozelle and Floyd married in 1970. Arnette and Kersey Baker were married in 1943 and went to California to live, while he was stationed there for training during the war.

The next few years were busy and eventful ones for our family although during 1947, but we decided to remodel our house again for we needed more room since all three girls were at home now. Much of the building was done in the summer, but scarce, but we built two rooms and a half bath up and stairs, Perry doing most of the work and as he was finishing pouring insulation in the walls, he fell breaking his back and was in a body cast for three or four months, then was fitted with a brace and wore that several months and so went the fall and winter of 44-45.

The next year a nice modern Locker Plant was built in Westfield and Perry with some other co-op members did a lot of the work on the apartment that was built on the corner of the Locker, for the manager to live. The Locker business was booming

until "Home Freezers" became so popular and finally had to close it.

In the summer of 1947 a trip to Washington D.C. and New York was planned, so we loaded our Buick with everyone who could go and in a July morning we started on our journey. Included were the Kirksman family, Jeanette and Perry and me. We visited Aunt Lydia Bray and Dorell in D.C. and later on to New York to visit Mary Lou and Harold. We had such a wonderful time seeing the sights in D.C. and New York with Dorell as our guide.

The next year was another busy one, with Eloise graduating from Butler University June 1st 1948 then making preparations for her marriage to Carl McDonald on June 27th. We had no minister at Eagleton at that time so it was decided to have her wedding in the Westfield Methodist Church and so plans began to unfold. I sure kept that old sewing machine busy, for I made wedding gown and all three had bridesmaid's dresses, and a lovely June Day, which took the people out in the front yard. All in all it was a lovely wedding with organ with her beautiful rendition of wedding music. They planned their wedding trip for the west, so with rice thrown and car decoration with "Just Married" signs, they started off on a two weeks western trip, with "veel wishes" and a score of wedding and shower gifts left behind.

Eloise was hired as music teacher in the schools of Markleville and they moved to an apartment near the school. Carl attended Ball State University at Muncie and drove to and from school every day. They lived there for three years and when he received his degree was sent to Washington D.C. entering the FBI Academy. Then in November after finishing the course, he was

needed redecorating. I stayed a week and Jeanette and I painted and papered eight rooms and two halls. Susan Bealar Myers was born October 12, 1958 in Huntington Hospital. Again an offer came for Wavy to go to Ft. Wayne to coach football and they again bought a house and sold their home in Huntington and moved in the summer of 1953. This wasn't too satisfactory a move and the next year again he had a better offer at Marion, to coach football so they bought a house and moved that fall.

Rex Allen Myers was born November 19, 1961 in Marion Hospital. They were real happy in Marion, good football seasons and Jeanette taught some in Marion elementary and drove to Ball State with others two evenings a week to get a masters degree. Wavy had already received his masters degree at Purdue, so Jeanette stayed in Marion, to coach football so they bought a house and moved that fall.

Their three apartment buildings and a cottage on Lake Tippecanoe which they built themselves took their spare time occupied. In 1970 Cheryl Lynn Myers was married to John Wray and now have bought a house near Wavy and Jeanette and live there with their two children, Melissa 6 years and Amy 2 years. Susie will enter Ball State in September and be a Sophomore in High School, and so it goes with this wonderful, busy family of the Myers.

I will remember, when our girls were in Westfield School, the Merchants of Westfield sponsored "Free Movies" in the Park every Saturday night and they with their daddy would look forward to that

show. So, the cows would have to be milked and the hog and, just a little bit early that evening from the we could gather up the neighbor's kids, for we always took them too, and be on time. There were Esther and Dore and Mozelle and Ruth and Arthur and Jeanette, and by the time we got there we had swelled the crowd quite a bit with our car load. It was a great evening, even if the show wasn't very good, for there was always a large crowd and a good place for young people to meet others and maybe get a date.

Time has a way of rushing on and before we realized it our 40th wedding anniversary was on hand. Could I have possibly been that many years? Our girls were all married and we had five grandchildren, Steve, Shirley, Cheryl, Mary Jane and Joe. We decided to have a celebration here at home and had a wonderful day with about 100 guests on April 14, 1957. Eagleton church had purchased a Hammond organ in 1953 and Eloise brought her recorder over one day and suggested I record some "old time" music on the organ, so we went to the church and made some recordings which were played as background music for entertainment of the day. Perry and I both loved the organ music, so this same year in June we purchased a Hammond Spinnet organ. One is never satisfied until they go a little farther and so I finally traded it for a larger Hammond with the different built-in instruments and percussion and full foot pedals. March 9, 1958 I have really enjoyed this organ and often when I'm lonely I sit down and play for hours. Music has a way of satisfying the soul and lifting one's spirit and I have appreciated what little musical education my folks gave me, although I wished that I had more. I am thankful that I could serve my church and family by this service, also at Hortenville church when I was a teen aged girl. Altogether, I believe that I have served either as pianist or organist for at least 40 years, and played for many weddings and funerals. We gave our three girls music lessons but practicing wasn't too popular.

However, Eloise continued her education and received a degree in music June 7, 1948 at Jordan and Butler University. She taught music in the school at Markleville and now she serves her church at Center-Markleville and Organist when in Westfield school and enjoyed the different musical activities that were given. Their music teacher entered their music department in contests and went to different places competing with other schools. Programs and operettas were also given through out the school years.

During the next few years, many things came to pass, some pleasant and others of a different nature. Nieces and nephews married and established homes of their own, some neighbors moved away from our community, others moved in and so the time went on. Arthur, Harvey, Perry's only brother, had been in failing health for some time and Mrs. Quick was hired as his nurse and housekeeper. We were all saddened by his death on December 11, 1959, thirteen months had happened since Dessie's death, but Mozelle and Ronald had lived with his before her marriage to Floyd Carson in 1950. They went to Westfield to live, but Arthur wanted to remain in his own home. Arnette and Kersey bought a farm near by and in 1953 Beverly Sue Baker was born.

In the summer of '53 Floyd and Mozelle and Perry and I took a fine three weeks trip to the West. We had never been on a Western trip and really enjoyed the wonderful scenery, Yellowstone National Park, Black Hills, Bad Lands, Royal Gorge etc., and visited our friends, the Mohlers who lived in Colorado.

This same year of July "The Korean War" ended and Queen Elizabeth of England was crowned. We also bought our first television set in this year and although it wonderful that we could watch this Coronation in England and also all of the immigrants

of our Presidents. We bought our Color TV in 1966.

It seems that some years are more noted for happenings than others and I think that is the case with the year of 1960, for we lost so many neighbors, friends and relatives through death and in October of this year Perry had a massive heart attack. They called it thrombosis. He came from the barn complaining of his jaws hurting and thought he was having "back jaw". We didn't either one know it was a heart attack and I took him to Sheridan Dr. Waitt. He put him in the hospital and said it was his heart and he was in the hospital for four weeks. They had been cribbing corn to the haywood with a tall elevator and Perry was hit on the head with a big ear of corn, but we never knew if that had anything to do with it or not. He had had a "heart murmur" since he had rheumatic fever when he was a teen aged boy, but never knew how severe it was until he was in the hospital just before Thanksgiving and recovered nicely the next summer. We even took a trip with him to his new air conditioned home in 5 years later than Dick and the family in Wichita, Kansas, and John Bray's in October of 1961.

In May of this same year the U.S. put "man in space" getting ready for further adventures when man would go to the "moon" in the year of 1968. Also our "ditch" road was black topped for the first time and a year later the south road which eliminated all of the potholes from the two roads in 5 years later they put up signs naming all of the roads, calling them streets, ours is 161st and ditch Road.

A Dr. Salk discovered a vaccine for Polio about this time which was a wonderful thing for so many were crippled with this disease and now it can all be eliminated by this vaccine. Our children and grandchildren were all immunized and now it is almost unheard of to have the disease. The dial telephone was

also introduced and is used everywhere now. On February 25th 1962 Carl called and said that they had to rush Elsie to the hospital and she had to have an appendectomy. She was pregnant for Teresa and we were pretty worried about this sudden condition, so next morning we went over there to take care of the three boys and stayed until she came home and was able to take up again the duties of the family. It was Tuesday when we came home and the next day Terry sent to the Dr. for a check-up which was an encouraging one, for he found his condition really better than ever before. The next day he needed to go to Noblesville on business and said that I didn't need to go, for he was feeling fine. Well, about two o'clock the fateful word came, that he had a heart attack in his car in Noblesville and although everything was done that possibly could be, he couldn't be revived. I felt like my world had tumbled down on me and didn't know how I could endure it and I surely couldn't if it hadn't been for "Spiritual Help". The days that followed were lonely ones, for without Terry after 45 wonderful years of marriage, was a catastrophe. But I decided to stay right here in my home and I don't believe I would have been satisfied anywhere else. We had a good renter, Nolan Stafford, and he was able to take care of both farms and I leaned on him for advice and help.

Jean was expecting a baby in July and Lisa Annette was born on the 15th. Lisa was expecting Teresa and she was born August 24th. Of course I stayed with each of them at this time, in fact I have helped with all of them. I have recently been in some way. I found myself working in the Gift Shop at the Hospital at Noblesville, that has recently been set up, proceeds being used for some new hospital equipment. It was summer and I worked one night a week until bad weather then in the afternoon. One night I came home about eight o'clock and found that my house had been broken into and robbed. They had broken the back door down, had lights on in basement,

trade for a while LaSalle Buick in December. I was thankful that I could drive the car and I kept busy too, as that is one of the secrets of battling loneliness.

The next year 1963, Everett's mother had a stroke and died in March. This same year in June Fletch and Lola celebrated their 50th wedding anniversary at Sheridan and had all of their children and most of the grandchildren there. I took my spirit organ and Barbara and I furnished music for the occasion on organ and piano. Marcia Mendenhall also played a piece on the organ. She was taking lessons of me, of course I wasn't a teacher, just took some little girls "under my wing" and tried to help them as much as I could.

This same year we had to pay a tax on everything we bought for Indiana lawmakers added this in their session. In October a terrible explosion happened at the Coliseum at Fair Grounds, killing 72 people and injuring 400, then in November another tragedy happened in our country when our President Kennedy was assassinated in Texas during a Parade. Everything was cancelled until after his funeral, which we watched on TV.

In the course of ten years so many things happened and this next year is not except for many interesting and unexpected things came and went in this decade. I was asked to join the Hospital Auxiliary and since I was to keep busy and also help with volunteer work in some way. I found myself working in the Gift Shop at the Hospital at Noblesville, that has recently been set up, proceeds being used for some new hospital equipment. It was summer and I worked one night a week until bad weather then in the afternoon. One night I came home about eight o'clock and found that my house had been broken into and robbed. They had broken the back door down, had lights on in basement,

Berry lives in Georgia and has two children. Prucilla also lives in Georgia and has five children. Sue lives in Tennessee and has three children. Roberts in the Sheridan area with three children. Bill Kirman lives in Westfield area and has three very own nieces. Rozelle who lives in Westfield and has one son and Avansella on a farm not far from our's and has one daughter. We have seen all of them graduate from High School and part of them from College, seen all of their weddings and hold them and their families dear. We have seen our three girls and their husbands get good educations in High School and College and take up their vocations in life and now the grandchildren who are following in their parent's steps in education and four are married and have nice families. They are all loved very much and their grandmothers holds them all very dear to her heart. In return they all demonstrate their respect and love for me, which I know is sincere.

We have in our family as of now school teachers, secretaries, FBI agent, policeman, musicians, accountant, song writer and poet. It will be interesting to see what the future holds for the others, yet in school, at home or maybe the unborn ones.

Well, here we are in the year of 1977 and we will well remember the record cold, snow, winter of this year and the things that happened, some good, some not so good. This year has taken its toll of dear friends and neighbors, but as we get older we will see that more and more. Another presidential inauguration was witnessed on our TV's when Jimmy Carter was our newly elected leader. Several good programs were put on the television, such as the book "Hours" or "Mond" and other outstanding ones. Then, there are also too many programs of violence which the public is protesting.

This year brought us another baby in our family I as new the recipient of twelve grand children and six great-grandchildren of whom I dearly love. They have all said such cute things, but impossible to remember all of them, but I'll never forget what Shirley's Paul said to his mother. Out of the blue Shirley said, "Why, Paul, I do too, but why do you say that" and he said "Oh, she makes the best cookies". I have to keep that in my mind, for the children eat them until they are gone. In fact, one day Teresa wanted me to teach her how to make them and I gave her the recipe and showed her how. Well, when she went home she kept making them and entered some in the 4-H Fair, won a purple ribbon and went on to the State Fair, there she got a Red ribbon.

We have always taken our girls to Sunday School and Church, from the time they were real small they didn't know what it was to miss going, unless they were sick. In turn they have done their families the same way, which makes me very proud and to see that early training pays off, which was demonstrated here one time when Teresa, Mary Ellen and Wendy were here for a weekend and I was going to take them to church with me, but Sunday morning I was sick and couldn't go. When I asked them if they would be too disappointed if we didn't get to go and they said "Oh, no Mamma, that's OK". I was lying down and they went upstairs, I supposed to play but after a while I heard them singing, "Holy, Holy, Holy" then Teresa came down and she said "Mamma, when they came down stairs they said they had our own church and we prayed that you would get well". I couldn't keep back the tears of joy and appreciation and realized that "early training" does

upstairs and all over. Well, when I realized what had happened I went to the neighbors and called the Police and of course by the time they arrived the robbers had gone (for they were in the house when I got home). They had dumped every drawer out, in the house and had taken several articles, even took one of the dresser drawers. I was unable to put part of the loot in. Of course we never found the articles or the thief, although we did have our suspicions. Incidentally I am still working in the Gift Shop and this is my ninth year and I have enjoyed it very much.

In the year of 1966 our youngest and last grandchild was born to the McDonalds and they named her Mary Ellen, for both of her grandmothers. Carl's parents had both died a few years previous. Robbie and Don Mendenhall bought the Sparks farm which is near us and now they had sold this farm and bought one near Roxley and would move soon. I had found myself depending on them, for various things, during these years that they had lived here, and I felt like that would be the "end of my world" as they moved. But, after all, our neighborhood was changing so fast until the "old ones" are now very few, but dear to our memory.

In 1968, Nolan told me, one day, that he wanted to quit the dairy business, but wished to continue farming our ground. Again, I felt like the "end of the world" for as long as we had been married we had always had cows and now we were expected to sell grade "A" milk and had a fine herd of Holstein cows, I couldn't see quitting, but trying to find a renter who would know the dairy business. I went to every thing. We looked and inquired everywhere but dairy men plus a good farmer are pretty scarce and we didn't find one, so in February we had a sale and sold our cows, equipment and feed. Nolan and Hazel had moved to their farm that they had bought but the

next year she died of Cancer. Nolan farmed our ground until 1974, when John Davis rented our farm. We had sold the 80 acres the year before, though. We never thought we should see the day when we would be adventurous enough to travel to the moon, but this thing happened in 1968 when three astronauts landed on the moon and were gone for six days.

In our age we have seen so many remarkable things happen and many wonderful inventions we feel that we have been greatly honored to have lived in this era. Color TV was thought impossible too, but again in 1968 we were allowed to see them. In the "Woman's World", we have seen many time savers invented such as from the wash board or rocker washing machine to the automatic and from old flat irons, for every-thing had to be ironed then, to "drip dry", "no iron" material, now. Also from the old wood or coal range to the electric stove and the microwave oven which cooks many things in a matter of minutes. It would be impossible to name them all, but it is real interesting to note the drastic change in things. Take for instance the change in style of clothing. To be comfortable, now, is the trend, which is really sensible. When I was a little girl, I remember the "waist cincher corsets" my mother and sister Lola wore, the steel stays to hold them stiff and prim, the bustle to make the "behind" good and plump, long sleeves in the dresses, no matter how hot the summer and always a lovely new hat every Easter. I never will forget the little red chiffon hat my mother bought me when I was about 10 years old. I cherished that hat like I have never done before or after. I would go upstairs and get it out of the large "press" try it on and think the good smell it had. I shall never forget. They said that I even wanted to wear that summer hat in the winter. I don't remember any of my dresses or clothes at that age, just that red hat.

Of course, long stockings and bloomers were a "must" and black patent leather slippers in the summer

to a child. Also to inspire them to take part, in some manner, to help with the program of the Church, is a challenge to the future.

