

WESTFIELD,
INDIANA

DP APPROVAL
MAPLE KNOLL
APARTMENTS

Plan Commission May 29, 2007
Docket #0703DP05

Applicant – Sheehan Development
Attn: Jimmy Curtis, 579-9255

Attorney – Charles D. Frankenberger
Phone – 844-0106

EXPLANATION

The real estate made the subject of this request is approximately 32 acres located west of and adjacent to Spring Mill, and south of State Road 32, within the Maple Knoll Planned Unit Development District. The real estate is outlined on the aerial photograph included under Tab 2. To the immediate north of the real estate are Westfield Steel, an INDOT facility, Curley Brothers, and Harvey Excavating.

Sheehan Development is requesting DP approval to develop 300 upscale apartments. To detail this request for DP approval, the following additional exhibits are included:

- Tab 2 - Aerial Photograph
- Tab 3 - Rendering of Site and Site Data
- Tab 4 - Full Size Landscape Plan;
- Tab 5 - Lighting Plan
- Tab 6 – Traffic Study
- Tab 7 - Colored Illustrations of building which is 3 stories, and building which is a 2-story/3-story split;
- Tab 8 – Colored Illustration of the buildings adjacent to Springmill Road.
- Tab 9 - Building Elevations, comprising two types of 2-story buildings, 2 types of 2-story / 3 -story split buildings, and elevations of 3-story building; and

As mentioned, the subject real estate is within the Maple Knoll Planned Unit Development District. By way of general background, the Maple Knoll Planned Unit Development District was established by the enactment of the Maple Knoll PUD Ordinance on February 9, 2004. The Maple Knoll PUD district allows a mix of uses which transition from lower density residential in the southwest to higher density residential and commercial development near the existing industrial uses along State Road 32. The proposed apartments are a permitted use within the Maple Knoll PUD and, as such, this request is for DP approval.

As illustrated by the exhibits, the apartments will be upscale, and will provide for the extension of the Midland Trail and connectivity.

We look forward to presenting this to you on May 29, 2007.

Respectfully submitted,

NELSON & FRANKENBERGER


Charles D. Frankenger



- LEGEND:**
- Main Thoroughfare
 - Secondary Streets
 - Retail
 - Industrial
 - Schools/Government
 - Single Family Residential



Springmill Road

STATE RD 32

Westfield Steel

INDOT

Curley Brick

Harvey Excavating

Maple Knoll
Apartment
Homes

169th Street

St. Maria Goretti

161st Street

Kroger Glass Point

Ditch Road

MIDLAND TRACE TRAIL

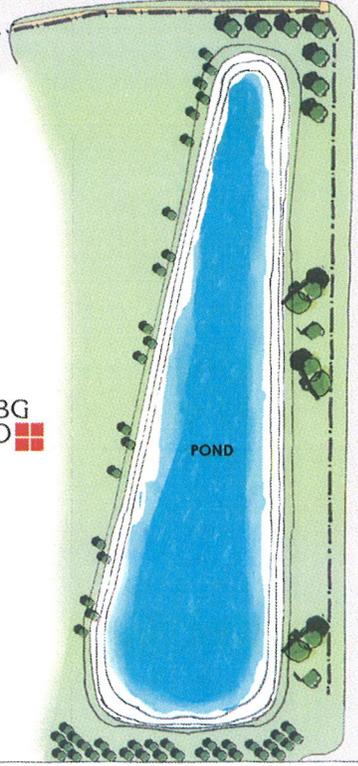


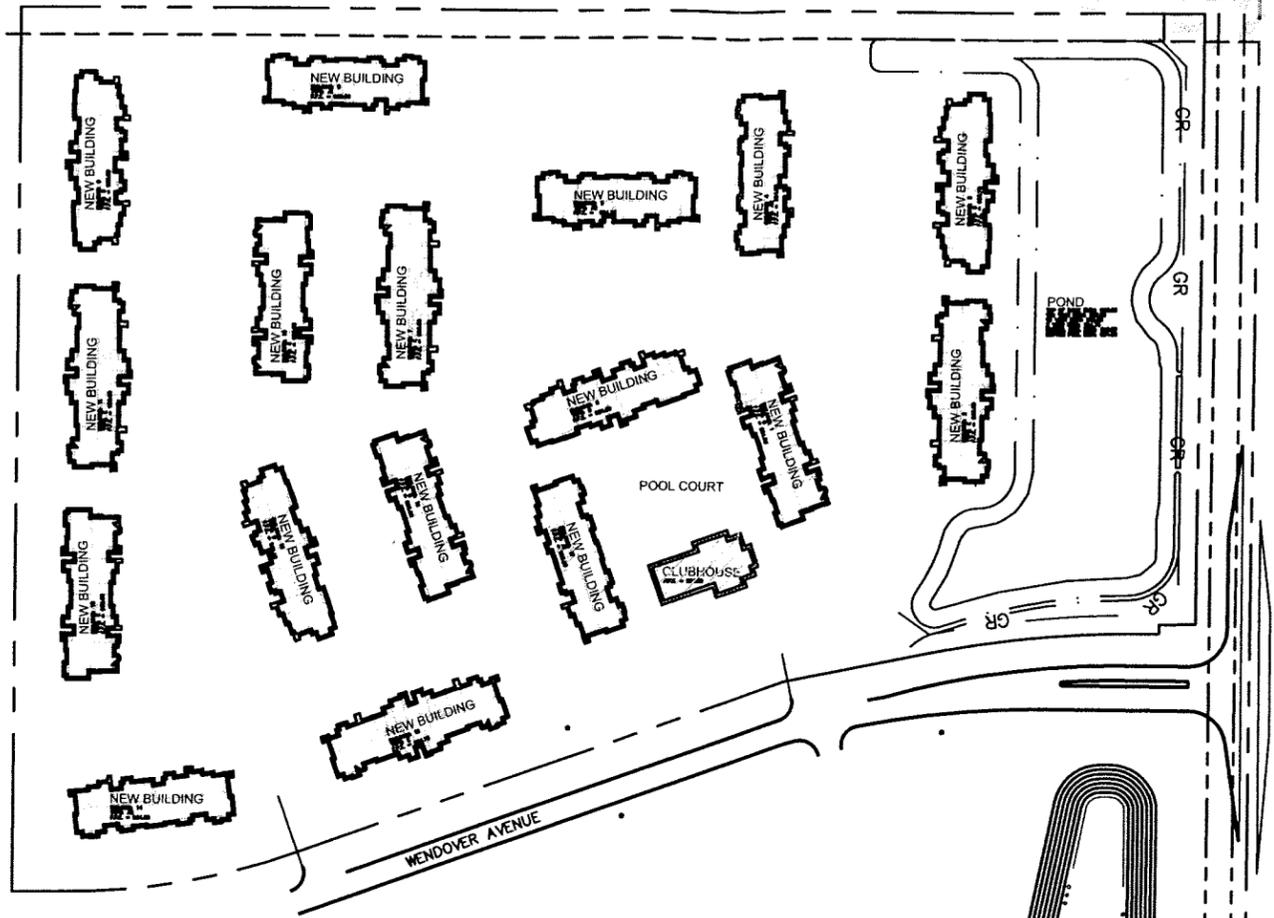
SPRING MILL ROAD



SHEEHAN DEVELOPMENT
TOWN OF WESTFIELD, INDIANA

02-09-07
BG
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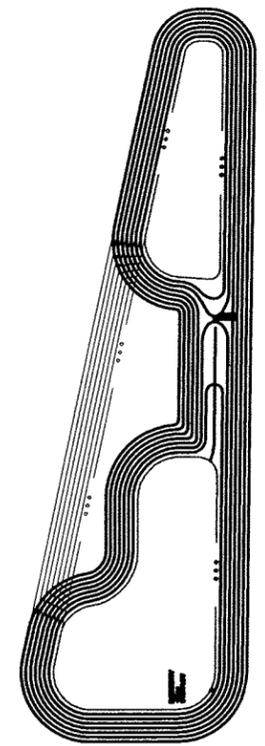
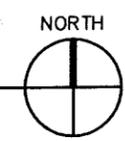