I have made each one a quilt and enjoyed every stitch that went into them. In fact I have enjoyed sewing for them all, but I think my "master piece" of sewing is the white satin wedding gowns that the girls wore.

Our county boasts a new jail at Noblesville and a new Junior High School in our Washington Township at Westfield, which was added this year.

On April 6th of this year brought a bad accident to Cynthia Babb, my granddaughter-in-law, breaking several bones, caused by a "freakish" accident on icy roads on her way to work and hospitalizing her for a while, but hoping in time she will be alright. In August of this year our second cousin will be 104 years old, which is the oldest relative known and I think it should be mentioned. Ruthanna and I used to visit her at a nursing home, but she didn't recognize us.

I have had a lot of interesting hobbies in my life, but in September of this year while nursing a virus and back trouble, sitting around, not feeling able to do anything, I discovered a new one, that of writing poetry. Of course it just "every day" stuff and I first tried it on writing a poem about our children, then grandchildren, etc., etc. Even though these poems aren't "first class", they have been most fascinating to write.

I must mention a very importa nt day of my life which happened October 2, 1977 when our children decided to celebrate my 80th birthday. They planned a surprise with an "Open House" from 3 to 5 o'clock.

I think they had surely been making plans for this event a long time for it all worked out so well, yet the whole works, with a large decorated birthday cake, punch, nuts, a Guest Book, napkins with "Happy 80th" and a host of friends and relatives, in fact there were 72 here, also 30 birthday cards, telephone calls and a table full of gifts. The night before, a grandson "Mike" was married to Kathy Morgan and we all attended his lovely wedding, so this sure was a busy weekend and a successful surprise on their mother.

This is the end of my story and I have never done anything as fascinating as writing this and reliving those golden years, so long ago.

During my life I have learned that if we put God first in our lives, other things will be added two-fold and if I have had a small part influencing someone in a better living, my life has not been in vain. My favorite hymn is "God Will Take Care of You" is so true.

and high shoes in the winter. Everyone had long hair and sometimes mama would do my hair up on "rags" for long curls and other times she would braid it in two braids with ribbons. By the next two or three years ago, the styles for men's clothing was somewhat similar, until the "wash and wear" fabric came out and then the men began to wear "loud colors", soft neck lines and I'm sure a lot more comfortable. Our Dad wore a moustache, but never wore a beard or long hair. Some men did wear beards, though before they were old. Now young boys are apt to grow a beard, moustache and long hair, but I believe it is mostly a fad. Black suits are now popular for women's wear. In the winter everyone wore "long undersweater" and good, warm woolen, dresses, black full bloomers and when in school, we wore aprons over our dresses to keep them clean and of course we always carried a lunch pail and book satchel.

We have witnessed as many as four wars in our time, Korean War, World War I, World War II and Viet Nam. Numerous earth quakes and tornadoes, also the scandal of "watergate" has to be included in our era and now a so called energy crisis advising people that our world's resources may "run out" some day. Two more states have been annexed to our third States too, in our age, Hawaii in 1959 and Alaska is one of our states now.

We three girls have always had a close feeling for each other and we were all excited when our sister, Lola, had a stroke in 1972, but she recovered, although couldn't talk or eat very well, as it affected her throat. After several weeks of care she became helpless and she and her husband, Fletch, went to Sheridan nursing home to be cared for. He also had suffered a stroke in 1974 which affected his legs, so he couldn't walk. Lola died August 1, 1975 and Fletch died August 23 of that same year. Things never can seem the same without those two since we

had them in our midst for so long, but time rushes on and memories linger with us. The future will find other births, graduations, weddings, activities in cycles like the past and now we find ourselves the "Senior Citizens" of the present, just doing our "thing" the best we know how and enjoying our families and friends. I am looking forward to making more quilts, having more gardens, flowers, mowing my yard, doing duties in my church, clubs, sewing for myself and others, having family dinners enjoying my new color Zenith TV and my new organ I got in 1974, maybe even will wear my 1973 Buick out or take a trip to Hawaii.

I won't get to celebrate another Bicentennial but glad to have celebrated this one in 1976 and incidentally I made six centennial dresses and saw them modeled in programs, one of the dresses being my own. I have tried to do my part in the small world around me but sometimes I felt pretty incapable, like when a group of women started a "Home Economic Club" in 1939, named it "Friendly Eagles" and voted me in as President. It was pretty foreign to me, but they were all helpful and that Club is still active, having several young members which number around 28. Then the next year the Methodist Church in our area, all organized and joined the WCCO (Woman's Society of Christian Service) in every church, and again they elected me as President of Eagletown Church. We attended district meetings etc., and today it is a large organization in all of the Methodist Churches, having thousands of members.

Our new "Christ United Methodist Church" of Westfield will be completed sometime this year of 1977. New housing and additions in every county, shopping centers being built and new houses and people all around us. Population growing and traffic more congested all of the time. My five nieces and one nephew all have homes of their own and nice families.

APPENDIX C

OPEN HOUSE

A. Open House Strategy:

The Conservancy Open House
New Suburban Southwest Sub-District Addendum
November 4, 2015 from 6:30 – 8:30 p.m. at the Wood Wind Pavilion

Objective of the Open House:

The open house is a component within the process to submit the sub-district addendum to the Advisory Plan Commission and ultimately the Westfield City Council for approval. To this point, the document has input from the neighborhood residents and the sub-district committee. The open house is open to the general public and is a communication vehicle to collect and process feedback regarding the addendum as this continues to be a citizen driven document.

Executive Summary of Sub-District Addendum:

The purpose of the Comprehensive Plan Addendum is to provide further definition to the previously approved criteria for the area, to ensure preservation of green space, provide for continued artisan farm and rural lifestyle opportunities, promote responsible high-quality development and redevelopment, and preserve and enhance property values of the New Suburban Southwest area. The topography and open nature of this area is enjoyed by many and because open space is a valued community amenity, every effort should be made to encourage uses that preserve this open character. Moving forward, this area will be referred to as the Conservancy.

A committee was formed in April 2015 to study and further define the requirements for preservation. The committee members are as follows:

- Steve Hoover – City Council, Advisory Plan Commission
- Chuck Lehman – City Council
- Cindy Spoljaric – City Council
- Danielle Tolan – Washington Township Trustee
- Ken Kingshill – Advisory Plan Commission
- Suzy DuBois – Westfield Citizen
- Kristen Burkman – Westfield Citizen
- Dr. Bruce VanNatta – Westfield Citizen
- Dr. Ginny Kelleher – Westfield Citizen

Supporting Evidence to the Addendum:

- The New Suburban Southwest offers distinctive landscape worthy of preservation.
- Water conservation practices are a compelling issue for all communities and need to be incorporated into development for the betterment of the community as a whole.
- Strategically compliments the Westfield vision of denser urban dwellings at the city center and less dense, alternative lifestyle options further away from the city center. This is a unique marketing opportunity for the community.
- Traffic and public safety infrastructure does not support high density population increases in this area.

Areas of Emphasis with Sub-district Addendum:

The open house features stations for guests to visit and learn about the areas of focus within the Sub-District Addendum.

Stations Include:

Wood Wind Golf Course – The effort continues to save this public golf course for the use of all Westfield citizens, our high school golf teams, area youth, and participants from surrounding communities that generate income for our local businesses.

Examples of Conservation Subdivisions – While density within the platted area remains one home site per at least three acres, this type of development clusters homes and provides beautiful landscapes of green space, trails and preservation for use by all residents. A requirement of 60% green space is required. Part of the sub-district addendum focuses on the need for proper buffering with existing residents if new development adjoins a current resident’s property. Examples of reforestation and other buffers will be shown.

Examples of Rural Subdivisions – This type of development features large acre (3 acres or more) home sites.

Conservation Best Practices – Currently, this area has many strong water conservation practices and the vision for the future is to not only to continue but to increase these practices. There will be experts from the Hamilton County Soil and Water Department and the Department of Natural Resources present to discuss preservation options for water, soil and wildlife in the area.

Raymond Worth Park – A beautiful example of preservation with our area, this park has many exciting plans for the future and the City of Westfield Parks Department will be on hand to share those.

Conservancy Lifestyle Examples – Many of the residents within this area enjoy hobby farms, a variety of art forms, and equestrian lifestyles. We will highlight these passions within this area.

Communication Strategy for Open House:

Personal Invitations:

- All City Council
- Sub-district Committee
- Mayor Cook, Chief of Staff
- Planning and Development
- Advisory Plan Commission
- Public Works
- City Attorney
- Hamilton County Soil and Water Conservation District
- Westfield Parks Department
- All neighbors in our email database which is about 40
- We Can Attendees - HOA presidents within the community
- Media from the Current and IBJ
- Large parcel owners within the sub-district
- Area developers and builders

Community Wide Communication Plan:

- The Current is running an article for October 31st
- Next Door for Little Eagle Creek and the west side neighborhoods including Countryside and Centennial- about 6,000
- Wood Wind Petition List - over 1,000 people
- Citizens against Development at Wood Wind Facebook Page which can reach about 7,000

B. Media Coverage



A portion of the area that Burkman wants to preserve. (Submitted photo)

Forum held to support addendum

By Anna Skinner • anna@youarecurrent.com

In attempts to preserve a special part of Westfield, Kristen Burkman, with the help of Suzy DuBois, is holding an open house Nov. 4 at the pavilion behind the clubhouse of Wood Wind Golf Course.

"We are going to continue to work to save the golf course, but this is broader than the golf course. It's really a project of preserving this area," Burkman said.

The addendum she is trying to pass involves a concept called conservation, or rural subdivisions.

"It's a really cool concept that no one has done in Westfield," Burkman said. "There are increased developmental pressures throughout the city, and this area is unique from other parts of Westfield, such as its topography, the rolling hills and equestrians and the natural beauty out here, so we formed the committee."

Currently, the houses of what Burkman calls the Southwest New Suburban Addendum are on 3- to 30-acre parcels of land, which is the type of development Burkman said she wants to preserve. The addendum would mean open green spaces, trail systems and trees with homes that also have open green space.

The open house is designated for the public, so Burkman, DuBois and the city officials backing the two on their addendum can answer any

questions the public has. The open house is 6:30 to 8:30 p.m. and will be organized in booths and stations regarding different portions of the addendum. Preserving the Wood Wind Golf Course will be one of those stations. Those wishing to attend the open house are able to come and go at their leisure.

"We really want to invite the public to come out and see what we're doing," Burkman said. "We've invited a lot of city officials, and we are reaching out to the developers, builders and neighbors that live in this southwest quadrant. The open house will be showing the addendum and getting feedback from the community. It's a different lifestyle people can have."

Among the booths at the open house, there will be conversations about the rural subdivisions and an area regarding the lifestyle of the area to portray the activities available, such as equestrian farms, tree nurseries, artisans and hobby farmers.

The idea for the conservation subdivisions is based off the Tryon Farm Institute, a conservation subdivision in Michigan City, Ind.

The president of the Tryon Farm Institute, Scott Kuchta, will also make an appearance at the open house to answer any questions about conservation subdivisions.

For a better idea on the prospected image of the southwest quadrant of Westfield, visit tryonfarm.com.



Burkman

Saturday October 31, 2015
Current in Westfield
www.currentinwestfield.com

C. Open House Pamphlet

Special Thank!!

- We want to give special thanks to Wood Wind Golf Club for the use of the pavilion this evening, the coffee bar and for supporting the event!
- Thank you to the neighborhood for all of the refreshment and door prize donations! This is a special neighborhood and we appreciate all of your help.
- Thank you to the committee who has put in countless hours on this project with a vision for the best future for Westfield. Those serving on the committee include:
 - Steve Hoover – City Council, Advisory Plan Commission**
 - Chuck Lehman – City Council**
 - Cindy Spolaric – City Council**
 - Danielle Tolan – Washington Township Trustee**
 - Ken Kingshill – Advisory Plan Commission**
 - Suzy DuBois – Westfield Citizen**
 - Kristen Burkman – Westfield Citizen**
 - Dr. Bruce VanNatta – Westfield Citizen**
 - Dr. Ginny Kelleher – Westfield Citizen**

Objective of the Open House:

- The open house is a component within the process to submit the sub-district addendum to the Advisory Plan Commission and ultimately the Westfield City Council for approval. To this point, the document has input from the neighborhood residents and the sub-district committee. The open house is open to the general public and is a communication vehicle to collect and process feedback regarding the addendum as this continues to be a citizen driven document.

Executive Summary of Sub-District Addendum:

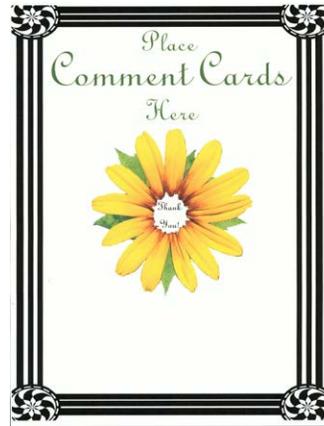
- The purpose of the Comprehensive Plan Addendum is to provide further definition to the previously approved criteria for the area, to ensure preservation of green space, provide for continued artisan farm and rural lifestyle opportunities, promote responsible high-quality development and redevelopment, and increase property values of the New Suburban Southwest area. The topography and open nature of this area is enjoyed by many and because open space is a valued community amenity, every effort should be made to encourage uses that preserve this open character. Moving forward, this area will be referred to as the Conservancy.

Welcome to the Conservancy Open House
November 4, 2015 from 6:30 – 8:30 p.m. at the Wood Wind Pavilion.



We welcome and thank you for joining us this evening! Please enjoy refreshments, enter to win a door prize and wander at your leisure to the different stations within the open house. Here you will learn about the exciting initiatives happening in this area of Westfield. Please fill out the comment cards placed at the stations to share your comments and feedback. We appreciate you being here!

Kind Regards,
Suzy DuBois & Kristen Burkman



We want to recognize the city officials who have joined us this evening:

City Councilmen
 Chuck Lehman
 Cindy Spolaric
 Jim Ake
 Steve Hoover
 Rob Stoken
 Bob Hecker?

Boris
2 Quizzes - Tracy Forrester

Director of Economic Development - Matt Skilton

Recognize the Committee working on the Addendum

City Spolans
 Chuck Lehman
 Steve Hoover
 Danielle Tolan - Washington Township Trustee
 Ken Kingshill - Advisory Plan Commission
 Dr. Bruce VanNatta
 Dr. Ginny Kelleher
 Suzy DuBois

Thank you to the following neighbors who have donated their time and talent in donating door prizes and refreshments:

Armstrong
 Arnold
 Calvert
 Davis
 Kaylor
 Pielemeier
 Severson
 Stafford
 VanNatta
 Wadum
 Wood Wind Golf Club - Matt Cohart & Dec O'Neal, Kithie Damm
 - hosting our gathering at the beautiful facility
 - we are so excited to continue to have Wood Wind as part of our neighborhood in 2016

Thank everyone for attending, fill out comment cards, enjoy the evening
 Introduce Matt Cohart

The Conservancy Educational Areas

Wood Wind Golf Club

- Visit with Doc O'Neal and Matt Cohort as they share the exciting plans for Wood Wind in 2016.

Greenspace Preservation

- The Department of Natural Resource experts will discuss wildlife friendly options for greenspace including forest, prairie and wetland vegetation.

Raymond Worth Park

- A beautiful example of preservation within our area, this park has adventurous future plans. Stop by and see the City of Westfield Parks Department to learn more.

Conservancy Lifestyles

- Visit **2 Queen Bees** to purchase honey made right here in this area!
- Many of the residents within this area enjoy hobby farms, a variety of art forms, and equestrian lifestyles. We will highlight these passions within this area.

Conservation Best Practices

- This area has strong water conservation practices and the vision for the future is to increase these practices. Experts from the Hamilton County Soil and Water Department are here to share ideas.

Conservation & Rural Development

- A conservation development expert is available to answer questions and share information about the beautiful, Tron Farm, in northern Indiana.





... and then there was the summer apples they called the transparent which made up in pies that would melt in your mouth and in appeasance they would grace our table every day. Then there was the old crab apple tree in the back yard with its low limbs just right to make a swing on and also so easy to climb to the top, for it wasn't as tall as some.