SITE INFORMATION	ACRES	PERCENTAGE
HARD SURFACE AREA	11.8	53
OPEN SPACE	13.2	47
TOTAL	25.0	100

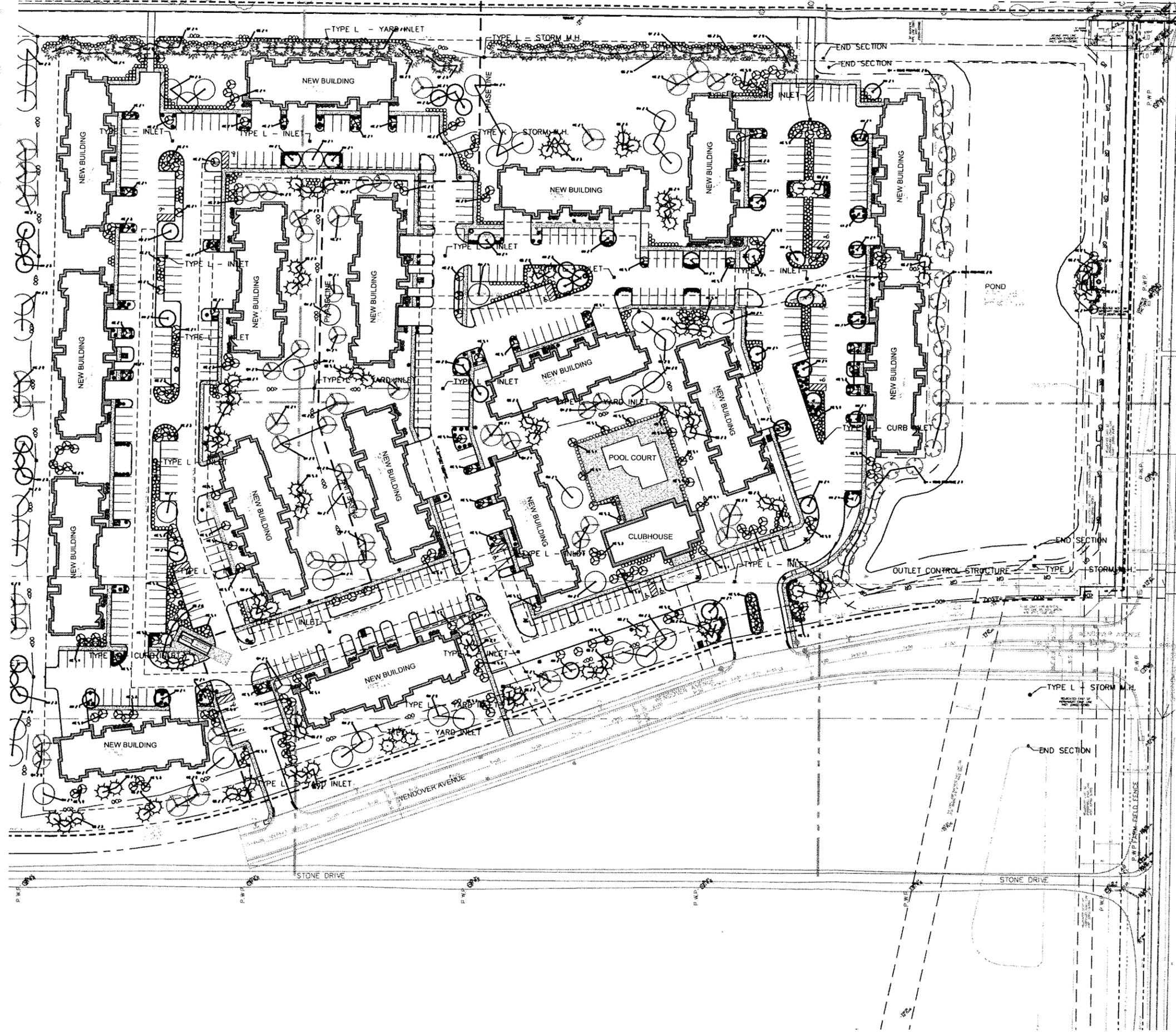
OVERALL SITE PLAN

SCALE: 1" = 200'



ABBREVIATIONS AND EXISTING LEGEND

DOOR	SPOT ELEVATION
LIMITS OF CONSTRUCTION	SPOT ELEVATION (TOP OF CURB)
M.H. MANHOLE	CONTOUR
EX. EXISTING	EXISTING GAS LINE
T.C. TOP OF CASTING ELEVATION	EXISTING TELEPHONE LINE
GUTTER	EXISTING ELECTRIC LINE (OVERHEAD)
PVC POLYVINYL CHLORIDE PIPE	EXISTING FENCE LINE
RCF REINFORCED CONCRETE PIPE	EXISTING CABLE TV LINE
DR DUCTILE IRON PIPE	EXISTING EDGE OF TREE LINE
SAH SANITARY	EXISTING WATER WELL
STM STORM	EXISTING POWER POLE w/ GUY WIRE
DS DOWN SPOUT	EXISTING TELEPHONE PEDESTAL
CO CLEAN OUT	CAPPED REBAR STAMPED (S&A FIRM #0008) SET
CONC. CONCRETE	MAG NAIL SET
PAVT PAVEMENT	
TYP TYPICAL	
H.C. HANDICAP	



Provided Landscape

Qty	Symbol	Common Name	Botanical Name	Abbreviation	Plant Size	Part #
200	(Symbol)	PRINCE OF ORANGE	MALUS X 'PRINCE'	AC	2" CAL.	
48	(Symbol)	HAIR SHAGBARK	BALANITA AMERICANA	BR	2" CAL. 8' HT.	
95	(Symbol)	COLORADO SPRUCE	PICEA PARSONS	CS	2" CAL. 8' HT.	
24	(Symbol)	COLORADO SPRUCE	PICEA PARSONS	CS - BUFFER YARD	2" CAL. 8' HT.	
20	(Symbol)	DOUGLAS FIR	PSEUDOTSUGA MUESEB.	DF - BUFFER YARD	2" CAL. 8' HT.	
28	(Symbol)	EUROPEAN HEDERA	CARPANUS BETULUS	EH	8' HT.	
23	(Symbol)	EUROPEAN HEDERA	CARPANUS BETULUS	EH - REAR FRONTAGE	2" CAL. 8' HT.	
25	(Symbol)	REINOVARY OLEIFER TREE	EMMODOENDUS UNICA	EC	4" CAL. 8' HT.	
43	(Symbol)	RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	RM	4" CAL. 8' HT.	

SHADE TREES

Qty	Symbol	Common Name	Botanical Name	Abbreviation	Plant Size	Part #
270	(Symbol)	ANTHONY WATERER SPREA	SPREA X BANALDA 'ANTHONY WATERER'	AW	24", BAB. 4' O.C.	
88	(Symbol)	OWARI ALBERTA SPREA	PICEA GLAUCA 'COMCA'	DA	24", BAB. 4' O.C.	
228	(Symbol)	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'WOODWARD'	GA	24", BAB. 4' O.C.	
134	(Symbol)	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'WOODWARD'	GA - BUFFER YARD	1 gallon	
647	(Symbol)	CANADA YEW	TAXUS CANADENSIS	TC	24", BAB. 4' O.C.	
82	(Symbol)	CANADA YEW	TAXUS CANADENSIS	TC - BUFFER YARD	24", BAB. 4' O.C.	

CLIENT CALCULATIONS

SHADE TREES
 23 - 2" CAL. SHADE TREES (CAN NOT BE SUBSTITUTED FOR 4" CAL. ROAD FRONTAGE) = 23
 138 - 4" CAL. SHADE TREES = 278
 TOTAL PROVIDED = 301
 REQUIRED = 300
 (SHADE TREES 20' MIN. CANOPY)
 ORNAMENTAL AND EVERGREEN TREES
 300 TREES EVERGREENS - PROVIDED = 300
 44 - EVERGREENS - NORTH BUFFER YARD = 44
 TOTAL PROVIDED = 344
 REQUIRED = 344
 SHRUBS
 1200 - SHRUBS ON SITE = 1200
 216 - NORTH BUFFER YARD = 216
 TOTAL PROVIDED = 1416
 REQUIRED = 1416

PREPARED BY: STAMPED BY: THESE PLANS ARE FOR INTERIM REVIEW AND COMMENT ONLY AND NOT APPROVED FOR CONSTRUCTION

DATE	DESCRIPTION
01/17/07	ZSK CONSTRUCTION PL
02/06/07	OWNER REVIEW PLANS
02/14/07	TAC SUBMITTAL
4-06-07	CITY REVIEW

MAPLE KNOLL APARTMENT HOMES
 SPRINGMILL ROAD & STATE ROAD 32, WESTFIELD, IN

HOLEY MOLEY SAYS
 "DIG SAFELY"

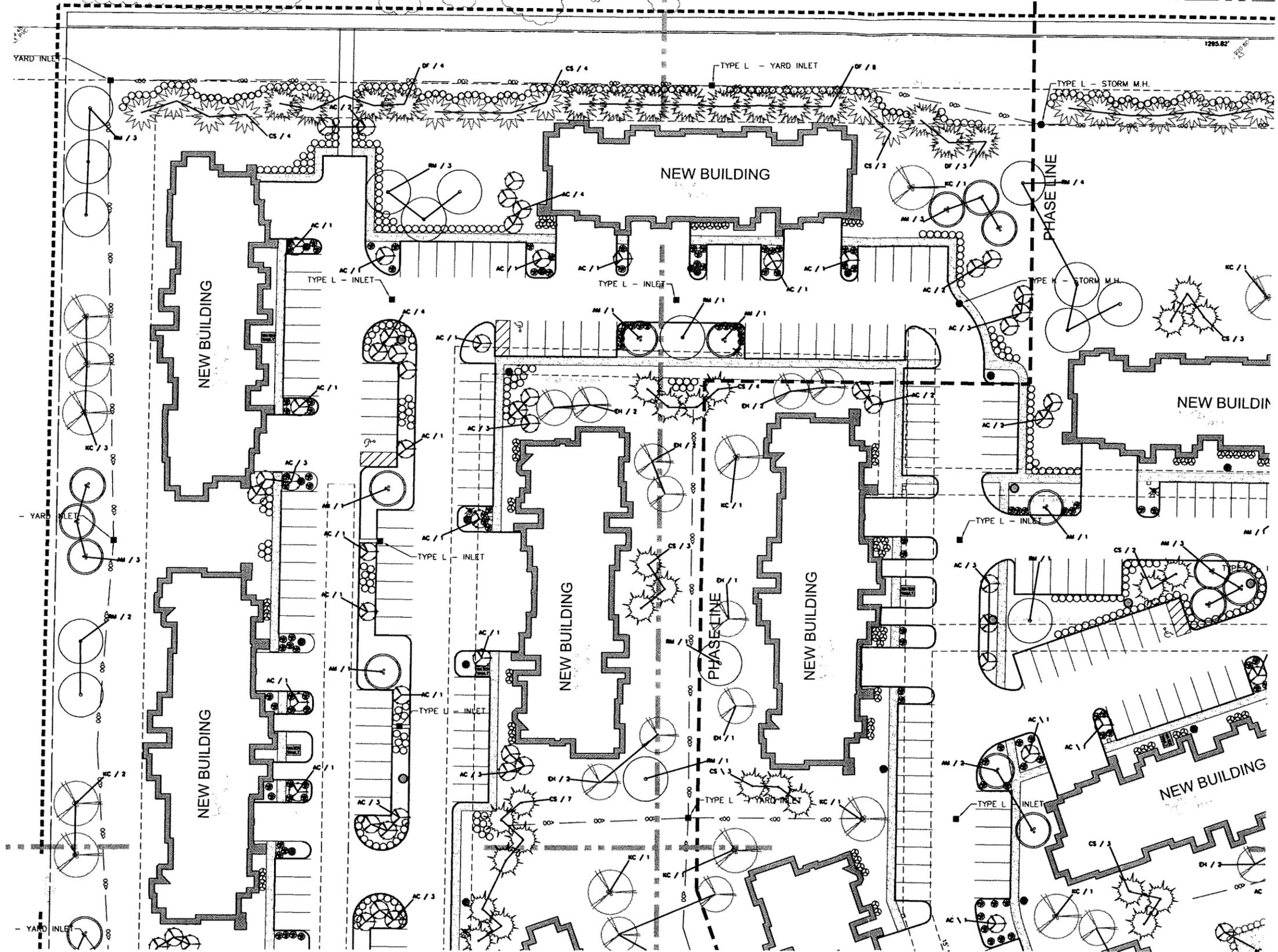


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 1-800-382-5544
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CLIENT NAME: MAPLE KNOLL, LLC
 6930 ATRIUM BOARDWALK SOUTH, SUIT INDIANAPOLIS, INDIANA 46250
 (317) 849-6900 (317) 894-0200
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 DESIGNED: RCT APPROVED: CRP
 DRAWN: RCT CHECKED BY: CRP
 SCALE: 1" = 30' DATE: 01-08-07
 PROJECT NO.: 2006-0142

OVERALL SITE LANDSCAPE PLAN





ABBREVIATIONS AND EXISTING LEGEND

- DOOR
- LIMITS OF CONSTRUCTION
- M.H. MANHOLE
- EX. EXISTING
- T.C. TOP OF CASTING ELEVATION
- GUTTER GUTTER/FLOWLINE ELEVATION
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- SAN SANITARY
- STM STORM
- DS DOWN SPOUT
- CO CLEAN OUT
- CONC. CONCRETE
- PWT PAVEMENT
- TYP TYPICAL
- H.C. HANDBOOK
- SPOT ELEVATION
- SPOT ELEVATION (TOP OF CURB)
- CONTOUR
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING FENCE LINE
- EXISTING CABLE TV LINE
- TREE AREA
- EXISTING EDGE OF TREE LINE
- EXISTING WATER WELL
- EXISTING POWER POLE w/ GUY WIRE
- EXISTING TELEPHONE PEDestal
- CAPPED REBAR STAMPED (S&A FROM JOODS) SET
- MAG. NAIL SET

DEBOY
LAND DEVELOPMENT SERVICES
Designers - Engineers - Surveyors
801 S. Phyllis, Indianapolis, IN 46209
Phone: 317-770-1807 Fax: 317-770-1821
Toll Free: 1-888-801-8855

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DRAWN: RCT CHECKED BY: CRF
SCALE: 1" = 30' DATE: 01-08-07
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SITE LANDSCAPE PLAN

PER INDIANA STATE LAW ICS-1-26. IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS

ABBREVIATIONS AND EXISTING LEGEND

- DOOR
- LIMITS OF CONSTRUCTION
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- DS DOWN SPOUT
- CO CLEAN OUT
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- TYP TYPICAL
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- CONTOUR
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- EXISTING FENCE LINE
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- EXISTING WATER WELL
- EXISTING POWER POLE w/ GUY WIRE
- EXISTING TELEPHONE PEDestal
- CAPPED REBAR STAMPED (S&B FORM #0008) SET
- MAG NAIL SET



DESIGNERS - Engineers - Surveyors
 201 S. 9th Street, Suite 100, Noblesville, IN, 46060
 Phone: 317.770.1801 Fax: 317.770.1821
 Toll Free: 1.800.401.4855

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PREPARED BY: **MAPLE KNOLL APARTMENT HOMES**
 SPRINGMILL ROAD & STATE ROAD 32, WESTFIELD, IN

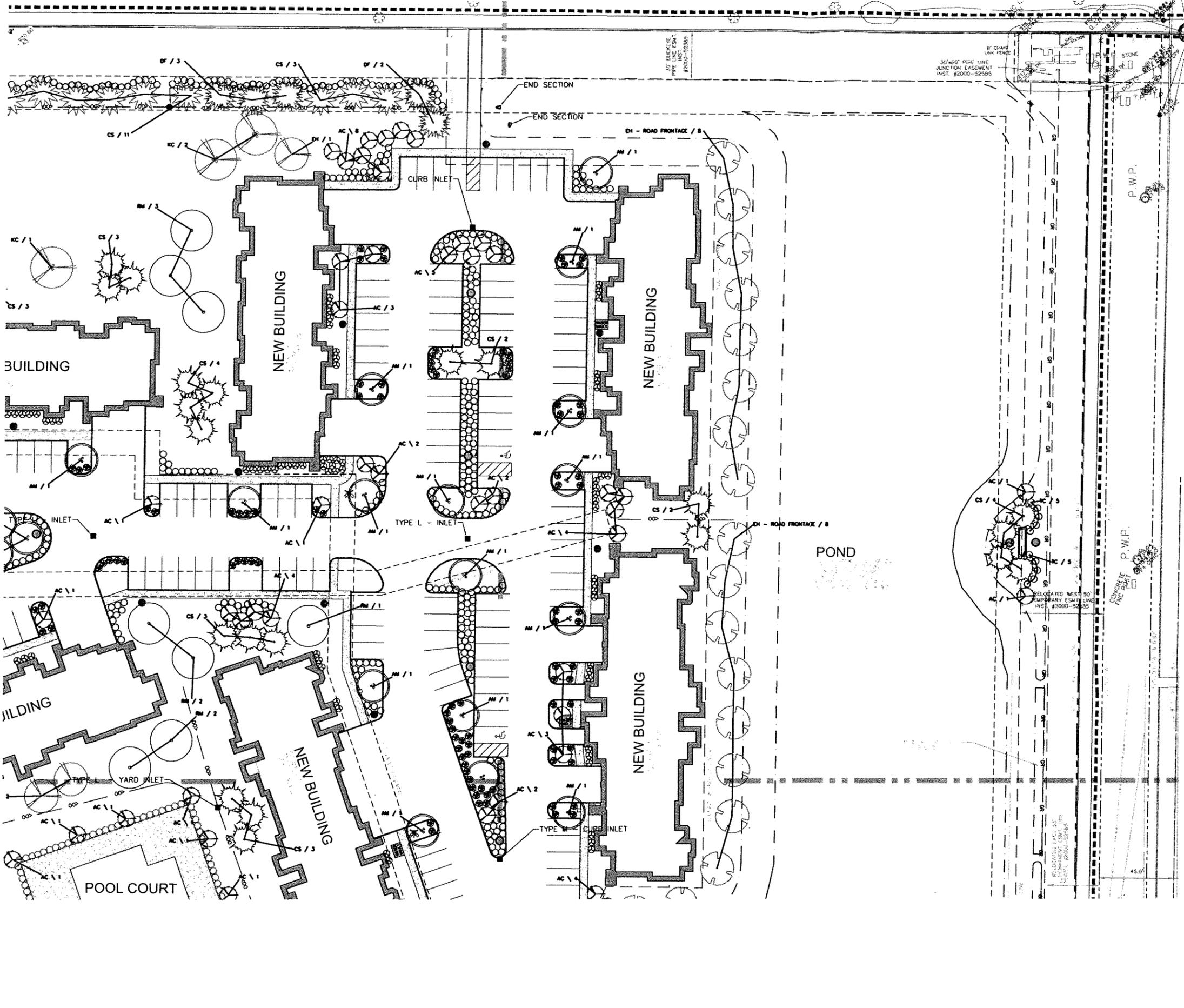
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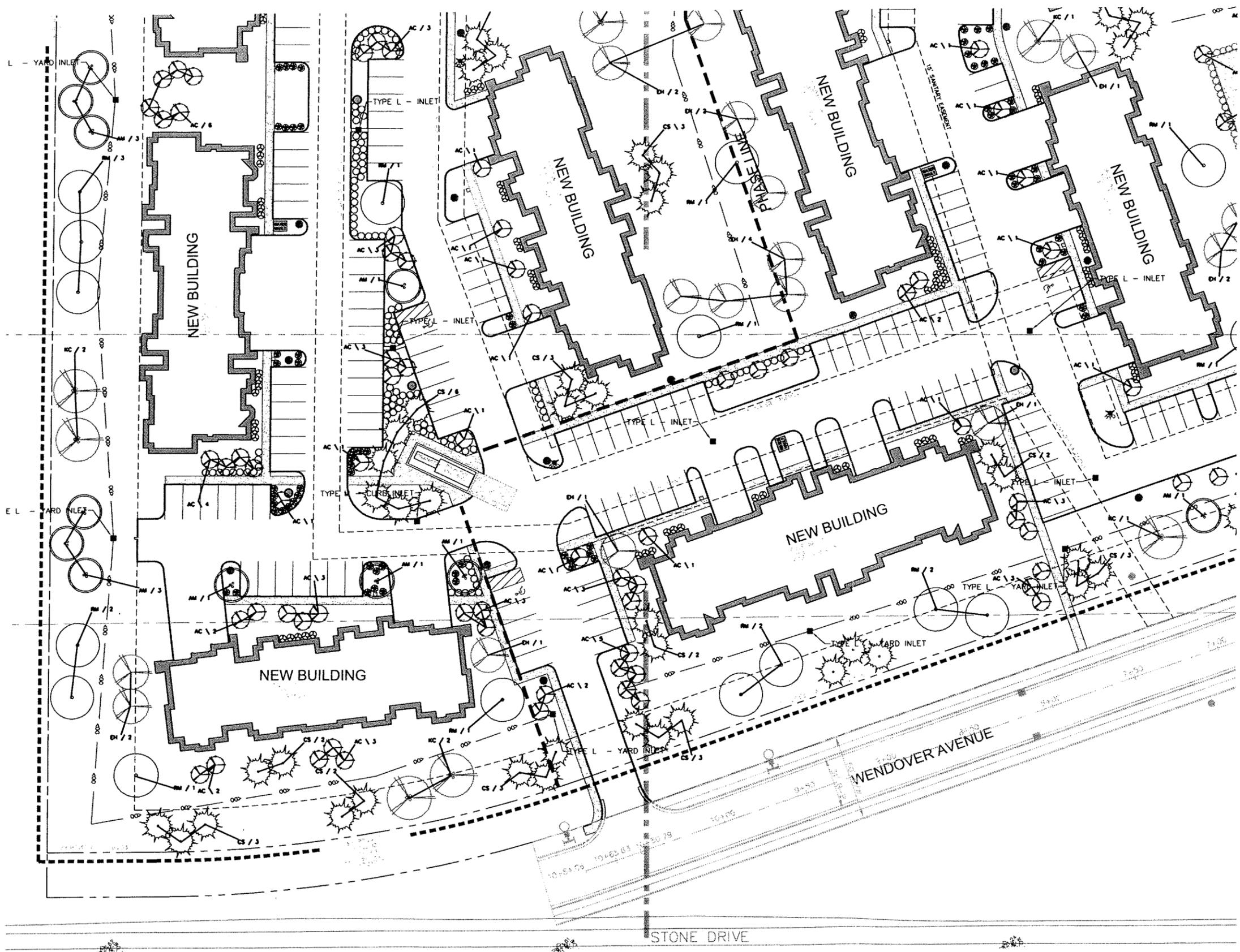
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C5.1 OF 6