... In our orchard, we also had a variety of fowls, for mother raised chickens, geese, ducks, turkeys and guineas and a few peafowls, with their beautiful, strutting, long, colorful tails of blue and green. Sometimes they would shed some of their long tail feathers and we would gather them up and make a decoration out of them to hang on the wall.

... In our orchard were persimmon trees, grandfather Hinshaw set out years before and my, at the abundance of that good fruit we had, mother would make pudding that was so rich that you couldn't eat, too generous of it, she would put gallons and gallons of persimmons down in jars and sugar covering them and weigh them down and that syrup was a delicious treat for anyone.

... That old barn, I'll never forget! I thought it was the biggest barn in the whole world, then, but when I grew up I realized it was just an ordinary barn, but we kids had more fun in that old barn. The haymow was full of sweet smelling hay, and they had a rope to the top of the barn from the floor that they used to pull the hay up with.

... I had a little black and white fox terrier dog I called Tippey and I would dress that dog up in doll dress and tell him to lie quietly on the pantry shelf and he would mind me and not move.

... When I was in seventh grade mama signed me up to take piano lessons of Mrs. Gray in Noblesville, in the summer. I drove the horse and buggy and it took all day to go and come for a one-half hour lesson, but I think I learned more from her than all the rest of the teachers I had.

Historical Excerpts written by Mary Harvey, who was born in 1897 and a resident of this area. These memories are from the early 1900's but still resonate for many in the Conservancy Area. Enjoy!

D. Open House Welcoming Table

Welcome!

- Please sign in.
- Get a name tag.
- Sign up for door prizes.
- Enjoy refreshments.
- Visit the 'Educational Areas.
- Provide feedback on the comment cards.



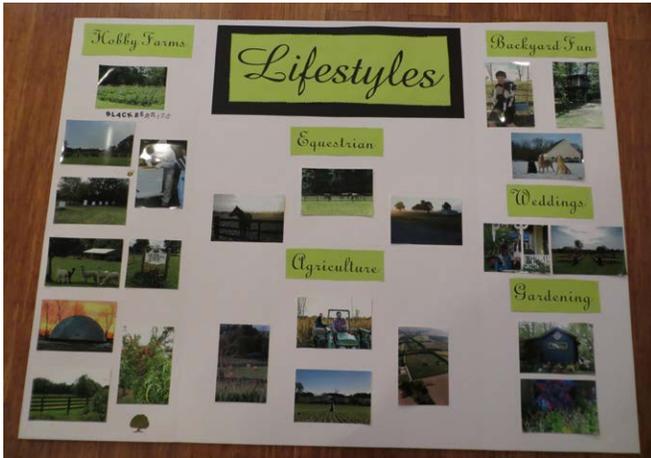
Special Thanks to the following neighbors for door prize & refreshment donations!

Armstrong Family
 Arnold Family
 Cohort Family
 Davis Family
 Kaylor Family
 Pielemeier Family
 Severson Family
 John South
 Stafford Family
 VanNatta Family
 Wood Wind Golf Club



E. Open House Booths / Boards

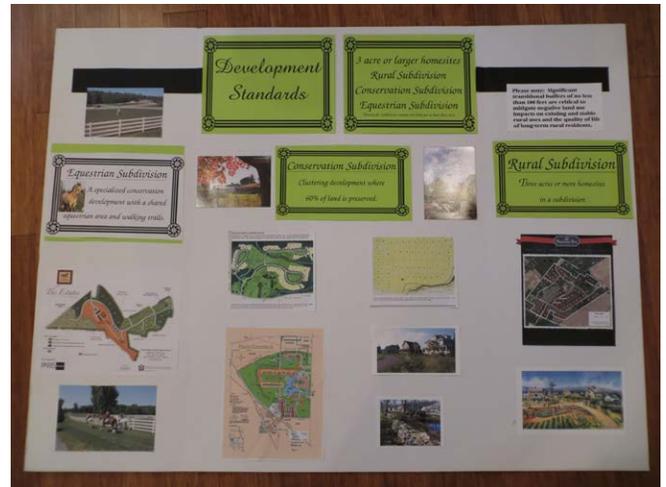
1. Lifestyles Presentation Boards:



2. The Conservancy Presentation Board:



3. Subdivision Types:



4. Soil and Conservation



8. Westfield Parks Department



F. General Pictures



G. Open House Comments

Comments from the Evening:

This was a wonderful way of expressing the beauty and uniqueness of this area. It's a spectacular part of Westfield as expressed by this well organized event.

Would love to see an equestrian subdivision here.

You're kind.

Needs more welcoming environment for kids – parks department

Love this and would like to be involved! Very important to conserve our greenspaces in Hamilton County.

Steve Hoover:

Thanks Kristen, Suzy and others for the incredible amount of work that you did for the open house and leading up to it. I heard nothing negative and was amazed at the turnout. Thanks again.

Steve

Cindy Spoljaric:

A giant thank you to Kristen and Suzy for all their hard work for the event! What a great turnout! I spoke with many folks, mostly very supportive. A few I spoke with were a bit reserved and info-seeking, primarily builder/developers. The size of the group there and their support sent a message to developers that the standard method that are accustomed to would be not be supported. Several residents I spoke with wanted to be actively involved with the group and any work going forward.

Something a developer brought up by I didn't think too much about it before was how development 32 and north will create a much larger traffic burden in the area in the future, with traffic coming north from 146th. For the shorter term, I think Springmill be most burdened but obviously road improvements on Towne will likely encourage traffic that way too. While we address buffers on roads for projects, we had not really discussed roads in general. Maybe we want to further address specific road improvement as related to thoroughfare plans and/or complete streets policy? I was so excited to see that kind of turn out and support. What a great evening!

As an aside, I asked Langston what was going on the Bent Creek-he had been asked to move the road and being amenity center to a more central locale in project. That redesign created some issues with floodplain and engineering but think that has been resolved now and so the project should be coming back shortly for approval.

From: Kristen Burkman <rkburkman@gmail.com>
To: T.M.T., Incorporated <dub164@aol.com>
Subject: Comments from Open House
Date: Fri, Nov 6, 2015 9:20 am

Good Morning! It's great I put out 100 comment cards because we obviously needed them.

This is it for the written comments. Also going to send an email to the Council to see if they want to give a summary of what they heard. We can do the same.

Comments:

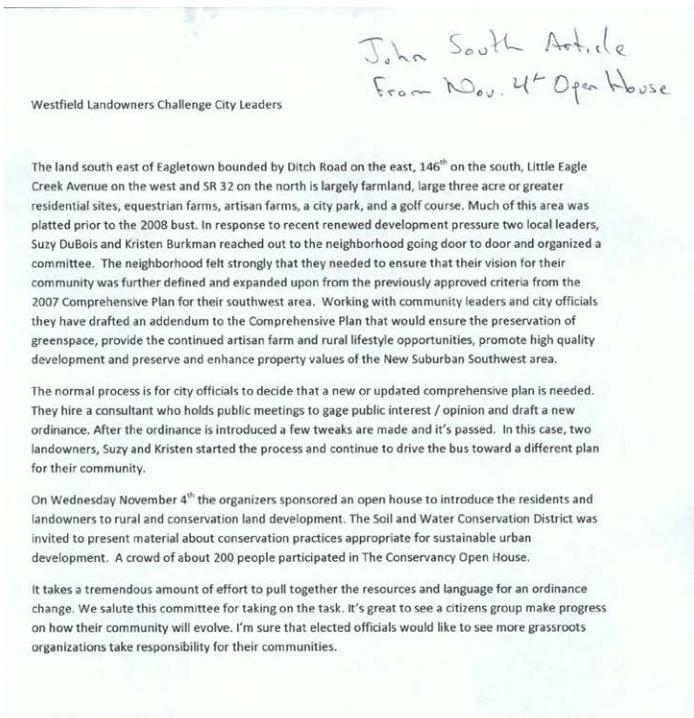
This was a wonderful way of expressing the beauty and uniqueness of this area. It's a spectacular part of Westfield as expressed by this well organized event.

Would love to see an equestrian subdivision here.

You're kind.

Needs more welcoming environment for kids – parks department

Love this and would like to be involved! Very important to conserve our greenspaces in Hamilton County.



H. Open House Summary

By: Kristen Burkman, The Conservancy Task Group

We've received tremendous feedback from the city regarding the event. They've told us that there has never been a community event like this one so well attended in addition to the overwhelming positive support for the initiative. That made this event special. It wasn't people taking time out of their schedule to come complain (much easier to attract); it was people actually supporting the initiative. It's quite incredible.

Here are the facts coming out of the open house:

- ▶ Over 200 people attended - largest ever for this type of event.
- ▶ Public announcement that Wood Wind will be open in 2016 - very exciting news!
- ▶ This initiative is official with the city and will be called the Conservancy Task Force Group just like Grand Junction and Springmill Station.
- ▶ The overall objective of the group is to keep Wood Wind a public golf course for community use and preserve the entire designated southwest area using conservation best practices.

Exciting news was announced that Wood Wind Golf Club will be open in 2016. We want to add that the owners of the course have performed a very gracious act to extend the contract to Cohoat/O'Neal management for another year in hopes of a permanent solution being found. Wood Wind sold memberships for 2016 at the event.

In summary, we had the following groups at the event:

- ▶ Scott Kuchta - Tryon Farm - A developer of conservation subdivisions and land preservation expert
- ▶ John South & Clare Lane- Hamilton County Soil and Water Conservation - water conservation best practices
- ▶ Falyn Owens -Department of Natural Resources - wildlife preservation
- ▶ Neighbors in the Conservancy - Tracy Pielemeirer from 2 Queen Bees, Dr. Bruce VanNatta from SurReal Blackberries' Farm, Rex Burkman - Astrology/Night Sky Presentation
- ▶ Chris McConnell - Raymond Worth Park
- ▶ Doc O'Neal & Matt Cohoat - Wood Wind Golf Club

We were overwhelmed by the incredible public support at this event. Obviously, Westfield citizens care about preserving our public golf course and the overall area for future generations to enjoy. We thank all those who attended the event and have shown support through our petition and Facebook page. This is truly a community driven initiative!

APPENDIX D

WOOD WIND GOLF COURSE

A. Background

On February 27, 2015, Landeco, LLC filed an application for a change of zoning with the City of Westfield to redevelop the 210.92 acres +/- currently consisting of the Wood Wind Golf Club (Plan Commission Docket No. 1504-PUD-05). The petition was introduced to the City Council on March 9, 2015, but then subsequently withdrawn by the applicant prior to a public hearing by the Plan Commission.

This appendix includes basic information pertaining to the existing golf course operation, redevelopment proposal, and “Keep Wood Wind” petition. The citizen-led effort to “Keep Wind Wood” evolved into The Conservancy Task Group’s effort and process in preparing this addendum.

B. Golf Course Information

This information has been provided by Cohoat and O’Neal Management, Wood Wind Golf Course operator, and Kristen Burkman, Conservancy Task Force Group.

Wood Wind Golf Program

Junior Golf By the Numbers:

- 300 Youth have participated in golf camps this year at Wood Wind
- 30 youth players have participated in a 9 hole Junior League each week
- 30 youth players have participated in a PGA Junior League competing against teams from different courses
- 25 high school students are participating in a caddy program at Wood Wind
- 10 high school students are participating in the caddy program at Wood Wind in to earn an Evans Scholarship. Only 6 area golf courses are offering this program.
- If these local students earn the Evans Scholarship, the scholarship will be worth approximately \$90,000 each for a total of **\$900,000** in college aid money.
- Home course for the 2015 IHSAA State Champions, Westfield Shamrocks.

Charitable Impact:

- Since 2008, charitable outings held at Wood Wind Golf Club have raised **\$5.6 million** to support and enhance our community.

Community and Economic Stimulation:

- 100 people employed at Wood Wind
- Largest Men’s Club in central Indiana with 500 members
- Vibrant Senior League with over 100 members
- Uses local Westfield business Palamino Catering for all events
- Averaging 30,000 rounds per year which results in increased consumer traffic to local restaurants and businesses

Brand New Offering – FOOT GOLF:

- **FootGolf** - is a combination of the popular sports of soccer and golf. The game is played with a regulation #5 soccer ball at a golf course facility on shortened holes with 21-inch diameter cups. The rules largely correspond to the rules of golf.
- Availability to all the soccer players at tournaments at Grand Park.
- Expands use of golf course to include all people in the community

Health Benefits:

- **Reduces Stress** – It’s been said that playing a round of golf releases endorphins. These are all-natural, powerful, mood-enhancing “drugs” within our brains. Basically, golfing helps you relax, reducing stress, which can effect health drastically.
- **Stimulates Blood Circulation** – Some suggest that playing golf may actually stimulate blood circulation with your brain. This helps to improve nerve cell

- **Improves Mortality Rate** – A Swedish Study in the Scandinavian Journal of Medicine & Science in Sports concluded that golf just may affect life expectancy. According to the publication, of those who play golf regularly, there was a 40% decrease in mortality rates. That’s an increase of a 5-year life expectancy.
- **Blood Glucose Falls** - When walking 18-holes of golf, blood glucose levels fall by up to 20% for the young, 10% for the middle-aged, and 30% for the elderly players, and bodyweight is slightly reduced for all groups.
- **Increased Dexterity** - Repeated golf practice enhances balance control and confidence among all age ranges.

Environmental Benefits:

- **Community Greenspaces** - provide recreational opportunities and also offer and enhance wildlife habitats.
- **Air conditioners** - produce vast amounts of oxygen while cleansing the air of pollution and cooling the atmosphere.
- **Water treatment systems** - Healthy turfgrass is a filter that traps and holds pollutants in place; courses actually serve as catch basins for residential and industrial runoff; many courses are effective disposal sites for effluent wastewater.

Wood Wind Golf Club Information

Golf Course Facts:

- Wood Wind is owned by Bent Tree Partners and they are the sellers.
- Cohoat and O’Neal Golf Management has been the operator and lessee of Wood Wind. They’ve leased the course for the past five years and their lease has not been renewed for 2016)
- Wood Wind is a viable, ongoing operating entity that has allowed the management group to cover all the operating and capital cost and make continuous improvements.
- Wood Wind is Westfield’s only public golf course and fits Westfield’s Amateur Sports Capital of Indiana Strategy to offer recreational opportunities for all ages.
- The course is one of the busiest in central Indiana averaging around 30,000 rounds annually.
- Wood Wind employs about 100 people over the course of the year.
- Over 425 area youth participate in lessons, leagues, and camps each year, representing one of the largest youth golf programs in the state.
- Over 225 men’s club members which appears to be the largest in the state.
- Vibrant senior support with over 100 senior players.
- Ladies league and clinics with over 100 participants.
- Wood Wind is a valuable community partner that donates around 500 rounds of golf to local charities, loans golf carts to the schools and parks department.
- Wood Wind is the home course for Westfield’s boys and girls golf teams. The boys team won the State Championship in 2015.
- They host a number of outings and tournaments each season drawing in hundreds of people to the community. Charitable earnings from golf outings held at Wood Wind are estimated to exceed \$5 million in the past 7 years. These are millions of dollars going back into our community.
- One of six golf courses offering the Evans Scholarship Program. Currently 10 students are caddying to apply for this scholarship. Each scholarship is valued at \$80,000.
- Offers the increasingly popular game of FootGolf
- Is a valuable recreational asset in our community that attracts people to Westfield and supports area businesses.

Community Support:

- Started a petition in the spring which quickly reached 1,200 signatures to keep Wood Wind Golf Club a golf course. We have over 1,000 comments from people through the petition. Comments are available. Please request if needed

B. Redevelopment Proposal

- Facebook page named Westfield Citizens Against Development at Wood Wind is currently reaching 7,000 interested people with posts about Wood Wind. It has almost 600 "likes"

Environmental Benefits of the Golf Course:

- Providing needed wildlife sanctuaries
- Preserving natural areas within urban environments
- Supporting plants and wildlife native to the area
- Protecting water resources
- Filtering stormwater runoff through golf course wetlands and turfgrass
- Provides cycling community with an area of beauty to ride
- Part of the Little Eagle Creek Loop on the Hamilton County Trails Map

Surrounding Golf Course Information:

This table illustrates the number of courses available as an amenity in surrounding cities. If Westfield loses their public course, it will be the only city of the surrounding cities without a public golf course available to their citizens. You'll also notice that many of the cities have a city owned course.