SITE LANDSCAPE PLAN

PER INDIANA STATE LAW ICS-1-26,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 UTILITY SERVICES TWO (2) WORKING DAYS



ABBREVIATIONS AND EXISTING LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> DOOR LIMITS OF CONSTRUCTION M.H. MANHOLE EX. EXISTING T.C. TOP OF CASTING ELEVATION GUTTER GUTTER/FLOWLINE ELEVATION PVC POLYVINYL CHLORIDE PIPE RCF REINFORCED CONCRETE PIPE DI DUCTILE IRON PIPE SAN SANITARY STM STORM DS DOWN SPOUT CO CLEAN OUT CONC. CONCRETE PVMT PAVEMENT TYP TYPICAL H.C. HANDICAP | <ul style="list-style-type: none"> SPOT ELEVATION (TOP OF CURB) CONTOUR EXISTING GAS LINE EXISTING TELEPHONE LINE EXISTING ELECTRIC LINE (OVERHEAD) EXISTING FENCE LINE EXISTING CABLE TV LINE EXISTING EDGE OF TREE LINE EXISTING WATER WELL EXISTING POWER POLE w/ GUY WIRE EXISTING TELEPHONE PEDESTAL CAPPED REBAR STAMPED (S&A FIRM #0000) SET MAG NAIL SET |
|---|---|

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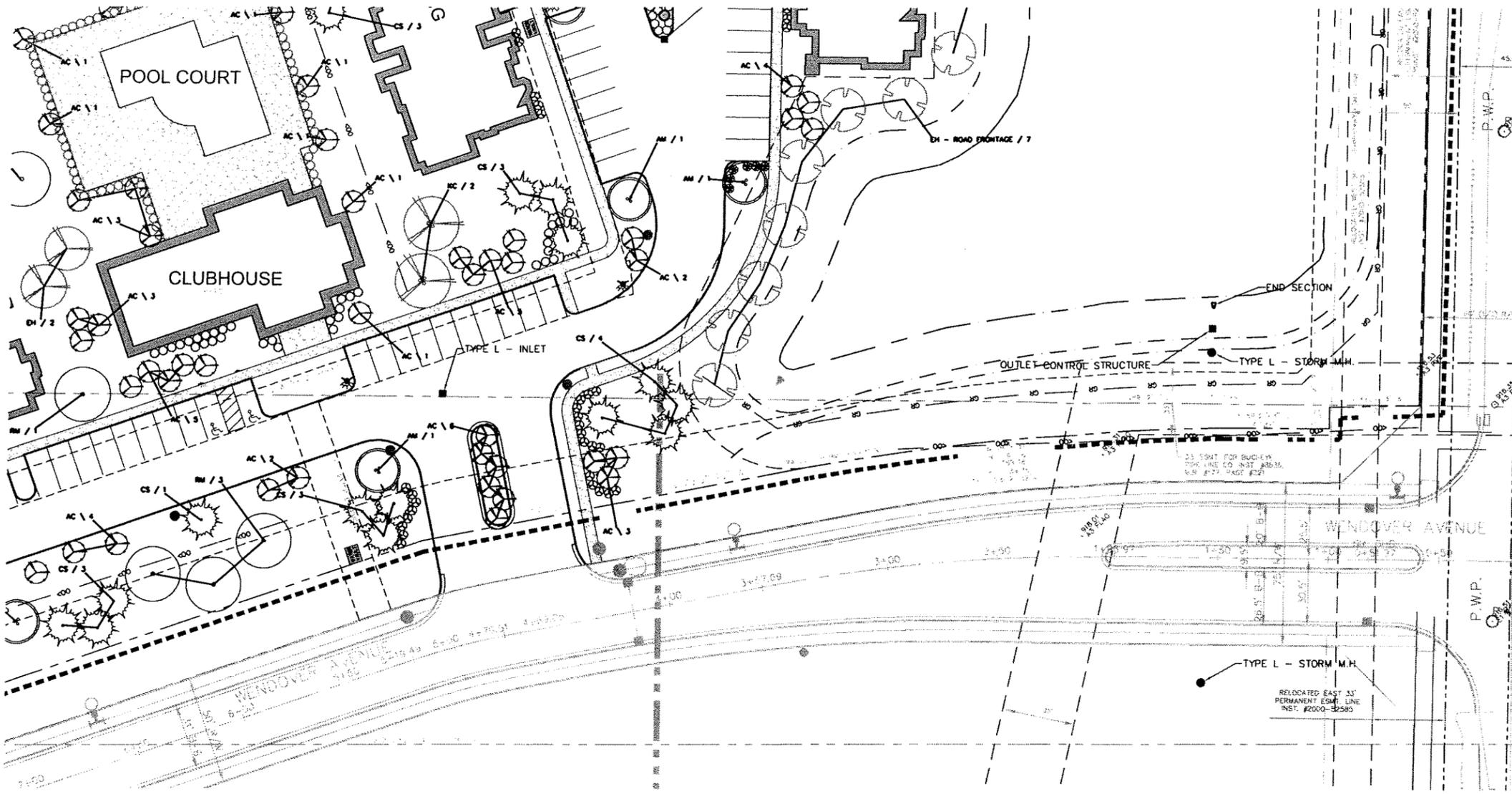
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SITE LANDSCAPE PLAN



PER INDIANA STATE LAW ICS-1-26, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS



SITE LANDSCAPE PLAN
SCALE: 1" = 30'

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---	LIMITS OF CONSTRUCTION	○	SPOT ELEVATION (TOP OF CURB)
M.H.	MANHOLE	---	CONTOUR
EX	EXISTING	---	EXISTING GAS LINE
T.C.	TOP OF CASTING ELEVATION	---	EXISTING TELEPHONE LINE
GUTTER	GUTTER/FLOWLINE ELEVATION	---	EXISTING ELECTRIC LINE (OVERHEAD)
PVC	POLYVINYL CHLORIDE PIPE	---	EXISTING FENCE LINE
RCP	REINFORCED CONCRETE PIPE	---	EXISTING CABLE TV LINE
DIP	DUCTILE IRON PIPE	---	EXISTING EDGE OF TREE LINE
SAH	SANITARY	---	EXISTING WATER WELL
STM	STORM	---	EXISTING POWER POLE w/ GUY WIRE
DS	DOWN SPOUT	---	EXISTING TELEPHONE PEDestal
CO	CLEAN OUT	---	CAPPED REBAR STAMPED (S&B FORM #0006) SET
CONC.	CONCRETE	---	MAG NAIL SET
PVMT	PAVEMENT	---	
TYP	TYPICAL	---	
H.C.	HANDICAP	---	

LANDSCAPE NOTES

- PLANTING NOTES:**
- ALL PLANT MATERIAL IS TO BE PROVIDED WITH A ONE-YEAR REPLACEMENT GUARANTEE AND SHALL BE REPLACED IF DEAD, DYING, OR OTHERWISE UNACCEPTABLE TO THE LANDSCAPE ARCHITECT.
 - SCHEDULE A PRE-CONSTRUCTION CONFERENCE PRIOR TO SOURCING OF PLANT MATERIAL AND ANY WORK ON-SITE.
 - NOTIFY THE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE UNSUITABLE OR OTHER UNFORESEEN CONDITIONS ARE FOUND.
 - ALL PLANT MATERIAL SHALL BE IN CONFORMANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1, LATEST EDITION.
 - SUBSTITUTIONS FOR THE SPECIFIED LANDSCAPE MATERIAL CAN BE PROPOSED BY THE CONTRACTOR AND CHANGES CAN BE MADE UPON APPROVAL IN WRITING BY THE LANDSCAPE ARCHITECT.
 - THOROUGHLY WATER ALL PLANT MATERIAL WITHIN SIX (6) HOURS OF INSTALLATION.
 - THE SITE IS TO BE LEFT IN A CLEAN AND NEAT CONDITION AT ALL TIMES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD SERVICES AND UTILITIES WITHIN THE CONTRACT WORK AREAS. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
 - IN CASE OF DISCREPANCY BETWEEN NUMBER OF PLANTS SHOWN ON PLAN AND SCHEDULE, PLAN SHALL SUPERSEDE.
- MISCELLANEOUS PLANTING MATERIALS:**
- MULCH: FINELY SHREDDED HARDWOOD BARK, AGED. THREE (3) INCH DEPTH FOR ALL PLANTING BEDS AND TREE SAUCERS.
 - BACKFILL MIX: POTOTILL THREE (3) CUBIC YARDS PEAT MOSS PER 100 SF AREA FOR ALL PLANTING BEDS. FURTHER AMEND BACKFILL MIX FOR TREE PLANTING WITH 1 CUP EACH AGRICULTURAL SULFUR AND HYDRATED IRON.
 - SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPE BEDS SHALL BE SPADE EGGED TO A DEPTH OF 6".

PLANT CALCULATIONS

SHADE TREES

23 - 2" CAL SHADE TREES (CAN NOT BE SUBSTITUTED FOR 4" CAL ROAD FRONTAGE) = 23	
138 - 4" CAL SHADE TREES	= 238
138 x 2 = 276	= 301
TOTAL PROVIDED	= 300
REQUIRED	= 300

(SHADE TREES 20' MIN. CANOPY)

ORNAMENTAL AND EVERGREEN TREES

300 TREES, EVERGREENS - PROVIDED	= 300
44 - EVERGREENS - NORTH BUFFER YARD	= 44
TOTAL PROVIDED	= 344
REQUIRED	= 344

SHRUBS

1200 - SHRUBS ON SITE	= 1200
216 - NORTH BUFFER YARD	= 216
TOTAL PROVIDED	= 1416
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LAND DEVELOPMENT SERVICES
Designers - Engineers - Surveyors
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Phone: 317-770-1901 Fax: 317-770-1821
Cell: 317-770-1888

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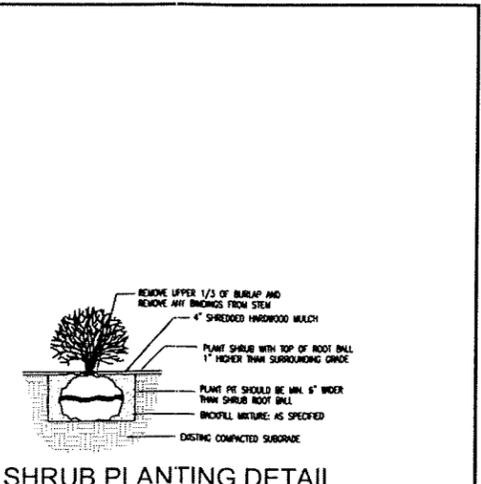
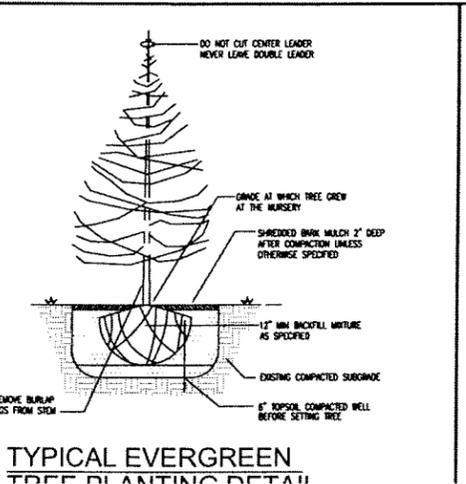
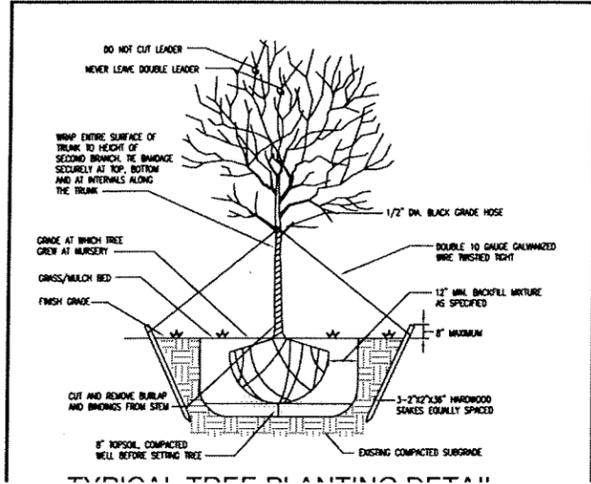
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SPRINGMILL ROAD & STATE ROAD 32, WESTFIELD, IN

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Provided Shrubs Over 4 Feet:

Qty	Symbol	Common Name	Botanical Name	Abbreviation	Plant Size	Part #
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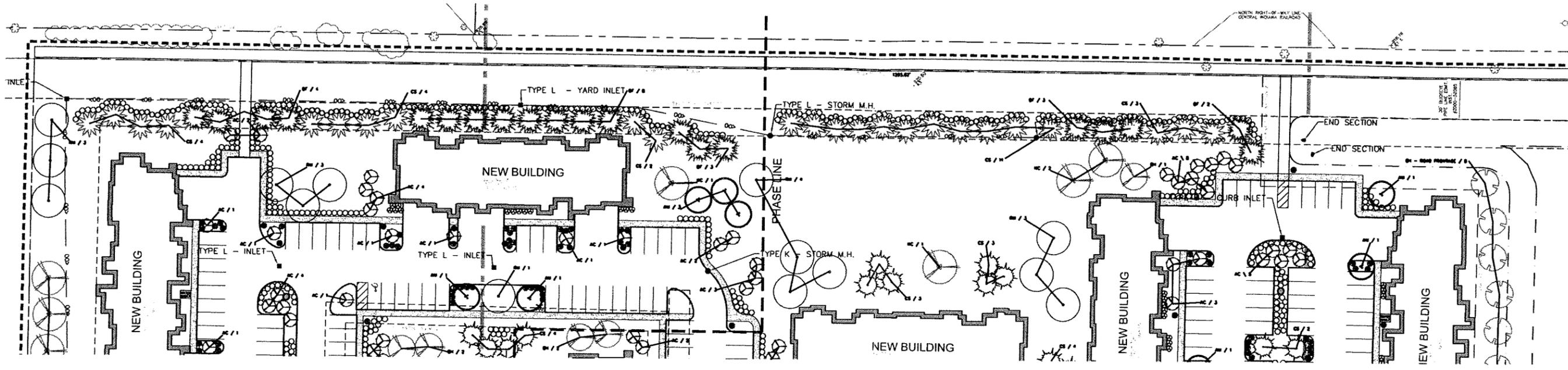
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4-05-07	CITY REVIEW

MAPLE KNOLL APARTMENT HOMES
SPRINGMILL ROAD & STATE ROAD 32, WESTFIELD, IN

Species	Quantity	Plant Name	Plant Size	Plant Spacing
SH	276	SHRUBS	4" CAL. E.H.T.	
TR	301	TREES	4" CAL. E.H.T.	

PLANT CALCULATIONS
SHRUBS
 23 - 2" CAL. SHADE TREES (CAN NOT BE SUBSTITUTED FOR 4" CAL. ROAD FRONTAGE) = 23
 138 x 2 = 276
 TOTAL PROVIDED = 276
 REQUIRED = 300
 (SHADE TREES 20' MIN. CANOPY)
ORNAMENTAL AND EVERGREEN TREES
 300 TREES EVERGREENS - PROVIDED = 300
 64 - EVERGREENS - NORTH BUFFER YARD = 64
 TOTAL PROVIDED = 364
 REQUIRED = 364
SHRUBS
 1200 - SHRUBS ON SITE = 1200
 216 - SHRUBS NORTH BUFFER YARD = 216
 TOTAL PROVIDED = 1416
 REQUIRED = 1416

HOLEY MOLEY SAYS
"DIG SAFELY"

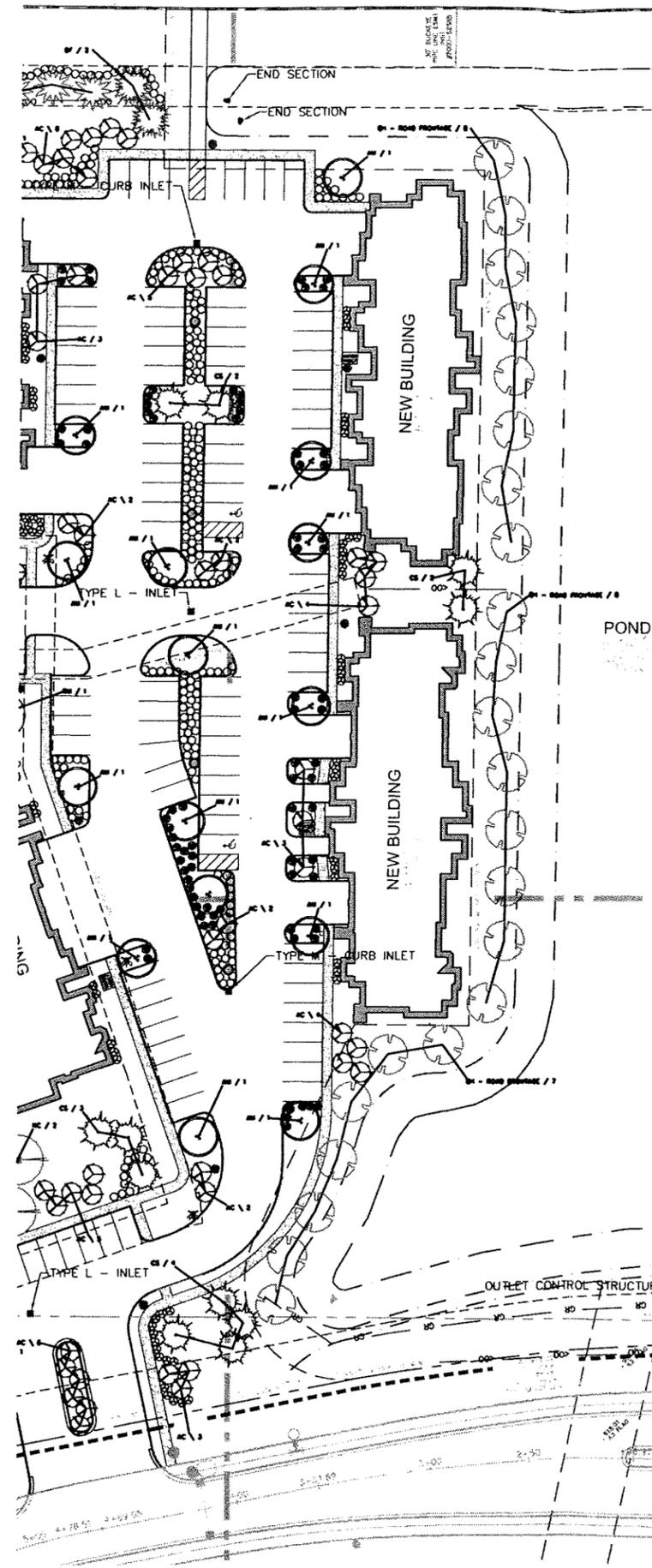


"IT'S THE LAW"
CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544
CALL TOLL FREE