City	Population	Public Golf Course	City Owned/ Public	Private Golf Courses	Total Available to Public	Total Golf Courses
Carmel	87,000	2	1	3	3	6
Noblesville	86,000	3	2	2	5	7
Fishers	58,000	3	0	1	3	4
Westfield	35,000	1		1	1	2
Zionsville	26,000	1	1	1	2	3
Lebanon	16,000	3		1	3	4
Frankfort	16,000	1	1		2	2
Cicero	5,000	1			1	1

On February 27, 2015, Landeco, LLC filed an application for a change of zoning with the City of Westfield to redevelop the 210.92 acres +/- currently consisting of the Wood Wind Golf Club (Plan Commission Docket No. 1504-PUD-05). The petition was introduced to the City Council on March 9, 2015, but then subsequently withdrawn by the applicant prior to a public hearing by the Plan Commission.

WOODWIND PUD – NARRATIVE STATEMENT

The purpose of this change of zoning request (this "Request") is to allow for the development of the property commonly known as Woodwind Golf Course (the "Property"). The Applicant is requesting a change of zoning from AG-SF1 to a PUD containing the underlying districts more particularly described in the draft Woodwind PUD Ordinance.

It is the intent of the Applicant to develop a neighborhood containing approximately 315 residential lots. The concept plan included in this submission illustrates the intent of Applicant to utilize the natural tranquility of the Property, creating a variety of living options for residents. The concept plan exemplifies four different products to be offered at the Property to accommodate the differing needs of Westfield residents.

The Applicant believes that the Property will be more properly utilized if the Request is granted, fulfilling the needs of the City of Westfield and its residents.



COMMUNITY

Footgolf comes to Westfield

By Michelle Williams
news@currentinwestfield.com

A new sport is taking hold at a handful of golf courses around the state. Footgolf, a combination of soccer and golf, has just arrived at Wood Wind Golf Club in Westfield. The club is now a member of the United States FootGolf Association, and introduced footgolf at its Grand Opening event on May 10.

The sport kicked off in the U.S. in 2011, supported by Ted Bishop of the PGA of America. Many golf clubs are adding the sport as a way to attract people to their facilities. In 2014, about 50 golf clubs in the U.S. were certified through the USFGA and has grown to over 200 already this year.

Wood Wind will invite footgolf players to schedule "kick times" Fridays, Saturdays and Sundays after 4 p.m. or anytime on Tuesdays. Club management is preparing for a learning curve with the introduction of the new sport. "It's like when snowboarding was introduced to the ski slopes. Not everyone accepted it at first. Not all the ski resorts brought it on because it's part of the Olympics," Heger said. Director of Sales Jeff Cohoat expects the

Cooper Williams celebrates his successful shot at the Wood Wind Footgolf course. (Photo by Michelle Williams)

sport to appeal to families. "With daylight savings time, you get home from work at 7 p.m., grab your son and spend two hours here having a blast."

Cohoat said that footgolf is \$20 for an adult, whereas a regular round of golf may be up to \$59. More information is available at www.woodwindgolf.com.

sprawl would negatively impact the unique dynamics of the area.

We love Woodwind Golf Club and would hate to see it turned into a neighborhood. This community needs a public course.

I have 4 children who are starting to play junior golf and as a resident of Westfield this is the only public course they can enjoy the game in our city. I am all for developing housing in our city and if they cannot incorporate the public golf course into planning....there is plenty of land adjacent this property to grow our community.

The golf course adds to the beauty of our community and is an attraction to people who live here and those who consider making Westfield their home.

This is our only public gold course, there are plenty of other spots to start more housing developments. It's a wonderful facility that should not be bulldozed.

I would like to see Wood Wind stay a golf course! We use the facility often and would rather have the golf course stay and have new housing developed elsewhere.

I'm signing this petition because I believe it's important keep Wood Wind Gold course as a green space within Westfield and not turn it into another housing development.

We need this course and certainly not more housing!

we need to keep this space.

keep the gold course as a spot for recreation and green space. please.

The Gold course provides enjoyment and revenue to members of the community and surrounding suburbs.

We need a public golf course more than another subdivision. Both my 2 boys and I have played this course the last 10 years.

KEEP WOOD WIND GOLF CLUB A GOLF COURSE PETITION

Wood Wind Golf Club is the only public golf course in Westfield, Indiana and an established green space. A plan to bulldoze the golf course and replace it with a housing development has been submitted to the city of Westfield. Keeping the golf course is important to the citizens of Westfield as a recreational asset, established green space, junior golf developer, employer, and Westfield High School Golf Team home course. I've started this petition as a member of Wood Wind Golf Club and citizen of Westfield. My family has enjoyed this beautiful golf course over the years. If the Westfield government decides to bulldoze the only public golf course, the city will likely never have another public golf course. Please join me in signing this petition if you feel Wood Wind should remain a golf course for this community to enjoy. The support you give to this petition will be used to communicate to the Mayor, City Council and Advisory Plan Commission. While the city does not own the course, they do decide on the zoning which would make a high density development possible. Many thanks for your time and consideration! Sincerely, Kristen Burkman

PRINT NAME	SIGNATURE	DATE	EMAIL
MARIYU SHARP		4-1-15	
BOBBY STARR		4-2-15	
Julie Pettigrew		4-3-15	
Tina Burk		4-4-15	
JEFF BURK		4-4-15	
MaTash BURK		4-4-15	
Caleb Pettigrew		4-5-15	
MIKE PETTIGREW		4-5-15	
Betsy Riley		4-5-15	
Taylor Riley		4-5-15	
PENNY REED		4-6-15	

PRINT NAME	SIGNATURE	DATE	EMAIL
Michael Kayler		3-31-15	mike5237@yaho.com
Heather Pangel		4-1-15	
Kristin Walker		4-2-15	
Shannon Krier		4-2-15	
Megan Bolin		4-2-15	
Taylor Williams		4-2-15	
Charles Peterson		4/2/15	
Kristen Conrath		4/2/15	
AL HOLOM		4/3/15	
Whitney Thomas		4-3-15	
Eric Thompson		4-4-15	thompson@getawer.net

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
CURTIS Neal		4-6-15	Neals.Plumb@comcast.net
Judy Stafford		4-6-15	
Barbara Hokensmith		4-6-15	
Danny Hurlinger		4-6-15	
Debbie Ornd		4-6-15	
James Kidd		4-6-15	
Janet Kidd		4-6-15	
Norma Crosslin		4-6-15	
Don Ornd		4-6-15	
Myson Hoyt		4-6-15	
Jordan Snow		4-6-15	
Jared Ornd		4-6-15	
Lynne Mekeal		4/7/15	
Barbara Murphy		4/12/15	
Frank Murphy		4/12/15	
John Murphy		4/12/15	
Matt Qualy		4/14/15	
Markase Qualy		4/14/15	
Kim Bernstein		4/17/15	
DAVID Bernstein		4/17/15	

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
Mike Sharkey		4-11-15	
SCOTT WOLFE		4-11-15	
Joseph Walker		4/11/15	
Tim O'Hara		4-19-15	
Mark Saphia		4/19/15	
Mark Saphia		4/19/15	
Jason Tucker		4/19/15	
Derek Michael		4-19-15	
Gary Biggs		4/19/15	
JASON LEWIS		4/19/15	
JEFF MCKESSE		4/19/15	

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
Sharon Alexander			
Tiffany Chance			
Carlin Prater			
Verlana Schockoff			
Ruth Smith			
Amanda McFarland			
APRIL A. KANE			
Deborah Moody			
MVA SIKAS			

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
DAVID WINEENSMITH		04/09/2015	
JUDY KLINGENSMITH		4/9/15	jklingensmith@indy.craze.com
Gloria Del Greco		4/11/15	gdelgreco@purdue.edu
Wanda Moran		5-2-15	
LOU CLINGENSMITH		5-2-15	
LEWIS MACKIE		2 May '15	
FRANK PAIR		" "	FRANK PAIR BOX NET
KAROL SORRELL		5-2-15	
MARTHA CAREY		5-2-15	
Charles Bailey		5-2-15	
JANICE BAILEY		5-2-15	

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
Rich CHYBA		5/2/15	Rchyba@Acl.com

KEEP WOOD WIND GOLF	CLUB A GOLF COURSE	PETITION	EMAIL
PRINT NAME	SIGNATURE	DATE	EMAIL
Ayesha Allen		5/14/15	
Edna MONTECASTLE		5/19/15	
William R. Montecastle		5-19-15	
Cleopatra Justal		5/19/15	
David Taylor		5/24/15	
Katy Kaylor		5/4/15	
Stephanie Kaylor		5/24/15	

PRINT NAME	SUBDIVISION	EMAIL
LARRY HUTTON	Village Farms	LWHUTTON43@gmail.com
Jac Montgomery	Grassy Knoll	montgomery_jac@gmail.com
Botch Meese	Maple Knoll	botchmeese@rocketmail.com

PRINT NAME	SIGNATURE	DATE	EMAIL
KIRK NELSON	[Signature]	4/5/15	NCHENKOLET@AOL.COM
Kenny Housel	[Signature]	4/6/15	chadkyp@yach.com
Brett Juel	[Signature]	4/7/15	
Wayne Carter	[Signature]	4/13/15	
Roger Allen	[Signature]	4/16/15	
James Bechtel	[Signature]	4/16/15	
David Corra	[Signature]	4-16-15	
Matt Dumas	[Signature]	4/18/15	
Rob Corp	[Signature]	4-18-15	
Adam Saffron	[Signature]	4-20-15	
John C	[Signature]	4/21/15	
Bob Geyer	[Signature]		
Rick Kocets	[Signature]	4/25/15	
Laura M Spadon	[Signature]	4/27/15	
GREG REAGAN	[Signature]	4/27/15	
Scott Kozak	[Signature]	5/1/15	
Dawn Johnson	[Signature]	5/1/15	
Dana Kozak	[Signature]	5/1/15	
Quincy Johnson	[Signature]	5/1/15	
John D	[Signature]	5/2/15	
Brian Furness	[Signature]	5-2-15	
Mike Hansen	[Signature]	5/2/2015	mikehansen@ay.com
Garret Brink	[Signature]	5/2/15	
Josh Schmitt	[Signature]	5/15/15	
Zach Hulse	[Signature]	5/20/15	
Thason Newman	[Signature]	5/19/15	jhasonnewman@acell.com

PRINT NAME	SUBDIVISION	EMAIL
JOSEPH PLANKIS	PENTENNIAL	jplankis@GODOWN.NET
Ed Higgins	Village of Oak Manor	higginsedj@gmail.com
Carla-Joe Ryan	Waters Edge	joeryan756@hotmail.com
Mike Lee	OAK Manor	PmLee2ml@comcast.net

Name	Location	Date	Comment
Chase Butler	Westfield, IN	2015-09-14	Woodwind is the best thing that ever happened to me, it probably kill myself if it would close
Ian Kristensen	Fishers, IN	2015-09-14	This is the only public golf course around in Westfield. I have many friends that work there and would lose jobs because of this action.
Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out my backyard and see another neighborhood
Paul Kieberger	Westfield, IN	2015-09-15	This is a gem in our town - build around it
Austin Kukura	Westfield, IN	2015-09-15	We're hitting every square mile into housing. Enough is enough.
Sam Adl	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!
Nathan DiFlora	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already
Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, its beautiful, and needs to stay.
bryce cancel	Sheridan, IN	2015-09-15	Love to play at this course and would be sad to see it go
maria quintero	Noblesville, IN	2015-09-15	its a green space and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES
Dick Edmonds	Westfield, IN	2015-09-15	The last thing we need is another housing development at the expense of quality of life issues
Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.
Scott Tackoff	Westfield, IN	2015-09-16	I love to play golf there. I would hate if it was torn down.
Jeff Whetzel	Zionsville, IN	2015-09-22	I like the place. We don't need more houses.
Don Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.
Paty Smith	Westfield, IN	2015-10-10	No one in hamilton county want more houses the area now is already is over built with houses we need more green space not ever populated I move here because of country feel it is no longer like that every where houses as apartments taking soccer field no more will move further out if it continues you cant even find a parking spot at Kroger now 169th Spring Mill over crowded all farm land being up with greed we are acting like Carmel pretty soon no more green space
Carolyn McKay	Roann, IN	2015-10-21	We want to keep an area of our community GREEN & having a local golf course in Westfield is awesome!
Tony Dryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!
Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.
Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.
Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood

Name	Location	Date	Comment
Tyler Clavenger	Westfield, IN	2015-05-29	The signing because Woodwind is a great golf course and there's plenty of development elsewhere in Westfield. We need to keep these types of establishments untouched.
abby klepferstein	Westfield, IN	2015-05-29	I don't want more housing built. Green space!
Kelly Kyle	Westfield, IN	2015-05-29	I think the golf course should stay. There are so many other areas to build houses and this shouldn't be one of them. The golf course is one of the more appealing areas in our city. It is also the only public golf course we have. Build elsewhere please.
Judy Long	Plainfield, IN	2015-05-31	We do need more houses in the area and we certainly do need the golf course
Melissa Reed	Indianapolis, IN	2015-06-01	My husband plays here sometimes and not everything needs to be over developed in this area. That's the reason he plays there.
Susan Nielsen	Westfield, IN	2015-06-01	We need to keep a plan close for golf, and no more cookie cutter houses
Michelle Krasza	Carmel, IN	2015-06-01	We love playing at Woodwind! We have enough home development in play. Leave this course alone!
Anne Marie Scher	Carmel, IN	2015-06-02	I love that course! It is a very unique asset to the Community!
Brian Rismiller	Westfield, IN	2015-06-03	I love golf and Woodwind is a great golf course and would like to see it remain a city amenity
Karen Hymbough	Westfield, IN	2015-06-06	I don't like this continued expansion into farm lands by foreign investors
Patricia McHugh	Westfield, IN	2015-06-13	I would like to see the City of Westfield purchase the course to maintain its public status before some developer has its way with this beautiful piece of property.
Ginger Keil	Westfield, IN	2015-06-27	I'm signing because Woodwind is absolutely beautiful! I can't even imagine the could be a consideration. Are we going to lose ALL of our remaining green space to houses in Westfield??
Jasmine Syleback	Westfield, IN	2015-06-27	This needs to be maintained a green space!
Kate Fuelberth	Westfield, IN	2015-06-27	My husband is a member and would hate for him to lose this golf club so close to our house.
Jessica Johnson	Carmel, IN	2015-08-28	We love golfing here and to lose this greens pace would be detrimental to our future.
Nichole Wight	Westfield, IN	2015-08-28	We moved to Westfield a year ago and love this area and the landscape of it all. It'd be a shame to see it go.
Caleb Richardson	Myrtle Beach, SC	2015-08-28	Golf is a sport that I grew up on and I remember playing that course with my Dad. I want others to enjoy the same memories that I have!
Steve McDonald	Cicero, IN	2015-08-18	Like the course. Great place for me to go play with my friends. Not every open piece of ground has to have a house on it
Jenny Riack	Westfield, IN	2015-09-14	My family spends a lot of time at this golf course. We love it!
Roger Fox	Noblesville, IN	2015-09-14	We need public course options
Jennifer Beck	Westfield, IN	2015-09-14	I would love to see the city attempt to purchase this course and run it publicly. Or at least provide incentives to the owners to keep it operational. We need more green space and variety on the west side of town to prevent overdevelopment and make this side of town more attractive.
Cynthia Stallord	Westfield, IN	2015-09-14	I believe Wood Wind, as a usable green space for everyone in the community, is a valuable & irreplaceable asset to Westfield. It would be shortchanged to not it go.
Mary Horedos	Westfield, IN	2015-09-14	My son loves to play there and goes to the golf camp in the summer. He loves it!

Petitioning Westfield City Council, Mayor and Advisory Plan Commission
Keep Wood Wind Golf Club a Golf Course



1099 online
 114 written
 Total 1,213
 11-18-15

Kristen Burkman
 Westfield, IN

1,099
 Supporters

Wood Wind Golf

Club is the only public golf course in Westfield, Indiana and an established green space. A plan to bulldoze the golf course and replace it with a housing development has been submitted to the city of Westfield. Keeping the golf course is important to the citizens of Westfield as a recreational asset, established green space, junior golf developer, employer, and Westfield High School Golf Team home course. I've started this petition as a member of Wood Wind Golf Club and citizen of Westfield. My family has enjoyed this beautiful golf course over the years. If the Westfield government decides to bulldoze the only public golf course, the city will likely never have another public golf course. Please join me in signing this petition if you feel Wood Wind should remain a golf course for this community to enjoy. The support you give to this petition will be used to communicate to the Mayor, City Council and Advisory Plan Commission. Many thanks for your time and consideration!

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Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood	Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood
Paul Kleeberger	Westfield, IN	2015-09-15	This is a gem in our town - build around it	Paul Kleeberger	Westfield, IN	2015-09-15	This is a gem in our town - build around it
Austin Kokura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.	Austin Kokura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.
Sam Adli	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!	Sam Adli	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!
Nathan DiFlora	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already	Nathan DiFlora	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already
Nick Smiati	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, its beautiful, and needs to stay.	Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, its beautiful, and needs to stay.
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Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.	Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.
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Don Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.	Don Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.
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Carolyn McKay	Roann, IN	2015-10-21	We want to keep an area of our community GREEN & having a local golf course in Westfield is awesome!	Carolyn McKay	Roann, IN	2015-10-21	We want to keep an area of our community GREEN & having a local golf course in Westfield is awesome!
Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!	Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!
Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.	Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.
Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.	Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.
Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood	Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood
Name	Location	Date	Comment	Name	Location	Date	Comment
Mike Baker	Westfield, IN	2015-03-22	I have played this course for over 20 years. This course is the best golf course in Hamilton county for Carmel residents. There is so many other options than destroying this pristine, well operated and fun course to play.	Jill McElhenny	Carmel, IN	2015-03-17	I love this course! It's a beautiful green space and the only public course in Westfield. To bulldoze it for another cheap housing complex would be an incredible shame.
David Phobus	Carmel, IN	2015-03-23	This is typical of Westfield. Drive out a commercial business and replace it with more tract homes. Eventually your property taxes will make it impossible to live there. Support your tax payers for once. Grand Park can't be the answer to every question.	Johnston Johnston	Westfield, IN	2015-03-17	Why destroy a sport facility when the goal of Westfield is being centered on sports. Build homes as golf course hole and get premium prices. We can have our car and eat it too.
paul anderson	duluth, MN	2015-03-23	keep the public golf available!	Jeanne spalatio	Westfield, IN	2015-03-17	woodwind should stay. it's such a beautiful piece of land and is a positive aspect in the community. Our family loves having it so near and frequent it during the summer months.
Steve Jones	Westfield, IN	2015-03-23	Need to keep a public course in Westfield. There's plenty of existing places to build more houses.	Michelle BonJour	Carmel, IN	2015-03-17	My husband golfs at Wood Wind Golf Club in a league and on weekends! It IS NOT right to plow it over!
Ryan Tucker	Alpharetta, GA	2015-03-23	Recreation and green spaces are healthy for people - and golf courses provide both	April Hedgecraft	Westfield, IN	2015-03-18	Because my family and I enjoy spending our summers golfing there
Robyn Weikman	Westfield, IN	2015-03-25	I spent my entire first 20 years less than a mile from WW Golf Course. For the last 10 years, I've traveled the world and lived a number of places across the United States. I believe change is good and inevitable, but I was very shocked and disgusted with the over expansion and growth Westfield has seen in the past 10 years. Nothing of beauty remains and it's all being replaced by lifeless subdivision after subdivision. Urban planning would fit some good and parks and green spaces always beautify a community. Public health is also very important to a community's vibrancy and mental well being. I hope you reconsider an outlandish offer to cover up that beautiful stretch of land. In 10 more years when all of the rest of Westfield is committed to homes, this will be even more important than it seems right now. Give Westfield progress while maintaining it's natural beauty and character.	Koby Vest	Westfield, IN	2015-03-18	My son loves Wood Wind. Has done several summer camps there and is looking forward to playing for many summers to come.
Jijun Chen	Westfield, IN	2015-03-30	We need to preserve more green fields.	Tyris arnski	Westfield, IN	2015-03-18	I live next door to the golf course and I would like to see it remain free space and recreation space.
Deborah Lawrence	Westfield, IN	2015-04-02	I believe in keeping the Wood Wind Golf Club and course instead of replacing it with a housing development. Westfield needs a public course and also needs the aesthetic appearance of a golf community over another housing community.	Greg Lehman	Westfield, IN	2015-03-18	There is too many homes in area already and important to have some area for recreation and kids to learn game of golf.
Lori Bricker	Carmel, IN	2015-04-02	This community needs a public golf course. Not everybody has the means to belong to Bridgewater, and I am uncertain if Westfield needs another housing development.	William Hill	Carmel, IN	2015-03-18	The Wood Wind Golf Club provides a quality golf course for young and old in Westfield and the surrounding area. This public course, the only one in Westfield, provides a great recreational opportunity for all residents as well as serving as a home course for the high school. It is a beautiful piece of property that needs to be kept as a golf course.
Fry B'vilgas	Indianapolis, IN	2015-04-02	It's a beautiful course, and there are too many new housing additions going up already. The course will serve people moving into these new areas. Do NOT lose this course!	Keana Redor	Carmel, IN	2015-03-18	Love Woodwind and don't want to lose the land to high density housing.
Robert Kronick	Westfield, IN	2015-04-02	We need open space, why not build a community around the golf course instead.	Marc Abizian	Westfield, IN	2015-03-18	I love to play golf there
Linda Baxter	Zionsville, IN	2015-04-03	Our daughter's high school team plays on this course as their home course. It would be a shame to see this beautiful course bulldozed.	chad morris	Westfield, IN	2015-03-18	Woodwind is my go to course. I live right down the street. I would have to find a new place and I love playing at woodwind
RJ Wachs	Fishers, IN	2015-04-03	woodwind is a fantastic golf course and one of my favorites in the city. There's plenty of other coin fields to plow over in Westfield. Also, I love trying to bomb my driver over the hill on #6 and trying to hit a lob wedge into a par 5.	David Wherry	Medinah, IL	2015-03-18	I realize I'm not a resident but do have family in the area. When we have been there for family reunions we play the course at least twice. We enjoy the layout and do not have to find our way around for a course further away.
Scott Weiner	Noblesville, IN	2015-04-03	I've played the course my whole life and I don't want it to go away.	Katie Jones	Westfield, IN	2015-03-18	Beautiful golf course would hate to see it gone. There is plenty of land for housing in Westfield, not Wood Wind.
Tim Malnes	Carmel, IN	2015-04-03	I would love for Wood Wind Golf course to remain a golf course.	samantha wright	Frankfort, IN	2015-03-18	Leave the land alone!
kari dickerson	noblesville, TN	2015-04-03	because we don't need another damn mix use development. Keep our green space out of it!	Jenise Kreigs	Zionsville, IN	2015-03-18	My husband and daughters all golf at Woodwind. It is lovely and we would really miss playing there. It's the only good 18 hole public course close to us.
				Sheely King	Zionsville, IN	2015-03-18	I love this golf course. Please don't tear it down.
				Jason Isaac	Indianapolis, IN	2015-03-18	I am in support of the petition as an avid golfer and supporter of more natural landscapes in our communities.
				Sharon Rice	Westfield, IN	2015-03-18	This should remain open to the public as a golf course and not converted to yet another builders dream. Please let it remain an amenity for our residents. It should continue as yet another resource for Westfield Citizens to enjoy. Respectfully, Sharon Rice
				David Winglee	Indianapolis, IN	2015-03-18	Woodwind/golf member
				Adam Ogzswala	Westfield, IN	2015-03-18	This is a great resource for the community and an attraction for (potential) home buyers.

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maria quintaro	Noblesville, IN	2015-09-15	its a green spaced and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES
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Steve Rupp	Indianapolis, IN	2015-03-10	We have plenty of land in Westfield to develop. Keeping a golf course here is very important and a valuable asset to our community.
Gary Harmon	Westfield, IN	2015-03-10	To me this is as important as Grand Park.
Julia Hanson	Westfield, IN	2015-03-10	We want to keep the golf course.
Richard Larrison	Noblesville, IN	2015-03-10	I have played at Woodwind Golf Course for a number of years. It is a beautiful course and it should remain a golf course. There are a number of other plots of land in that area of Westfield that could be developed without affecting the golf course.
Traci Hazdin	Zionsville, IN	2015-03-10	I golf there. It is a beautiful place when everything else is so built up there. Too many homes are starting to clog the area. It is a beautiful GREEN space and brings balance to the area.
Julie Bode	Westfield, IN	2015-03-10	I want Wood Wind to stay in our community. It's a very nice public course for people who do not have the luxury of joining a private course to use.
Mciah Hatch	Knoxville, TN	2015-03-10	I grew up and attended Westfield Schools from K-12. Even though I do not live here I want Westfield to grow and be great community to live in. Keeping open the only public golf course is important because it allows the general public the opportunity to play and learn the game of golf, a valuable asset to the community.
Ryan Smith	Plainfield, IN	2015-03-10	My parents enjoy playing on this course.
Laura Lancaster	Carmel, IN	2015-03-10	I was married on this golf course. I also attend a yearly charity event on this golf course for a cause that is dear to me. There is plenty of room to develop Westfield without infringing on this lovely golf course.
Kenneth Hatch	Carmel, IN	2015-03-10	I'm signing this to support keeping this as a public golf course and not a housing development.
Jennifer Reinking	Westfield, IN	2015-03-10	I don't want westfield to turn into lisha's. There doesn't have to be home everywhere. Keep the beauty of Westfield.
Mario plichter	Westfield, IN	2015-03-10	I do not want another housing development ruining our beautiful land. It's too much. I moved here 5 years ago because there was still land and farms.
Thomas Lewis	Carmel, IN	2015-03-10	My high school team plays here
Caleb Hatch	Plainsview, TX	2015-03-10	I grew up here and it would be a shame to lose it!
Jill McManus	Carmel, IN	2015-03-10	We need other things in our city other than housing developments.
Sarah Dutchess Hayden	Noblesville, IN	2015-03-10	I have grown up with this course. My dad built it, was superintendent for many years and I worked here as well.
John Kramer	Westfield, IN	2015-03-10	We need this
Rose Ackin	Westfield, IN	2015-03-10	We love using this course. Please Keep it.
Tim Stewart	Noblesville, IN	2015-03-10	One of the courses I enjoy to play.
stacey parker	Westfield, IN	2015-03-10	Siacozy parker
Magan Reynolds	Indianapolis, IN	2015-03-10	I come up from downtown Indianapolis to play here.
Steve Shepard	Westfield, IN	2015-03-10	We need a city course. Traffic in that area is bad!!!! What if we add 300 homes. This course should be bought by the city for high school use and a reason to visit Westfield

Name	Location	Date	Comment
Jane Pettibone	Westfield, IN	2015-03-09	I do not want to lose the golf course. The nature area is beautiful and want to keep it.
Andrea Essex	Westfield, IN	2015-03-09	The recreational usefulness and aesthetic value of this beautiful public course far outweigh any benefit another subdivision would bring to the community. Please save Wood Wind Golf Course!
David Schleper	Westfield, IN	2015-03-09	This is a no-brainer...keep the golf course! Even if you can't stand watching it, open green land is much nicer to look at than more houses.
David Kaylor	Noblesville, IN	2015-03-09	This is a beautiful golf course, and the only course that is public. It provides great scenery for homes in the area and drives property values up. Taking away such a course would diminish the entire area. Plenty of land exists to develop for residential areas, and destroying a golf course for this purpose is not needed nor is it wanted by the citizens of Westfield.
Richard Cain	Carmel, IN	2015-03-09	We don't need more subdivisions
Katy Kaylor	Noblesville, IN	2015-03-09	This is the only public course in the area. Not everyone can afford a membership to a private club and you will be taking away a valuable asset to the community. There is plenty of open farmland already for sale that can be used for housing development. DO NOT take away this beautiful green space. Westfield is on their way to becoming a great city without another high density housing development.
Jeff Helm	Westfield, IN	2015-03-09	I enjoy golf and the convenience that Wood Wind provides. Great course, lets not let some vhyal-village builder raze this beautiful course.
Ron Johns	Carmel, IN	2015-03-09	A historical golf course that brings beauty the community and joy to many families.
Charme Smith	Noblesville, IN	2015-03-09	We don't need more housing developments to overburden our police, firefighters and schools. Lets not turn into Carmel. We moved here for the smaller city feel.
Jill Stainhauser	Westfield, IN	2015-03-09	What a shame to even think about tearing down such a beautiful place just to build more homes
Livia harford	Westfield, IN	2015-03-09	I want Woodwind to remain a golf course. It adds so much beauty and a sense of calmness to the surrounding area! Keep Westfield beautiful.
Julie Harmeyer	Noblesville, IN	2015-03-09	We golf this course often
Melanie Tamm	Westfield, IN	2015-03-09	I want a place I feel welcome to bring my children. This is the place! Please keep wood wind!
Andrew Datin	Westfield, IN	2015-03-09	With this being the only public golf course in Westfield, it would be a shame to see it go.
Leo Spillane	Westfield, IN	2015-03-09	Woodwind is a great asset to the community and losing it would be a tragedy. It is irreplaceable.
Tom Boland	Westfield, IN	2015-03-09	Woodwind golf course is an asset that once gone cant and probably won't be replaced. I would have to go to Carmel to golf and that will change shopping patterns to outside of Westfield.
Jennifer Williams	Osgood, IN	2015-03-09	My son is an avid golfer and public courses mean the world to young golfers.
John Thompson	Brandon, FL	2015-03-09	To destroy and put ANOTHER housing development there would not only flood the already saturated housing in this area but also deprive the golfers of all ages a nearby golfing facility.
Christina Barrett	Westfield, IN	2015-03-09	I am signing to save the golf course. No more houses!
Ian Wiesner	Anderson, IN	2015-03-09	This is a nice public course that needs to stay open.