CLIENT NAME: MAPLE KNOLL, LLC
 6930 ATRIUM BOARDWALK SOUTH, SUIT INDIANAPOLIS, INDIANA 46250
 (317) 849-6900 (317) 894-0200
 © 2007 DeBoy Land Development Services
 DESIGNED: RCT APPROVED: CRP
 DRAWN: RCT CHECKED BY: CRP
 SCALE: 1" = 40' DATE: 01-08-07
 PROJECT NO.: 2006-0142

NORTH BUFFER YARD LANDSCAPE PLAN

PER INDIANA STATE LAW ICS-1-26 IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND UTILITY SERVICE (TUS) WORKING DAYS



ROAD FRONTAGE LANDSCAPE PLAN

ABBREVIATIONS AND EXISTING LEGEND

- ▲ DOOR
- LIMITS OF CONSTRUCTION
- M.H. MANHOLE
- EX. EXISTING
- T.C. TOP OF CASTING ELEVATION
- GUTTER GUTTER/FLOORLINE ELEVATION
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- DIP DUCTILE IRON PIPE
- SAH SANITARY
- STM STORM
- DS DOWN SPOUT
- CO CLEAN OUT
- CONC. CONCRETE
- PVMT PAVEMENT
- TYP TYPICAL
- H.C. HANDICAP
- SPOT ELEVATION
- SPOT ELEVATION (TOP OF CURB)
- CONTOUR
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING ELECTRIC LINE (OVERHEAD)
- EXISTING FENCE LINE
- EXISTING CABLE TV LINE
- EXISTING EDGE OF TREE LINE
- EXISTING WATER WELL
- EXISTING POWER POLE w/ GUY WIRE
- EXISTING TELEPHONE PEDESTAL
- CAPPED REBAR STAMPED (S&A FIRM #0008) SET
- MAG. NAIL SET

Provided Landscape

Qty	Symbol	Common Name	Botanical Name	Height	Plant Size	Plant #
23	(Symbol)	SHADE TREES				

PLANT CALCULATIONS

SHADE TREES
 23 - 2" CAL. SHADE TREES (CAN NOT BE SUBSTITUTED FOR 4" CAL. ROAD FRONTAGE) = 23
 138 - 4" CAL. SHADE TREES = 276
 TOTAL PROVIDED = 300
 REQUIRED = 300
 (SHADE TREES 20' MIN. CANOPY)

ORNAMENTAL AND EVERGREEN TREES
 300 TREES, EVERGREENS - PROVIDED = 300
 44 - EVERGREENS - NORTH BUFFER YARD = 44
 TOTAL PROVIDED = 344
 REQUIRED = 344

SHRUBS
 1200 - SHRUBS ON SITE = 1200
 216 - NORTH BUFFER YARD = 216
 TOTAL PROVIDED = 1416
 REQUIRED = 1416

PREPARED BY: **DEBOY** LAND DEVELOPMENT SERVICES
 Designers - Engineers - Surveyors
 501 S. 9th Street, Suite 100, Noblesville, IN, 46060
 Phone: 317.770.1801 Fax: 317.770.1821
 Toll Free: 1.888.601.8595

STAMPED BY: THESE PLANS ARE FOR INTERIM REVIEW AND COMMENT ONLY AND NOT APPROVED FOR CONSTRUCTION

DATE	DESCRIPTION
01/17/07	25% CONSTRUCTION PL
02/08/07	OWNER REVIEW PLANS
02/14/07	TAC SUBMITTAL
4-06-07	CITY REVIEW

MAPLE KNOLL APARTMENT HOMES
 SPRINGMILL ROAD & STATE ROAD 32, WESTFIELD, IN

HOLEY MOLEY SAYS
 "DIG SAFELY"



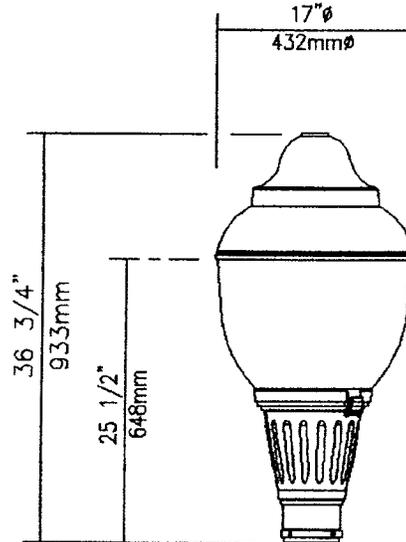
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CLIENT NAME: MAPLE KNOLL, LLC
 6930 ATRIUM BOARDWALK SOUTH, SUN
 INDIANAPOLIS, INDIANA 46250
 (317) 849-6900
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 © 2007 DeBoy Land Development Services.
 DESIGNED: RCT APPROVED: CRF
 DRAWN: RCT CHECKED BY: CRP
 SCALE: 1" = 40' DATE: 01-08-07
 PROJECT NO.: 2006-0142

PER INDIANA STATE LAW 103-11-26,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING DAYS

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7



Qty	20	Type	AS
		Luminaire	S56-250HPS-GL-DSX3-VOLT-HS-COLTX

Description of Components:

Finial: Decorative cast 356 aluminum, mechanically assembled.

Hood: (GL), One-piece, seamless, pressure-molded colorless borosilicate glass globe having internal prisms with smooth external self-cleaning surface, permanently assembled to the globe.

Globe: (GL), One-piece, seamless, pressure-molded colorless borosilicate glass globe having internal prisms with smooth external self-cleaning surface. The globe is mechanically assembled on the access-mechanism.

Lamp: (not included), 250 Watt High Pressure Sodium (ANSI Code S50), ED 18 bulb, mogul base.

Optical System: (DSX3), Type III, (asymmetrical), cut-off distribution with less than 1% uplight. Smartseal Optical system, composed of bright-anodized aluminum hydroformed reflector, permanently assembled on a prismatic globe. Weatherproof IP66 rating, complete with an (HS) house side shield.

Ballast: High power factor of 90%. Primary voltage to be determined _____. Lamp starting capacity -40F(-40C) degrees. Assembled on a unitized removable tray with quick disconnect plug.

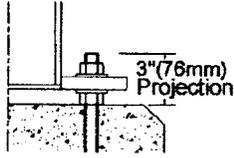
Access-Mechanism: A cast A360.1 aluminum technical ring with latch and hinge. The mechanism shall offer toolfree access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofness.

Fitter: Cast aluminum A360.1 c/w 4 set screws 3/8-16 UNC. Fits on a 4"(102mm) outside diameter by 4"(102mm) long tenon.

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Base & Bolts Information



Comes with 4 steel anchor bolts, 3/4" X 24" + 3", 8 nuts and 8 washers. Important: Do not obstruct space between anchor plate and concrete base.

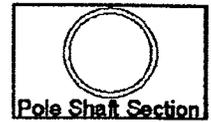
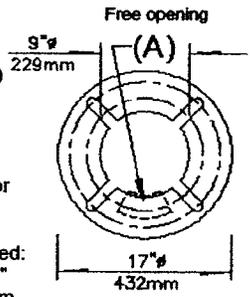
Anchor Plate

-B.C.: 10 1/2" (267mm)

- Material: Cast Aluminum

- (A)= Access door

- NOTE:
Bolt Circle Allowed:
10 1/2" to 12 1/2"
267mm to 318mm



Qty	20	Type AS	Pole RA42E-18-COLTX
-----	----	---------	---------------------

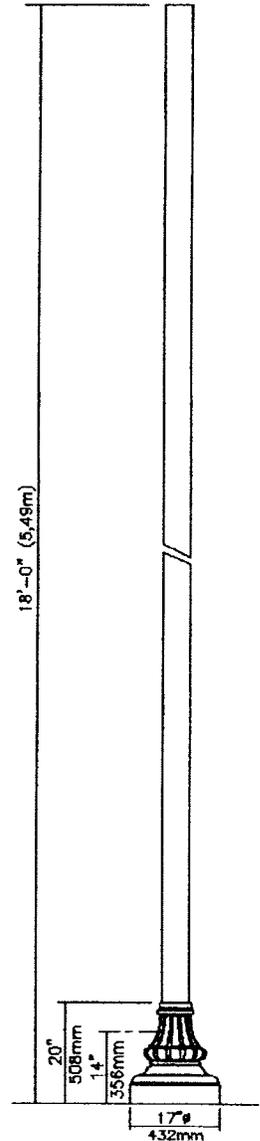
Description of Components:

Pole Shaft: Shall be made from a 5" (127mm) round extruded 6061-T6 aluminum tubing, having a 0.170" (4.3mm) wall thickness, welded to the pole base.

Joint Cover: One-piece round joint cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Pole Base: Shall be made from a round fluted cast 356 aluminum base having a 0.375" (9.5mm) wall thickness, complete with a cast-in anchor plate.

Maintenance Opening: The pole shall have a 2 7/8" to 6" wide x 5 1/2" long (73mm x 152mm x 140mm) maintenance opening centered 14" (356mm) from the bottom of the anchor plate, complete with a weatherproof cast 356 aluminum cover and a copper ground lug.



LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Miscellaneous

Description of Components:

Wiring: Gauge (#14) TEW wires, 6" (152mm) minimum exceeding from luminaire.

Hardware: All exposed screws will be in stainless steel. All seals and sealing devices are made and/or lined with EPDM and/or silicone.

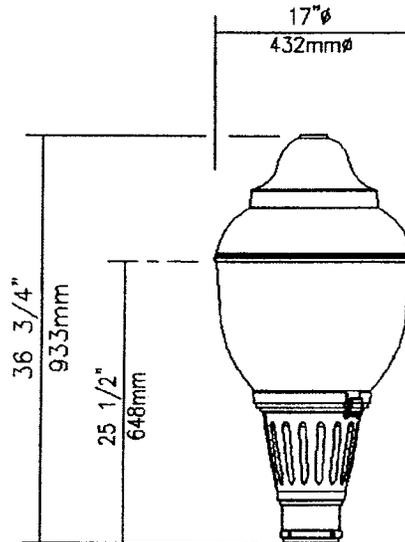
Finish: Textured color to be advised (Standard Lumec color): _____ (COLTX). Application of a polyester powder coat paint. (4 mils/100 microns). The chemical composition provides a highly durable UV and salt spray resistant finish in accordance to the ASTM-B117-73 standard and humidity proof in accordance to the ASTM-D2247-68 standard.

Note: IMPORTANT: All missing details must be clearly specified on the return of these approval drawings. Thank you for your cooperation.

COLOR: _____ / VOLTAGE: _____

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7



Qty	20	Type	A
		Luminaire	S56-250HPS-GL-DSX3-VOLT-COLTX

Description of Components:

Finial: Decorative cast 356 aluminum, mechanically assembled.

Hood: (GL), One-piece, seamless, pressure-molded colorless borosilicate glass globe having internal prisms with smooth external self-cleaning surface, permanently assembled to the globe.

Globe: (GL), One-piece, seamless, pressure-molded colorless borosilicate glass globe having internal prisms with smooth external self-cleaning surface. The globe is mechanically assembled on the access-mechanism.

Lamp: (not included), 250 Watt High Pressure Sodium (ANSI Code S50), ED 18 bulb, mogul base.

Optical System: (DSX3), Type III, (asymmetrical), cut-off distribution with less than 1% upright. Smartseal Optical system, composed of bright-anodized aluminum hydroformed reflector, permanently assembled on a prismatic globe. Weatherproof IP66 rating.

Ballast: High power factor of 90%. Primary voltage to be determined _____. Lamp starting capacity -40F(-40C) degrees. Assembled on a unitized removable tray with quick disconnect plug.

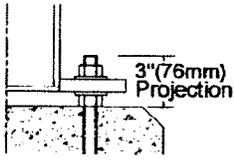
Access-Mechanism: A cast A360.1 aluminum technical ring with latch and hinge. The mechanism shall offer toolfree access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofness.

Fitter: Cast aluminum A360.1 c/w 4 set screws 3/8-16 UNC. Fits on a 4"(102mm) outside diameter by 4"(102mm) long tenon.

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Base & Bolts Information



Comes with 4 steel anchor bolts, 3/4" X 24" + 3", 8 nuts and 8 washers. Important: Do not obstruct space between anchor plate and concrete base.

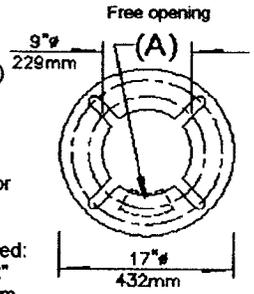
Anchor Plate

- B.C.: 10 1/2" (267mm)

- Material: Cast Aluminum

- (A)= Access door

- NOTE: Bolt Circle Allowed: 10 1/2" to 12 1/2" 267mm to 318mm



Qty	20	Type A Pole	RA42E-18-COLTX
-----	----	-------------	----------------

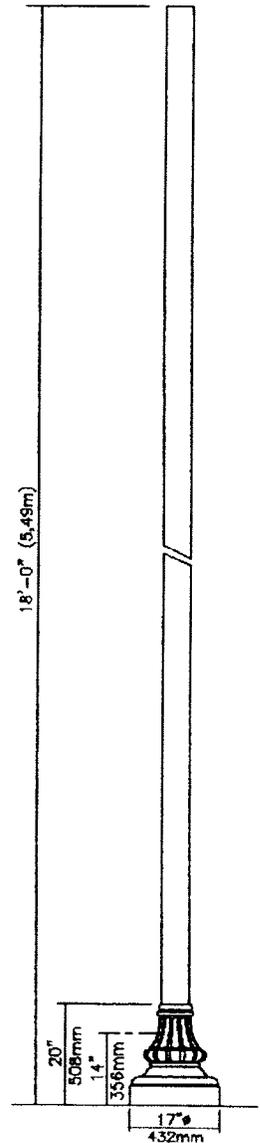
Description of Components:

Pole Shaft: Shall be made from a 5" (127mm) round extruded 6061-T6 aluminum tubing, having a 0.170" (4.3mm) wall thickness, welded to the pole base.

Joint Cover: One-piece round joint cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Pole Base: Shall be made from a round fluted cast 356 aluminum base having a 0.375" (9.5mm) wall thickness, complete with a cast-in anchor plate.

Maintenance Opening: The pole shall have a 2 7/8" to 6" wide x 5 1/2" long (73mm x 152mm x 140mm) maintenance opening centered 14" (356mm) from the bottom of the anchor plate, complete with a weatherproof cast 356 aluminum cover and a copper ground lug.



LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Miscellaneous

Description of Components:

Wiring: Gauge (#14) TEW wires, 6" (152mm) minimum exceeding from luminaire.

Hardware: All exposed screws will be in stainless steel. All seals and sealing devices are made and/or lined with EPDM and/or silicone.

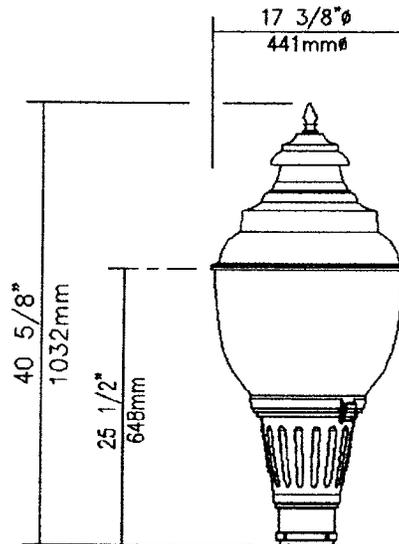
Finish: Textured color to be advised (Standard Lumec color): _____ (COLTX). Application of a polyester powder coat paint. (4 mils/100 microns). The chemical composition provides a highly durable UV and salt spray resistant finish in accordance to the ASTM-B117-73 standard and humidity proof in accordance to the ASTM-D2247-68 standard.

Note: IMPORTANT: All missing details must be clearly specified on the return of these approval drawings. Thank you for your cooperation.

COLOR: _____ / VOLTAGE: _____

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7



Qty	14	Type	B
		Luminaire	S55-250HPS-GL-DSX3-VOLT-COLTX

Description of Components:

Finial: Decorative cast 356 aluminum, mechanically assembled.

Hood: Spun aluminum 1100-0 dome, permanently assembled to the globe.

Globe: (GL), One-piece, seamless, pressure-molded colorless borosilicate glass globe having internal prisms with smooth external self-cleaning surface. The globe is mechanically assembled on the access-mechanism.

Lamp: (not included), 250 Watt High Pressure Sodium (ANSI Code S50), ED 18 bulb, mogul base.

Optical System: (DSX3), Type III, (asymmetrical), cut-off distribution with less than 1% upright. Smartseal Optical system, composed of bright-anodized aluminum hydroformed reflector, permanently assembled on a prismatic globe. Weatherproof IP66 rating.

Ballast: High power factor of 90%. Primary voltage to be determined _____. Lamp starting capacity -40F(-40C) degrees. Assembled on a unitized removable tray with quick disconnect plug.

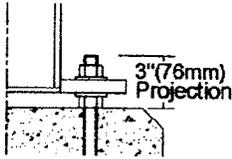
Access-Mechanism: A cast A360.1 aluminum technical ring with latch and hinge. The mechanism shall offer toolfree access to the inside of the luminaire. An embedded memory-retentive gasket shall ensure weatherproofness.

Fitter: Cast aluminum A360.1 c/w 4 set screws 3/8-16 UNC. Fits on a 4"(102mm) outside diameter by 4"(102mm) long tenon.

LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Base & Bolts Information



Comes with 4 steel anchor bolts, 3/4" X 24" + 3", 8 nuts and 8 washers. Important: Do not obstruct space between anchor plate and concrete base.

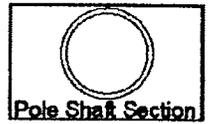
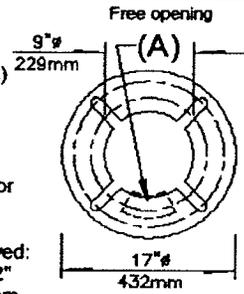
Anchor Plate

- B.C.:
10 1/2" (267mm)

- Material:
Cast Aluminum

- (A)= Access door

- NOTE:
Bolt Circle Allowed:
10 1/2" to 12 1/2"
267mm to 318mm



		Type B
Qty	14	Pole RA42E-18-COLTX

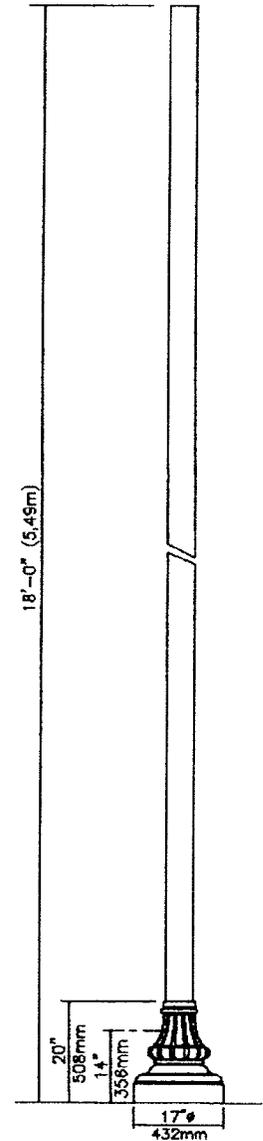
Description of Components:

Pole Shaft: Shall be made from a 5" (127mm) round extruded 6061-T6 aluminum tubing, having a 0.170" (4.3mm) wall thickness, welded to the pole base.