Name	Location	Date	Comment	Name	Location	Date	Comment
Chase Bullard	Westfield, IN	2015-09-14	Woodwind is the best thing that ever happened to me, I'd probably kill myself if it would close	Chase Bullard	Westfield, IN	2015-09-14	Woodwind is the best thing that ever happened to me, I'd probably kill myself if it would close
Ian Kristensen	Fishers, IN	2015-09-14	This is the only public golf course around in Westfield. I have many friends that work there and would lose jobs because of this action.	Ian Kristensen	Fishers, IN	2015-09-14	This is the only public golf course around in Westfield. I have many friends that work there and would lose jobs because of this action.
Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood	Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood
Paul Klebarger	Westfield, IN	2015-09-15	This is a gem in our town - build around it	Paul Klebarger	Westfield, IN	2015-09-15	This is a gem in our town - build around it
Austin Kukura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.	Austin Kukura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.
Sam Adill	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!	Sam Adill	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!
Nathan DiFera	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already	Nathan DiFera	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already
Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, it's beautiful, and needs to stay.	Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, it's beautiful, and needs to stay.
byco cancel	Shelton, IN	2015-09-15	Love to play at this course and would be sad to see it leave	byco cancel	Shelton, IN	2015-09-15	Love to play at this course and would be sad to see it leave
maria quintero	Noblesville, IN	2015-09-16	Its a green spaced and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES	maria quintero	Noblesville, IN	2015-09-16	Its a green spaced and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES
Dick Edmonds	Westfield, IN	2015-09-15	The last thing we need is another housing development at the expense of quality of life issues	Dick Edmonds	Westfield, IN	2015-09-15	The last thing we need is another housing development at the expense of quality of life issues
Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.	Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.
Seth Tackell	Westfield, IN	2015-09-16	I love to play golf there, I would hate if it was torn down.	Seth Tackell	Westfield, IN	2015-09-16	I love to play golf there, I would hate if it was torn down.
Jeff Whitesell	Zionsville, IN	2015-09-22	I like the place. We don't need more houses.	Jeff Whitesell	Zionsville, IN	2015-09-22	I like the place. We don't need more houses.
Don Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.	Don Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.
Patty Smith	Westfield, IN	2015-10-10	No one in Hamilton county want more houses the area now is already is over built added with houses we need more green space not over populated I more here because of country feel it is no longer like that every where houses as partments taking soccer field no more will move further out if it continues you cant even find a parking spot at Kregor now 150th Spring Mill over crowded all farm land eating up with greed we are acting like Carmel pretty soon no more green space	Patty Smith	Westfield, IN	2015-10-10	No one in Hamilton county want more houses the area now is already is over built added with houses we need more green space not over populated I more here because of country feel it is no longer like that every where houses as partments taking soccer field no more will move further out if it continues you cant even find a parking spot at Kregor now 150th Spring Mill over crowded all farm land eating up with greed we are acting like Carmel pretty soon no more green space
Carolyn McKay	Roann, IN	2015-10-21	We want to keep ab area of our community GREEN & having a local golf course in Westfield is awesome!	Carolyn McKay	Roann, IN	2015-10-21	We want to keep ab area of our community GREEN & having a local golf course in Westfield is awesome!
Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!	Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!
Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.	Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.
Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.	Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.
Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood	Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood
Emily Reed	Westfield, IN	2015-03-09	Wood Wind is Westfield's only golf course. It's beautiful and my husband looks forward to playing there as much as he can. We'd hate to see it go!	Emily Reed	Westfield, IN	2015-03-09	Wood Wind is Westfield's only golf course. It's beautiful and my husband looks forward to playing there as much as he can. We'd hate to see it go!
Chris Renner	Westfield, IN	2015-03-08	I enjoy playing the course and meeting other retired golf players. The most is the lost in this area.	Chris Renner	Westfield, IN	2015-03-08	I enjoy playing the course and meeting other retired golf players. The most is the lost in this area.
Kelly Chapman	Westfield, IN	2015-03-09	I LOVE having a public golf course in Westfield and would hate to see woodwind be turned into another development	Kelly Chapman	Westfield, IN	2015-03-09	I LOVE having a public golf course in Westfield and would hate to see woodwind be turned into another development
Nita Reynolds	Westfield, IN	2015-03-09	Losing Westfield's only public golf course would be terrible loss for this community and it's citizens - now and for the future. Having such a well established, picturesque course is a treasure to the community and should be protected. If we want to have a sought after community, we must make sure and preserve these very assets that are so attractive. Having a daughter who played competitive golf from age 7 thru college, I know the positives that the game of golf instills on those players. Not all kids are out out to play soccer, hockey, baseball, etc. Wood Wind should be preserved and be in the forefront as much as Grand Park, and other developments happening in downtown Westfield.	Nita Reynolds	Westfield, IN	2015-03-09	Losing Westfield's only public golf course would be terrible loss for this community and it's citizens - now and for the future. Having such a well established, picturesque course is a treasure to the community and should be protected. If we want to have a sought after community, we must make sure and preserve these very assets that are so attractive. Having a daughter who played competitive golf from age 7 thru college, I know the positives that the game of golf instills on those players. Not all kids are out out to play soccer, hockey, baseball, etc. Wood Wind should be preserved and be in the forefront as much as Grand Park, and other developments happening in downtown Westfield.
Ashley Murray	Noblesville, IN	2015-03-09	I want to save the course.	Ashley Murray	Noblesville, IN	2015-03-09	I want to save the course.
Lisa Allen	Westfield, IN	2015-03-09	Both of my children play golf at woodwind!! Please do not take away this beautiful course. There are plenty of other places to build homes on.	Lisa Allen	Westfield, IN	2015-03-09	Both of my children play golf at woodwind!! Please do not take away this beautiful course. There are plenty of other places to build homes on.
Matt Whitlow	Westfield, IN	2015-03-09	Its beautiful and I play there frequently.	Matt Whitlow	Westfield, IN	2015-03-09	Its beautiful and I play there frequently.
Henry Boyter	Westfield, IN	2015-03-09	Want to keep a public golf course open.	Henry Boyter	Westfield, IN	2015-03-09	Want to keep a public golf course open.
Richard Gilbert	Westfield, IN	2015-03-09	we need it.	Richard Gilbert	Westfield, IN	2015-03-09	we need it.
Stacy Green	Westfield, IN	2015-03-09	The course is an asset to the community. There are other plots of land available for development.	Stacy Green	Westfield, IN	2015-03-09	The course is an asset to the community. There are other plots of land available for development.
Bill Conlin	Indianapolis, IN	2015-03-09	I patronize Wood Wind Golf 2 or 3 x per week... eat etc at other Westfield shops. With at this fine golf facility my business goes elsewhere. Com'on people... THINK!	Bill Conlin	Indianapolis, IN	2015-03-09	I patronize Wood Wind Golf 2 or 3 x per week... eat etc at other Westfield shops. With at this fine golf facility my business goes elsewhere. Com'on people... THINK!
Marissa Sindelar	Westfield, IN	2015-03-09	keep this Wood Wind public course in Westfield	Marissa Sindelar	Westfield, IN	2015-03-09	keep this Wood Wind public course in Westfield
Rick Dineary	Carmel, IN	2015-03-09	It is one of the few public courses in the Carmel/Zionsville/Westfield area, and the only one in Westfield.	Rick Dineary	Carmel, IN	2015-03-09	It is one of the few public courses in the Carmel/Zionsville/Westfield area, and the only one in Westfield.
Lough Anderson	Westfield, IN	2015-03-09	Let's get our priorities straight and KEEP THE COURSE!	Lough Anderson	Westfield, IN	2015-03-09	Let's get our priorities straight and KEEP THE COURSE!
Joe Cotter	Fishers, IN	2016-03-09	this is the highest and best use of the land. Plenty of other land available to develop for housing.	Joe Cotter	Fishers, IN	2016-03-09	this is the highest and best use of the land. Plenty of other land available to develop for housing.
Marc Hillmer	Westfield, IN	2015-03-09	Over 30,000 people played golf there last year, seniors, 4 or 5 high school teams, grand kids , many out of town guests. Perhaps a few homes throughout the course and the rest on all the vacant land next by. We are the new sports center of Indiana. We need the golf course.	Marc Hillmer	Westfield, IN	2015-03-09	Over 30,000 people played golf there last year, seniors, 4 or 5 high school teams, grand kids , many out of town guests. Perhaps a few homes throughout the course and the rest on all the vacant land next by. We are the new sports center of Indiana. We need the golf course.
Alice Kasdorf	Carmel, IN	2015-03-09	We need to keep a golf course in Westfield.	Alice Kasdorf	Carmel, IN	2015-03-09	We need to keep a golf course in Westfield.
Amy Lowe	Westfield, IN	2015-03-09	what happened to the great family city to raise kids? Why do we have to develop everything. Golf is a great recreational thing and our resources are very limited here. We don't even have a rec center or parks for people to come together as a community. More houses= more people= more kids= more school zoning issues= overcrowded schools and so on.	Amy Lowe	Westfield, IN	2015-03-09	what happened to the great family city to raise kids? Why do we have to develop everything. Golf is a great recreational thing and our resources are very limited here. We don't even have a rec center or parks for people to come together as a community. More houses= more people= more kids= more school zoning issues= overcrowded schools and so on.
Andrea Oros	Westfield, IN	2015-03-09	Part of the beauty of Westfield is its rural areas. All of the new housing developments are taking away this feature, one of the main reasons we moved here.	Andrea Oros	Westfield, IN	2015-03-09	Part of the beauty of Westfield is its rural areas. All of the new housing developments are taking away this feature, one of the main reasons we moved here.
Kristen Cooney	Westfield, IN	2015-03-09	Please don't get rid of Woodwind Golf course, it is a great asset to our community!	Kristen Cooney	Westfield, IN	2015-03-09	Please don't get rid of Woodwind Golf course, it is a great asset to our community!
Anthony Lukacz	Westfield, IN	2015-03-09	Enough housing starts.	Anthony Lukacz	Westfield, IN	2015-03-09	Enough housing starts.
Laurie Meder	Westfield, IN	2015-03-09	I moved to Westfield for openness and scenery. I hate to see more housing developments. Getting rid of the golf course will also take away from our growing community.	Laurie Meder	Westfield, IN	2015-03-09	I moved to Westfield for openness and scenery. I hate to see more housing developments. Getting rid of the golf course will also take away from our growing community.
Mike Trempen	Westfield, IN	2015-03-09	There are thousands upon thousands of areas of undeveloped land in Westfield. Why develop a golf course? Makes no sense....	Mike Trempen	Westfield, IN	2015-03-09	There are thousands upon thousands of areas of undeveloped land in Westfield. Why develop a golf course? Makes no sense....
Scott Wolfe	Carmel, IN	2015-03-09	I work in Westfield and live in Carmel. I play this course several times each year and it is a beautiful green space. There are several other buildable sites remaining in Westfield and amenities such as golf courses (public alongside private) attract people to our county.	Scott Wolfe	Carmel, IN	2015-03-09	I work in Westfield and live in Carmel. I play this course several times each year and it is a beautiful green space. There are several other buildable sites remaining in Westfield and amenities such as golf courses (public alongside private) attract people to our county.
Trevor Nau	Westfield, IN	2015-03-09	Wood Wind serves as the home course to our High School Golf Teams who have seen great success due to their ability to work closely with the schools. Wood Wind is also the only public golf course in Westfield and it would be a travesty to lose this course.	Trevor Nau	Westfield, IN	2015-03-09	Wood Wind serves as the home course to our High School Golf Teams who have seen great success due to their ability to work closely with the schools. Wood Wind is also the only public golf course in Westfield and it would be a travesty to lose this course.
Aaron Snyder	Westfield, IN	2015-03-09	Woodwind is a wonderful asset for our community and local environment, to lose it to urban sprawl would negatively impact the unique dynamics of the area.	Aaron Snyder	Westfield, IN	2015-03-09	Woodwind is a wonderful asset for our community and local environment, to lose it to urban sprawl would negatively impact the unique dynamics of the area.
Megan Harveth	Carmel, IN	2015-03-09	We love Woodwind Golf Club and would hate to see it, tied into a neighborhood. This community needs a public course.	Megan Harveth	Carmel, IN	2015-03-09	We love Woodwind Golf Club and would hate to see it, tied into a neighborhood. This community needs a public course.
Tony Knoll	Westfield, IN	2015-03-09	I have 4 children who are starting to play junior golf and as a resident of westfield this is the only public course they can enjoy the game in our city. I am all for developing housing in our city and if they cannot incorporate the public golf course into planning...there is plenty of land adjacent this property to grow our community.	Tony Knoll	Westfield, IN	2015-03-09	I have 4 children who are starting to play junior golf and as a resident of westfield this is the only public course they can enjoy the game in our city. I am all for developing housing in our city and if they cannot incorporate the public golf course into planning...there is plenty of land adjacent this property to grow our community.
Christae Irwin	Carmel, IN	2015-03-09	The golf course adds to the beauty of our community and is an attraction to people who live here and those who consider making Westfield their home.	Christae Irwin	Carmel, IN	2015-03-09	The golf course adds to the beauty of our community and is an attraction to people who live here and those who consider making Westfield their home.
Joshua Sampia	Westfield, IN	2015-03-09	This is our only public golf course, there are plenty of other spots to start more housing developments. It's a wonderful facility that should not be bulldozed.	Joshua Sampia	Westfield, IN	2015-03-09	This is our only public golf course, there are plenty of other spots to start more housing developments. It's a wonderful facility that should not be bulldozed.
Kris Miller	Westfield, IN	2015-03-09	I would like to see Wood Wind stay a golf course! We use the facility often and would rather have the golf course stay and have new housing developed elsewhere.	Kris Miller	Westfield, IN	2015-03-09	I would like to see Wood Wind stay a golf course! We use the facility often and would rather have the golf course stay and have new housing developed elsewhere.
Jason Harvath	Carmel, IN	2015-03-09	All 5 people in our family play here and it's without this course our options are very limited.	Jason Harvath	Carmel, IN	2015-03-09	All 5 people in our family play here and it's without this course our options are very limited.
Andrew Tisch	Zionsville, IN	2015-03-09	It's a great recreational asset for youth, families and seniors. Many people from the immediate area and outside the area come to play this course. I volunteer at the course as a starter and I know many people will be negatively impacted if the course was eliminated.	Andrew Tisch	Zionsville, IN	2015-03-09	It's a great recreational asset for youth, families and seniors. Many people from the immediate area and outside the area come to play this course. I volunteer at the course as a starter and I know many people will be negatively impacted if the course was eliminated.
Seth Pickering	Westfield, IN	2015-03-09	I play golf there and it is a great addition to the community.	Seth Pickering	Westfield, IN	2015-03-09	I play golf there and it is a great addition to the community.
Jeff Zarfman	Westfield, IN	2015-03-09	We need Woodwind so Westfield families can have a close good course to play. There is plenty of housing out there and if more is wanted there is better land than tearing up this great golf course.	Jeff Zarfman	Westfield, IN	2015-03-09	We need Woodwind so Westfield families can have a close good course to play. There is plenty of housing out there and if more is wanted there is better land than tearing up this great golf course.
Sheri Cope	Westfield, IN	2015-03-09	I'm signing this because I feel it's important to have one public golf course for a city that is growing at the rate we are.	Sheri Cope	Westfield, IN	2015-03-09	I'm signing this because I feel it's important to have one public golf course for a city that is growing at the rate we are.
Kevin Hartman	Westfield, IN	2015-03-09	I live close, play golf there a lot and am a Men's Club member to the course.	Kevin Hartman	Westfield, IN	2015-03-09	I live close, play golf there a lot and am a Men's Club member to the course.
Kathy Burns	Westfield, IN	2015-03-09	I'm signing because we need to save the only golf course in Westfield. My husband golf's there a lot.	Kathy Burns	Westfield, IN	2015-03-09	I'm signing because we need to save the only golf course in Westfield. My husband golf's there a lot.

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Chase Bulfare	Westfield, IN	2015-09-14	Woodwind is the best thing that ever happened to me, I'd probably kill myself if it would close	Chase Bulfare	Westfield, IN	2015-09-14	Woodwind is the best thing that ever happened to me, I'd probably kill myself if it would close
Ian Kristensen	Fishers, IN	2015-09-14	This is the only public golf course around in Westfield. I have many friends that work there and would lose jobs because of this action.	Ian Kristensen	Fishers, IN	2015-09-14	This is the only public golf course around in Westfield. I have many friends that work there and would lose jobs because of this action.
Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood	Annie Behring	Carmel, IN	2015-09-14	I live right after the street from woodwind and I don't want to look out into my backyard and see another neighborhood
Paul Kleberger	Westfield, IN	2015-09-15	This is a gem in our town - build around it	Paul Kleberger	Westfield, IN	2015-09-15	This is a gem in our town - build around it
Austin Kukura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.	Austin Kukura	Westfield, IN	2015-09-15	We're turning every square mile into housing. Enough is enough.
Sam Adli	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!	Sam Adli	Rocky Point, NY	2015-09-15	Don't ruin the beautiful view!
Nathan DiFiora	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already	Nathan DiFiora	Westfield, IN	2015-09-15	Screw neighborhoods too much traffic already
Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, its beautiful, and needs to stay.	Nick Smith	Westfield, IN	2015-09-15	This is our only Golf course in Westfield, its beautiful, and needs to stay.
bruce cancel	Sheridan, IN	2015-09-15	Love to play at this course and would be sad to see it leave	bruce cancel	Sheridan, IN	2015-09-15	Love to play at this course and would be sad to see it leave
maria quintero	Noblesville, IN	2015-09-15	Its a green spaced and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES	maria quintero	Noblesville, IN	2015-09-15	Its a green spaced and there are already many neighborhoods that have empty houses and its just creating more empty homes and ruining the economy and I LOVE TREES
Dick Edmonds	Westfield, IN	2015-09-15	The last thing we need is another housing development at the expense of quality of life issues	Dick Edmonds	Westfield, IN	2015-09-15	The last thing we need is another housing development at the expense of quality of life issues
Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.	Jay O'Neil	Carmel, IN	2015-09-16	I am signing because I oppose the housing development. Keep Woodwind a golf course.
Seth Tackett	Westfield, IN	2015-09-16	I love to play golf there. I would hate if it was torn down.	Seth Tackett	Westfield, IN	2015-09-16	I love to play golf there. I would hate if it was torn down.
Jeff Whitesell	Zionsville, IN	2015-09-22	I like the place. We don't need more houses.	Jeff Whitesell	Zionsville, IN	2015-09-22	I like the place. We don't need more houses.
Dora Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.	Dora Woods	Carmel, IN	2015-10-02	I play golf and only live about 3 miles from this course. They have a decent practice range of which I have been a member of for several years.
Patty Smith	Westfield, IN	2015-10-10	No one in hamilton county want more houses the area now is already is over! Kimi add with houses we need more green space not over populated I love here because of country feel it is no longer like that every where houses are apartments taking soccer field no more will move further out if it continues you cant even find a parking spot at Kroger new 160th Spring Hill over crowded all farm land eating up with greed we are acting like Carmel pretty soon no more green space	Patty Smith	Westfield, IN	2015-10-10	No one in hamilton county want more houses the area now is already is over! Kimi add with houses we need more green space not over populated I love here because of country feel it is no longer like that every where houses are apartments taking soccer field no more will move further out if it continues you cant even find a parking spot at Kroger new 160th Spring Hill over crowded all farm land eating up with greed we are acting like Carmel pretty soon no more green space
Carolyn McKay	Roann, IN	2015-10-21	We want to keep ab area of our community GREEN & having a local golf course in Westfield is awesome!	Carolyn McKay	Roann, IN	2015-10-21	We want to keep ab area of our community GREEN & having a local golf course in Westfield is awesome!
Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!	Tony Bryant	Westfield, IN	2015-10-21	Me and my family play golf there together all the time!
Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.	Linda Bauer	Westfield, IN	2015-10-28	We recently moved to area... We picked this area to live because of the golf course.
Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.	Joe Canada	Westfield, IN	2015-10-30	For a number of reasons I support keeping this golf course in Westfield.
Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood	Kaycee Hinshaw	Sheridan, IN	2015-10-30	Wood Wind is a beautiful course, the last thing Westfield needs is another neighborhood
Name	Location	Date	Comment	Name	Location	Date	Comment
Teresa Copican	Carmel, IN	2015-03-09	I'm signing this because Westfield needs to keep something like this for the community. That's all we need is another neighbor hood going up. Westfield has been named one of the top places to live for a reason....	Stephenie Franco	Westfield, IN	2015-03-09	Woodwind Golf Club could only enhance the property values of the surrounding properties and the already schedule subdivisions coming to the area. Barnging families to the area giving more recreational outdoor activities! Would be a big loss to our community!
Blake Collinsworth	Middlestown, NJ	2015-03-09	This would be an absolute shame. I have supported much of our local government's actions but this would be an extremely poor, short-sighted decision.	Melinda Emgenbraich	Westfield, IN	2015-03-09	I feel that the golf course is beneficial to the westfield community and would disapprove of more housing taking up green space
Scott Leigh	Westfield, IN	2015-03-09	This public golf course is a wonderful part of the Westfield community. Housing in the area is plentiful, please preserve this recreational facility - a place where families can enjoy time together.	Ashley Knott	Westfield, IN	2015-03-09	Save Woodwind. This amenity is one of the things in our community that adds to its value. Woodwind adds beauty, fellowship, and pure fun! Please don't allow more houses to take this green space there are plenty of other build opportunities!
Jeff Nelson	Westfield, IN	2015-03-09	I play this course multiple times per year and my son will start lessons there this summer. This is a great recreational facility for our community and needs to remain as such.	Dawn Head	Westfield, IN	2015-03-09	This well-kept public golf course is an asset to our community.
Kevin Pory	Westfield, IN	2015-03-09	The last thing we need is another housing development...to continue to lose green space, not to mention a place where MANY people enjoy recreational and (some) competitive golf, makes no sense. We're nothing but a "bedroom community" as it is - Grand Park isn't enough.	Mandy Hanavan	Westfield, IN	2015-03-09	I am signing because I think Woodwind is an asset to our community. It is a great golf course with fantastic employees. It is also nice to actually have some green space left alone. Our family would truly miss this course. Thanks.
Iten Carnes	Westfield, IN	2015-03-09	As the only public golf course that our city has, my family has enjoyed this course for many years. I believe this should remain a golf course for the community to use, there is plenty of other land that could be converted into a neighborhood. I think Westfield has done a fantastic job of developing into a place that people want to live, recreational space definitely plays a role in that.	chaely rosasdech	westfield, IN	2015-03-09	Several members of my family enjoy this golf course. The housing construction is moving so fast - we are soon to turn Westfield into another Fishers! We need Woodwind to remain in place as a local place for families in hard and enjoy their leisure time together.
Sommer Craig	Westfield, IN	2015-03-09	I want to save the only public golf course in the community!	Michael Good	Westfield, IN	2015-03-09	There's no reason to wipe out that course! It's a destination for many and a great part of our community.
Angie Knight	Galena, OH	2015-03-09	As a former resident every time I return to the area I am amazed at the growth and development that has taken place since I moved. The only part that seems untouched is the beautiful green space of Woodwind golf club. Please LEAVE IT BE!	Lisa Bhatt	Zionsville, IN	2015-03-09	We love the kids' summer golf camps! Great teachers and mentors!
Phillip Foster	Zionsville, IN	2015-03-09	My daughter and I enjoy spending time together at the course. The course and staff are outstanding.	John Armitage	Westfield, IN	2015-03-09	Enjoy having a course just down the road. Don't think we need to cover every square inch of Westfield with a house.
Brett Hinshaw	Noblesville, IN	2015-03-09	My son plays there	Carol L Stevenson	Carmel, IN	2015-03-09	We don't need anymore housing additions!!!
Michelle Young	Westfield, IN	2015-03-09	Keep Westfield beautiful...save the golf course!	Jennifer Armitage	Westfield, IN	2015-03-09	I don't want to see a great place for recreation be taken away!
Steven Miller	Zionsville, IN	2015-03-09	There are way to many housing developments already and even more on the way	Hilary Loring	Westfield, IN	2015-03-09	I'm signing because the construction of new homes needs to stop and not become more important than our other community assets.
Rick Radloff	Westfield, IN	2015-03-09	I play there	Mark Hester	Westfield, IN	2015-03-09	It is great to have a golf course in the community. I have played there for years. My kids have attended many golf camps and have found a love for the game because of the local access to a community public course.
Sherill Ellinger	Carmel, IN	2015-03-09	This is a ridiculous option!! The city is overbuilding!!	Deborah Evans	Westfield, IN	2015-03-09	I'm signing this petition because Westfield needs to be a well rounded community to be most appealing. Growth and change have been so rapid in the past few years, and while it has generally been positive, it feels as though the momentum of change is speeding up too fast. Let's not lose everything that gave Westfield its charm and "town" feel. I don't want my community to be neighborhoods, schools and Grand Park alone.
Roxanne Binford	Westfield, IN	2015-03-09	This is the only golf course in Westfield. It's beautiful and affordable. There's too much building at 161 and Springmill in addition to numerous housing decisions. Keep Westfield the best place to raise a family. Golf is a fantastic outing for all households.	Amy Mills	Westfield, IN	2015-03-09	My kids play sports in Westfield. And hope to one day play golf. Westfield is a wonderful place in that we need to save some of the beauty!
Teresa Gill	Westfield, IN	2015-03-09	This would be a shame for the community!	Sarah Watkins	Westfield, IN	2015-03-09	I would like us to keep this public course open. Having a public course is important to a community.
nancy cuspy	Westfield, IN	2015-03-09	Save the golf course!! Do not want the golf course replaced with a housing development!	Michelle Oakley	Westfield, IN	2015-03-09	Feel that in that area a golf course is a more valuable asset to our community than another housing development. This golf course offers an affordable form of recreation for family members of all ages and should be kept to enhance the aesthetics of the area and prevent the area from becoming too overdeveloped.
Allan Hanavan	Westfield, IN	2015-03-09	This golf course is an asset to the city of Westfield. We have made a big investment in branding ourselves as a sports community.				
Tyler Blivins	Westfield, IN	2015-03-09	Woodwind golf course needs to stay. If we a growing community that is implementing attractions and activities to draw people to Westfield, then why would we get rid of our only public golf course??? Ridiculous!				
Randy Imman	Westfield, IN	2015-03-09	Save the golf course!!!				

APPENDIX E

TASK GROUP MEETINGS

A. March 29, 2015 Meeting:

1. Meeting Agenda:

161st Street Neighborhood Meeting
March, 29, 2015
12:30 p.m. at the DuBois Residence

Meeting Objective: - Unified Neighborhood Point of View on Development

Agenda:

- Welcome and Introductions** – All neighbors introduced themselves and shared where they live.
- Summary of Comprehensive Plan for Westfield** – Suzy DuBois gave a summary of Westfield's Comprehensive Plan for New Suburban South West which includes this group's residences. A summary is attached to the minutes for review.
- Zoning Ordinance Considerations** – Ken Kingshill, a resident and member of the Advisory Plan Commission for Westfield, talked about the process involved when the Commission reviews requests for zoning changes. Currently, Wood Wind Golf Club would need to be rezoned for the developer to place high density housing on it. The five areas for consideration are listed below. Ken detailed each and answered questions for clarification on these.

IC 36-7-4-603
Zoning ordinance; preparation and consideration of proposals
Sec. 603. In preparing and considering proposals under the 600 series, the plan commission and the legislative body shall pay reasonable regard to:
(1) the comprehensive plan;
(2) current conditions and the character of current structures and uses in each district;
(3) the most desirable use for which the land in each district is adapted;
(4) the conservation of property values throughout the jurisdiction; and
(5) responsible development and growth.
As added by Acts 1981, P.L.309, SEC.23. Amended by P.L.335-1985, SEC.17; P.L.220-1986, SEC.17.

Karna Baker expressed concern about the current sewer system in our area being at max capacity and unable to support more housing. She will follow up for more clarification on this point.

4. Petition Update – Kristen Burkman reported that the petition to Keep Wood Wind Golf Club a Golf Course has reached almost 900 supporters. We will continue to communicate to these supporters via email. Mike Kaylor has volunteered to take a petition to the Mill for signatures. Kristen will get the papers organized for Mike to take to the Mill. Jan Cohoat said the current management team of Cohoat and O'Neal would like to continue managing the golf course. She also mentioned the great programs they have for the community including the Evan's Scholar program that helps qualified young people receive college scholarships. Everyone agreed the golf course is an invaluable asset in our community and we want to keep the golf course.

5. Neighborhood Survey – Suzy DuBois passed out a survey asking neighborhood members to share their thoughts regarding development in our area. The results are attached.

6. Kristen Burkman announced there would be a Meet and Greet Neighborhood Meeting with City Council Members, Jim Ake, Chuck Lehman and Cindy Spoljaric, on April 21st at 7:15 p.m. at the Wood Wind Golf Club Pavilion. All members of the neighborhood are invited to attend. It is not open to the general public.

7. The floor was opened for comments and questions. Nancy Davis expressed support for keeping the golf course. She also mentioned at some point in the future her family would be selling their farm land on Ditch Road. Cynthia Stafford shared a quote from an article in the March 2015 Indianapolis Monthly regarding realtors' perception of Westfield being a place for \$180,000 housing. Bruce VanNatta thanked Suzy and Kristen for their efforts in gathering data and starting the neighborhood group. The meeting was adjourned.

People in Attendance:
Bruce VanNatta, Stephen & Cynthia Stafford, Dick Levins, Rick & Erin Gibson, Beth Armstrong, Jane Bingham, Juanita Smith, Jan Cohoat, Mike & Katy Kaylor, Ken Kingshill, Gary & Sarah Watkins, John and Suzy DuBois, Mike & Karna Baker, Charles Davis, Nancy Davis, Kipp Kunce, Kent & Gloria White, Kristen Burkman

2. Attendee Survey:

*New Suburban Southwest
Survey Results From 3/29/15
Neighborhood meet
"Why I Moved to this Area of
Westfield"*

- To live a rural artisan farm lifestyle
- Quality of life
- Our family moved here from South America so we followed
- Open space, green space, no subdivisions
- Moved as a nurse to care for elderly
- Grandfather bought farm and left to family members
- Great schools
- Employment opportunity
- Privacy with no light pollution
- Love of the land
- To live in the country
- Loved the city and the small town feel
- Wildlife
- Family farm
- Open space, healthy/athletic lifestyles with closeness to amenities
- Opportunity to build on beautiful property

Survey Results

There is adequate green space and recreational opportunities currently in Westfield.

23%	Strongly Agree
8%	Agree_
23%	Neutral
15%	Disagree
31%	Strongly Disagree

A public golf course is a positive asset for our community.

93%	Strongly Agree
7%	Agree_
0%	Neutral
0%	Disagree
0%	Strongly Disagree

I support the purchase of the Wood Wind Golf Course by the City of Westfield or by Hamilton County if property is available for sale.

80%	Strongly Agree
13%	Agree_
0%	Neutral
0%	Disagree
7%	Strongly Disagree

Our community should encourage variety and diversity in housing while maintaining a distinct style or character and avoid the appearance of "cookie cutter" subdivisions by encouraging a diverse range of home styles using innovative architecture of a character appropriate to Westfield.

87%	Strongly Agree
13%	Agree_
0%	Neutral
0%	Disagree
0%	Strongly Disagree

The application of innovative high quality architecture of a character appropriate to Westfield is prevalent in existing home design and subdivision layouts on the west side of Westfield(west of 31).

20%	Strongly Agree	20%	Strongly Disagree
20%	Agree_		
33%	Neutral		
7%	Disagree		

B. April 22, 2015 Meeting

1. Meeting Agenda:

No single socio-economic segment or housing price point should dominate the community nor be neglected.

- 67% Strongly Agree
- 33% Agree_
- 0% Neutral
- 0% Disagree
- 0% Strongly Disagree

The west side of Westfield(west of highway 31) offers a diverse offering of housing with no single socio-economic segment or housing price point dominating the market.

- 20% Strongly Agree
- 47% Agree_
- 7% Neutral
- 13% Disagree
- 13% Strongly Disagree

The effect of new subdivisions on the character of the existing neighborhoods and the mitigation of the adverse effects of new development should be minimized through proper design and buffering so as not to negatively affect the quality of life of long term residents.

- 87% Strongly Agree
- 13% Agree_
- 0% Neutral
- 0% Disagree
- 0% Strongly Disagree

Large three acre and greater lots with large buffers that minimize negative impact on existing and stable rural uses of the area are appropriate for the New Suburban Southwest.

- 100% Strongly Agree
- 0% Agree_
- 0% Neutral
- 0% Disagree
- 0% Strongly Disagree

Conservation Subdivisions that produce less sterile, more creative neighborhood designs with 60% connected open space, clustering of houses that border open space, 100' perimeter buffering(or greater), natural topography, varying lot sizes, proper drainage, reforestation, and overall respect to the land and surroundings are appropriate for the New Suburban Southwest.

- 73% Strongly Agree
- 20% Agree_
- 7% Neutral
- 0% Disagree
- 0% Strongly Disagree

Open space should be maintained in order to preserve the visual character of our scenic roads.

- 100% Strongly Agree
- 0% Agree_
- 0% Neutral
- 0% Disagree
- 0% Strongly Disagree

Other Comments: Traffic Congestion major issue

From: Kristen Burkman <rkburkman@gmail.com>

To: Adam Essex <adamjessex@hotmail.com>; BrighamSmith1 <Brighamsmith1@aol.com>; Bruce Van Natta <bvnatta@indy.rr.com>; Cindy <crsochar@indy.rr.com>; Cynthia Stafford <staffo92@att.net>; Dave Sochar <acormw@frontier.com>; Dick Levins <rdl@airapplications.com>; Erin Gibson <elmgib@aol.com>; gloria White <gwhite2@aol.com>; Henry Armstrong <hsarmst@gmail.com>; James Engle <pwengle@gmail.com>; Jan Cohoat <jkj@aol.com>; Katy Kaylor <katykaylor@gmail.com>; Kaylorinc <Kaylorinc@comcast.net>; Ken Kingshill <kenkingshill@gmail.com>; Kendra Essex <justjohnscleaning@gmail.com>; Leah Severson <leah.severson@gmail.com>; lisabeth armstrong <lisabetharmstrong84@gmail.com>; Penny Wallis <penwal@me.com>; robertbehring <robertbehring@yahoo.com>; Sarah Watkins <SarahWatkins99@gmail.com>; Scott Heger <scott.heger@woodwindgolf.com>; T. M.T. Incorporated <dub164@aol.com>; Tammy Kartes <tammysk@me.com>; Twyla Arnold <ktbarnold@aol.com>

Subject: Neighborhood Meeting Minutes & Next Meeting Details

Date: Thu, Apr 2, 2015 9:57 am

Attachments: ww-WestfieldCompPlan II.docx (18K), ww-NewSubSWSurvey Results.docx (17K), ww-westfield-minutes3-29.doc (41K)

Hi Everyone -

Our next meeting will be a Meet & Greet Event at Wood Wind Golf Club on Tuesday, April 21st at 7:15. Chuck Lehman, Jim Ake and Cindy Spoljaric will be joining us. This meeting will be an opportunity for you to meet three of our Town Council members and share information about our neighborhood. The meeting will be in the pavilion located behind the club house. Refreshments will be served.

Also, please find attached the meeting minutes from March 29th. If you see any additions or corrections, please let me know. I apologize if I missed adding anyone to the attendee list so please send me this information.

Suzy discussed the Comprehensive Plan for this area at the meeting. She's created a summary to share with you and it is attached. She also tabulated the survey results and these are attached as well.

If anyone has questions regarding any of the documents, please let me know. Have a wonderful Easter weekend! We look forward to seeing everyone again on April 21st!

Best Regards,
Kristen Burkman

2. Meeting Attendees:

South West Neighborhood Meeting

April 21, 2015 at Wood Wind Golf Club

Please sign in:

Dave Sochar BITCH & 16/15

HARRY KASDORF

Jeff Boller

Cynthia Stafford

Stephen Stafford

Nancy DAVIS

Charles DAVIS

Erin & Rick Gibson

MIKE KARNA BAKER

Adam Essex

Suey Du Bois

Dick Levins

Mike Kaylor

Katy Kaylor

Janette Smith

Jane Brigham

Robert Winnicki

Kristen Burkman

Col BUCKMAN

Rev Burkman

Sarah Watkins

Bruce VanNatta

Scott Heger

Rick Burkman

3. Meeting Materials:

Westfield Comprehensive Plan

Overview

-Process was designed to be open and citizen-driven

-Westfield – Washington Township is committed to managing growth to maximize its positive impacts and minimize its negative impacts.

-It is the intent of this plan to preserve those valued characteristics and enhance them where possible.

-Encourage development to occur contiguously and not “hopscotch” across the township.

-Preserve the community’s rural and small town atmosphere, even as it accommodates new growth.

-Promoting a diversity and balance of land uses.

-Creating adequate buffers and transitions between different types and intensities of land uses.

-Developing design standards for new residential development to encourage quality development.

-Providing adequate open space and recreation areas for all people of the township

-Establish appropriate locations for varying housing types.

-Development standards that establish appropriate setbacks, densities, lot sizes.

-Design standards to ensure quality development.

-Demographic studies that evaluate the market and the availability of housing stock in the various categories.

-Encourage neighborhoods that do not have the appearance of “production” housing.

-Encourage variety and diversity in housing while maintaining a distinct style or character and avoiding the appearance of “cookie cutter” subdivisions.

-Open fields, farms, parks, water bodies, and other open space and recreation areas, whether public or private, are important to the community character of Westfield – Washington Township.

-Locate open space so as to maintain the visual character of scenic roads

-Require open space in all new developments.

-Open spaces should consist of usable areas or valuable natural areas.

-Open space should not consist only of land that is left over in the site plan review process.

-Provide both passive and active recreation for the residents of the community. Provide parks and recreational facilities in new developments to accommodate the needs of the community as it grows.

The Southwest New Suburban

The Southwest New Suburban area includes a diverse mix of uses:

- a town park,
- **a golf course,**
- open farmland,
- residential development
- a central core of large-lot residential and rural properties,
- equestrian uses
- artisan farms

This development should be context-sensitive.

As development moves south from SR 32, north from 146th Street, and west from Ditch Road, the density should decrease and open space should increase.

The key for this area will be land use transitions and buffers that accommodate suburban development in such a way that negative land use impacts on existing and stable rural uses are mitigated so as not to negatively affect the quality of life of long term rural residents.

Conservation Subdivisions

One of the best ways to achieve quality residential development in the rural areas while preserving rural character is to develop as conservation subdivisions.

These subdivision forms allow development of detached single-family homes clustered on smaller lots than generally permitted in the underlying zoning district, but at the same gross density, while **preserving large areas of open space or historic features.**

Conservation subdivisions allow the location of buildings on land best suited for construction, while permanently preserving valuable resources without changing the gross density permitted on the development site.

This creative and flexible subdivision approach encourages building sites with: --
-attractive views, both from off-site roads and on-site buildings
encourages efficiency in the development of roads and utilities (shorter roads because there is less frontage per unit);
-contributes to the variety of housing choices in the town and township.

C. May 18, 2015 Meeting

1. Meeting Agenda:

From: Kristen Burkman <rkburkman@gmail.com>
To: T.M.T., Incorporated <dub164@aol.com>
Cc: Bruce Van Natta <bvnanna@indy.rr.com>; Leah Severson <leah.severson@gmail.com>; Cindy Spoljaric <csoljaric@westfield.in.gov>; Chuck Lehman <clehman@westfield.in.gov>; Jim Ake <jake@westfield.in.gov>; Steve Hoover <shoover@westfield.in.gov>; lisabeth armstrong <lisabetharmstrong84@gmail.com>
Subject: Re: Sub District
Date: Sun, May 17, 2015 4:09 pm

Hi Everyone -

We wanted to send a quick reminder about the meeting tomorrow at 1:00 at the Westfield Library.

Agenda Items to discuss:

- Defining the sub-district boundaries
- Community Survey - regarding development & community amenities
- Update on Housing Development Inventory Project
- Begin process of brainstorming alternative land uses for rural areas

We look forward to getting this initiative started!

Thanks,
 Kristen

On Thu, May 14, 2015 at 12:35 PM, <dub164@aol.com> wrote:
 Group,

We are going to have our first committee meeting working towards establishing a sub-district for our neighborhood. I realize everyone will not be able to attend but we want to get started. Based upon schedule input I have reserved the Summer Room at the Westfield Library for a 1:00 start time on Monday, May 18th. Please set aside one hour for the initial meeting and confirm your availability to attend.

Thank you,

Suzu DuBois

2. Meeting Summary:

Kristen Burkman <rkburkman@gmail.com> Tue, May 19, 2015 at 2:12 PM
To: Bruce Van Natta <bvnanna@indy.rr.com>; Leah Severson <leah.severson@gmail.com>; Cindy Spoljaric <csoljaric@westfield.in.gov>; Chuck Lehman <clehman@westfield.in.gov>; Jim Ake <jake@westfield.in.gov>; Steve Hoover <shoover@westfield.in.gov>; lisabeth armstrong <lisabetharmstrong84@gmail.com>; "T.M.T., Incorporated" <dub164@aol.com>; danielle@washingtontownship-hc.us

Hi Everyone -

I wanted to summarize the meeting from yesterday and review action items.

MEETING SUMMARY:

1. The team discussed the boundaries to investigate for this sub-district. While not finalized, our first approach will be to look at the areas East/West from Ditch Road to the County Line Road and North/South from 148th Street to SR 32.
2. The neighborhood group discussed the importance of keeping the golf course. It is not only a unanimous voice among the neighbors to the course but is also supported heavily within the Westfield community via 1,000 plus signatures on the petition. Information was presented that a developer is working on a plan to move golf holes and place homes on the course and around the driving range. The neighborhood group could not comment on this plan without seeing the concept but emphasized the importance of keeping the golf course.
3. A discussion on Conservation Subdivisions was held and team members felt this was an area worth additional exploration in regards to this sub-district. In conjunction with this discussion was the need to develop a strategy about preserving green space in Westfield. The group called out two predominant areas of unique topography that should be under heavy consideration for preservation. The two areas were Eagle Creek/Wood Wind that we are currently discussing and the MacGregor Park/Anthony Road area on the northeast corridor of Westfield. It was agreed upon by all attendees to focus on the Eagle Creek/Wood Wind corridor.
4. Within this area, we are going to research the land owners and how large their parcels are. The reason for this study is to determine how much land may be available for development vs. large acre home sites and hobby farms. There was also discussion on how large the parcel must be for realistic home development. The group will investigate this further.
5. A question was raised about the population goal for Westfield. The number stated was 60,000. We believe the current population to be about 37,000. A question was then asked where the city is in regards to this number with current new construction, approved new construction and outstanding PUDs that could be built due to zoning approval already given. The group agreed there was not an answer for this question.
6. An update was given regarding the Housing Inventory Study. That team has begun their research and will provide an answer to the question regarding projected population based on current and approved projects.
7. An idea of conducting a community survey to further investigate the comments from the petition survey was presented. The effort would be collaborative within this team.

ACTION ITEMS:

1. Danielle will provide a plat to the team showing all the parcels in the discussed area.
2. Suzu and the Housing Development Study Team will be working on the population question and reporting back to this group.
3. Kristen is generating a first draft survey for the group to review at the next meeting.
4. Need to define a realistic parcel size for development - Need a leader for this one
5. Need to research and define Conservation Subdivisions - Need a leader for this one

We will get back to the group on the next meeting but we will plan on meeting again within 2 - 3 weeks. Please email any additions or corrections to this summary.

Thanks so much for your time yesterday! We really appreciate the teamwork involved in this process.

Best Regards,
 Kristen

D. June 8, 2015 Meeting

1. Meeting Agenda:

Southwest Suburban Sub-district Committee Meeting

June 8, 2015

Agenda:

Review Plat of Southwest Area - Danielle

Discuss and if applicable finalize the boundaries of the sub-district - Group

Conservation Subdivisions - Cindy

Sub-district Process - Ginny Kelleher

2. Meeting Materials:

The Conservancy Worthington Inventory Summary

- I. Overview
 - a. Total residences-90 (orange)
 - b. Horse Farms-18(large purple)
 - c. Other livestock-8(small purple)
 - d. Artisans(dark blue)
 - i. Woodworking Shops-(one is a primary business)
 - ii. Landscapers
 - iii. Photographers
 - iv. Photo shoot sites
 - v. Wedding sites
 - vi. Artists
 - vii. Authors
 - viii. Large gardening or hobby farms
 - ix. Hay fields
 - x. Blackberry farm
 - xi. Bee keepers
 - e. Large acre farms(50+ acres)
 - i. Scheiber
 - ii. Koss
 - iii. Tom Murphy
 - iv. Chapman
 - v. BCE Associates IV LLC
 - vi. Sandee Enterprises
 - vii. Davis
 - f. School Property-24.5 acres
 - g. Water Tower
 - h. Wildlife classifications-3 parcels(14 acres+17 acres+22 acres=53 acres)
 - i. Raymond Worth Park-17 acres
 - j. Historical Sites
 - i. Armstrong: house and barn are registered with Hamilton county as a class "C" landmark. That means that it "contributes to the landscape".
 - ii. Golf course clubhouse: Larry and Angie Hopkins put a clause in the sale deed that the property must retain its rural integrity. According to Angie should be on file at county.
 - iii. Sochar-history of home(see story)
 - iv. Brick building at Little Eagle Creek and Highway 32, Old Fire Station
- II. Subdivisions
 - a. Harmony-in process
 - i. Single Family 710
 - ii. Multi-Family 270
 - iii. Commercial component?
 - b. Bent Creek-pending
 - i. Single Family 82
 - c. Ackerson Farms-PUD approved Oct. 2006
 - i. 236 acres
 - ii. Retail Office Space 1,495,000 square feet
 - iii. Single Family 407
 - iv. Multi-Family 729
 - d. Westgate
 - i. Sundowner clause
 - ii. Single Family 748
 - iii. Multi-Family 264
 - e. Town West
 - i. Conservation subdivision
 - ii. Commercial component
 - iii. Multi-Family 480
 - f. Subdivision Summary
 - i. Total Single Family 1,947 units
 - ii. Total Multi-Family 1,734 units

3. Meeting Summary:

6/8/15

Southwest Sub-District

1. Review of Southwest New Suburban
 - a. 146th to 32
 - b. Ditch to Little Eagle Creek, 159th to Shelburne Lake
2. Covenants Pl - paid for diffed lifestyle
3. George Entle
 - a. Identify anything in area
 - b. have stickers & house files
 - c. having maps
 - d. what was desirable & what was undesirable
 - e. Jack Burkhman was steering committee member for SW New Suburban, got ditch from Rural Southwest
 - f. Defined areas & pub description
 - g. Covenants address address required
4. PUD required for conservation subdivision
5. Labeled at instruction
 - a. roads -
 - b. utilities -
 - c. parks
 - d. wetlands, floodplains
 - e. Identify areas for high density, low density, open space, commercial
6. Covenants subdivision tool box

Sub-District Committee

7. Ordinance
 - a. Covenants subdivision ordinance
 - b. Differ ordinance
8. Attendees
 - a. Cindy
 - b. Danille
 - c. Alan H.
 - d. Kristin B.
 - e. Ken Kingshill
 - f. Chuck Lehman
 - g. Bruce V.
 - h. Ginny Kelleher
9. AGSF-1 does not allow a major subdivision
 - a. long enough, most of Block AGSF-1
10. PUD for Town #32
11. Inventory of water & historical structures
 - a. 1 aerial photos
 - b. Tree inventory
 - c. Roll Sub - planning dept → Cindy
12. Plat
 - a. Harmony
 - b. Westgate - Dues @ 146th + Tans north to Little Eagle
 - c. Ackman - Fao Ditch 146th - Works to 32
 1. Consider PUD
13. Historical book on Westfield - Kristin
14. Copy files references city requested to purchase the papers

E. July 13, 2015 Meeting

1. Meeting Agenda:

Southwest Sub-District Meeting

July 13, 2015

Item Completed at Last Meeting:

Definition of sub district area

Item for Vote Today:

We would like to propose a name for the area previously defined as Southwest New Suburban. The name being presented is "Worthington."

Items for Presentation on July 13th:

Map overlay of sub district area and definition of residents of this area
Wood Wind Golf Club Community Impact Report
Summary of Housing Inventory Report as it relates to sub district area

Items for Discussion and Input on July 13th:

Paragraph of map and resident definitions for the sub district document
Paragraph regarding benefits of a public golf course in the community for the sub district document

Next Steps:

Finalizing the map, resident and golf course paragraphs for the sub district document
Defining rural and conservation subdivisions and their use in this area

2. Meeting Summary:

----- Forwarded message -----
 From: **Kristen Burkman** <kburkman@gmail.com>
 Date: Mon, Jul 13, 2015 at 10:48 PM
 Subject: Summary of Meeting - July 13th
 To: "T.M.T., Incorporated" <dub164@aol.com>, Bruce Van Natta <bvanatta@indy.rr.com>, Cindy Spoljaric <csoljaric@westfield.in.gov>, Danielle Tolan <danielle@washingtontownship-hc.us>, Chuck Lehman <clehman@westfield.in.gov>, Jim Ake <jake@westfield.in.gov>, Steve Hoover <shoover@westfield.in.gov>, Ginny Kelleher <ginnykelleher@gmail.com>, Ken Kingshill <kenkingshill@gmail.com>

Hi Everyone -

Just a quick summary of the meeting today and next steps. Please find attached the summary that documents the housing inventory and citizen definitions of our specified sub district area. Also attached is the draft for the Community Impact Study for Wood Wind golf course. This document has been sent to the management group of the golf course for review as well.

Meeting Summary:

Research portion of the sub district area was completed. These items included mapping the area with parcels of current homeowners and land owners. The map included lifestyles that currently exist in this area of Westfield. Refer to the attachment for the inventory summary. An updated housing inventory is compiled and available for the sub district area. The Community Impact Study for Wood Wind Golf Club was distributed and is attached for everyone to review. If there are questions or comments pertaining to these documents, let us know. All of these documents will be included in the research portion of the sub district document.

A discussion was held regarding the type of development that would be acceptable in this area. The group tentatively agreed that within the central corridor of the sub district, rural and conservation subdivisions would be the accepted development. This is already stated in the comprehensive plan but further detail will be added to define.

The group also discussed the process for new housing developments being presented to the city of Westfield. This process is outside the scope of this sub district group but will be stewarded by the City Council members present at the meeting.

Next Steps:

Update and add further detail to the comprehensive plan for the sub district area. Begin writing ordinances for this area.

If anyone has additions or corrections, please let me know. Thank you again for your time and input! We really appreciate the collaborative teamwork going into this process.

Thanks,
Kristen