Joint Cover: One-piece round joint cover made from cast 356 aluminum, mechanically fastened with stainless steel screws.

Pole Base: Shall be made from a round fluted cast 356 aluminum base having a 0.375" (9.5mm) wall thickness, complete with a cast-in anchor plate.

Maintenance Opening: The pole shall have a 2 7/8" to 6" wide x 5 1/2" long (73mm x 152mm x 140mm) maintenance opening centered 14" (356mm) from the bottom of the anchor plate, complete with a weatherproof cast 356 aluminum cover and a copper ground lug.



LUMEC

640, Curé-Boivin
Boisbriand (Québec)
Canada, J7G 2A7

Miscellaneous

Description of Components:

Wiring: Gauge (#14) TEW wires, 6" (152mm) minimum exceeding from luminaire.

Hardware: All exposed screws will be in stainless steel. All seals and sealing devices are made and/or lined with EPDM and/or silicone.

Finish: Textured color to be advised (Standard Lumec color): _____ (COLTX). Application of a polyester powder coat paint. (4 mils/100 microns). The chemical composition provides a highly durable UV and salt spray resistant finish in accordance to the ASTM-B117-73 standard and humidity proof in accordance to the ASTM-D2247-68 standard.

Note: IMPORTANT: All missing details must be clearly specified on the return of these approval drawings. Thank you for your cooperation.

COLOR: _____ / VOLTAGE: _____



A & F ENGINEERING CO., LLC
CONSULTING ENGINEERS

William J. Fehribach, P.E.
President

Steven J. Fehribach, P.E.
Vice President

8365 Keystone Crossing, Suite 201
Indianapolis, In 46240
(317) 202-0864 fax (317) 202-0908
www.af-eng.com

MEMORANDUM

DATE: February 12, 2007

TO: James J. Curtis, Jr.
Sheehan Construction Company, Inc.

FROM: Thomas S. Vandenberg, P.E. *Tom Vandenberg*
A&F Engineering, LLC

RE: Traffic Analysis - Proposed Residential Development
Springmill Road south of S.R. 32

INTRODUCTION & PURPOSE

This traffic analysis, prepared at the request of the Town of Westfield on behalf of Sheehan Construction, is for a proposed residential development that will be located west of Springmill Road and south of S.R. 32 in Westfield, Indiana. The proposed site will consist of 300 luxury apartment dwelling units at full build-out and will have access to Springmill Road. The attached **Figure 1A** and **Figure 1B** shows the proposed layout and approximate location of the site and the Springmill Road access. The purpose of this analysis is to project the impact that the proposed site will have on the public roadway system. Recommendations will then be made based on the projected impact.

GENERATED TRAFFIC VOLUMES FOR PROPOSED DEVELOPMENT

*Trip Generation*¹ report was used to project the number of trips that will be generated by the proposed site during the typical weekday AM peak hour and PM peak hour. *Trip Generation* report is a compilation of trip data for various land uses as collected by transportation professionals throughout the United States in order to establish the average number of trips generated by those land uses. The following table is a summary of the trips that will be generated by the proposed site.

GENERATED PEAK HOUR TRIPS FOR PROPOSED DEVELOPMENT

DEVELOPMENT INFORMATION			GENERATED TRIPS			
LAND USE	ITE CODE	SIZE	AM ENTER	AM EXIT	PM ENTER	PM EXIT
Luxury Apartments	220	300 DU	30	121	119	64

INTERNAL TRIPS & PASS-BY TRIPS

An internal trip results when a trip is made between two or more land uses without traversing the external public roadway system. Internal trip reductions were not applied to the generated trips for this site since the proposed development will consist of a single land use.

Pass-by trips are trips already on the public roadway system that are captured by the proposed development. Residential developments do not typically generate a significant amount of pass-by trips. Therefore, pass-by trip reductions were not applied to the generated trips for this site.

ASSIGNMENT AND DISTRIBUTION OF GENERATED TRIPS

To determine the volumes of traffic that will be added to the public roadway system due to the proposed development, the generated traffic entering and exiting the proposed site was first assigned to the proposed access along Springmill Road. The distribution of generated traffic traveling either north or south along Springmill Road was then determined. This distribution was based on the location of the proposed site with respect to the public roadway system as well as trip distribution data listed in traffic studies previously performed for near-by residential developments. The assignment and distribution of the generated traffic volumes for the proposed development are shown on **Figure 2**.

¹ *Trip Generation*, Institute of Transportation Engineers, Seventh Edition, 2003.

PROPOSED DEVELOPMENT GENERATED TRIPS ADDED TO THE STREET SYSTEM

Generated traffic volumes that can be expected from the proposed development have been prepared for the proposed access along Springmill Road and are summarized on **Figure 3** for the peak hours. These volumes are based on the previously discussed trip generation data, assignment of generated traffic, and distribution of generated traffic.

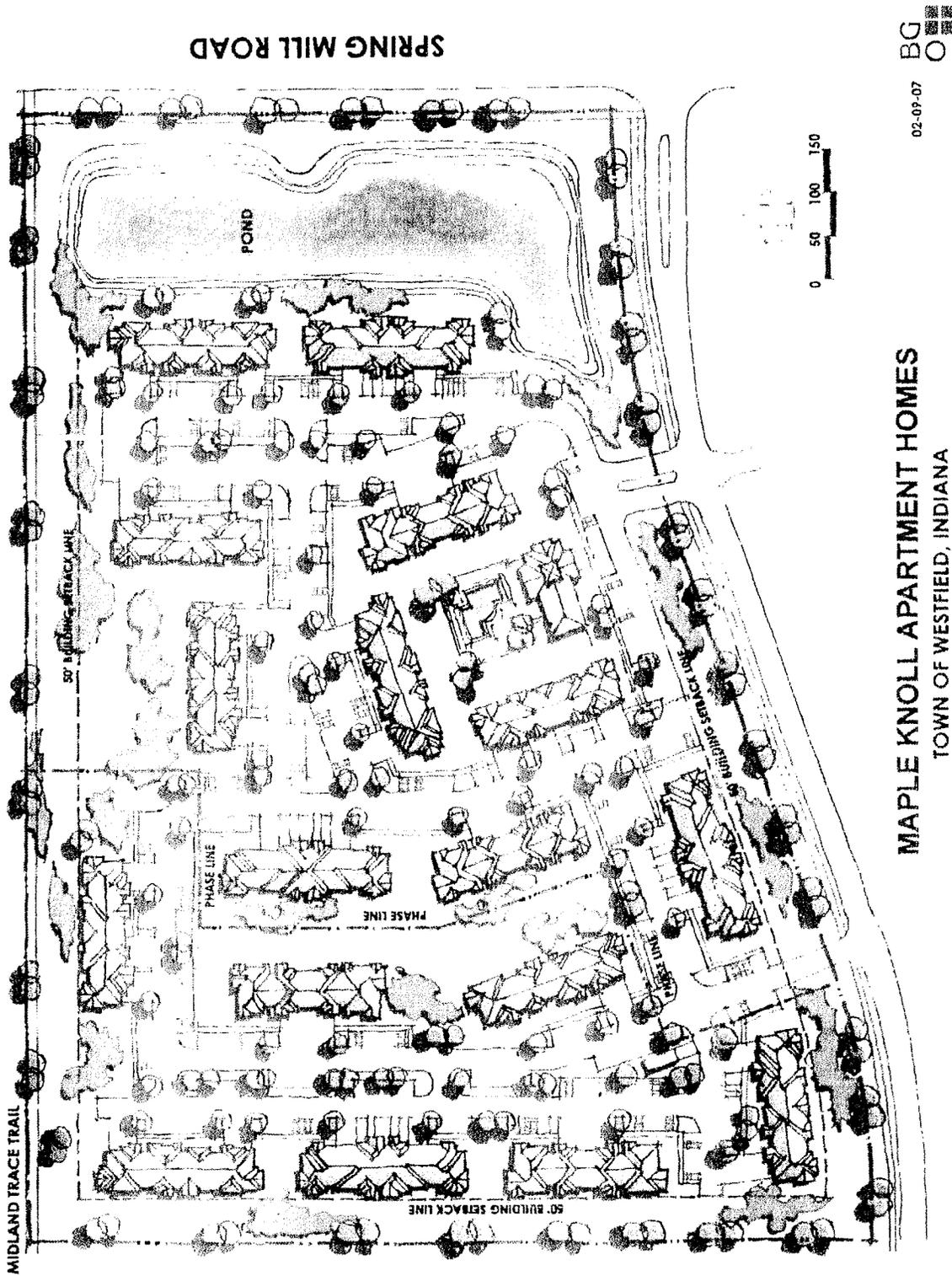
RECOMMENDATIONS

The recommendations that follow are based on the projected peak hour trip generation for the full build-out of the proposed Sheehan site as well as the assignment and distribution of the generated traffic. The peak hours are typically when the largest volumes of traffic will occur. Therefore, it can generally be assumed that recommendations made for the peak hours will accommodate the traffic volumes during the remaining 22 hours as the remaining 22 hour volumes will typically be equal to or less than the peak hour traffic volumes.

Springmill Road & Proposed Access

- This intersection should operate as a stop sign control with the proposed access stopping for Springmill Road.
- The proposed access should be constructed with two outbound lanes and at least one inbound lane.
- A northbound left-turn treatment should be constructed at the access to allow northbound through traffic along Springmill Road to by-pass vehicles turning left into the access. The turn treatment should be designed per the Town of Westfield's standards.
- A southbound right-turn lane should be constructed along Springmill Road at the access. A recovery taper should also be constructed at the access. The turn lane and recovery taper should both be designed per the Town of Westfield's standards.

The near-by intersections along the public roadway system should be continuously monitored as the proposed site and the surrounding vacant land continues to be developed. Road impact fees collected can then be used to make improvements at these near-by intersections as needed.



02-09-07
 BG
 O

MAPLE KNOLL APARTMENT HOMES
 TOWN OF WESTFIELD, INDIANA

FIGURE 1A
SITE LAYOUT

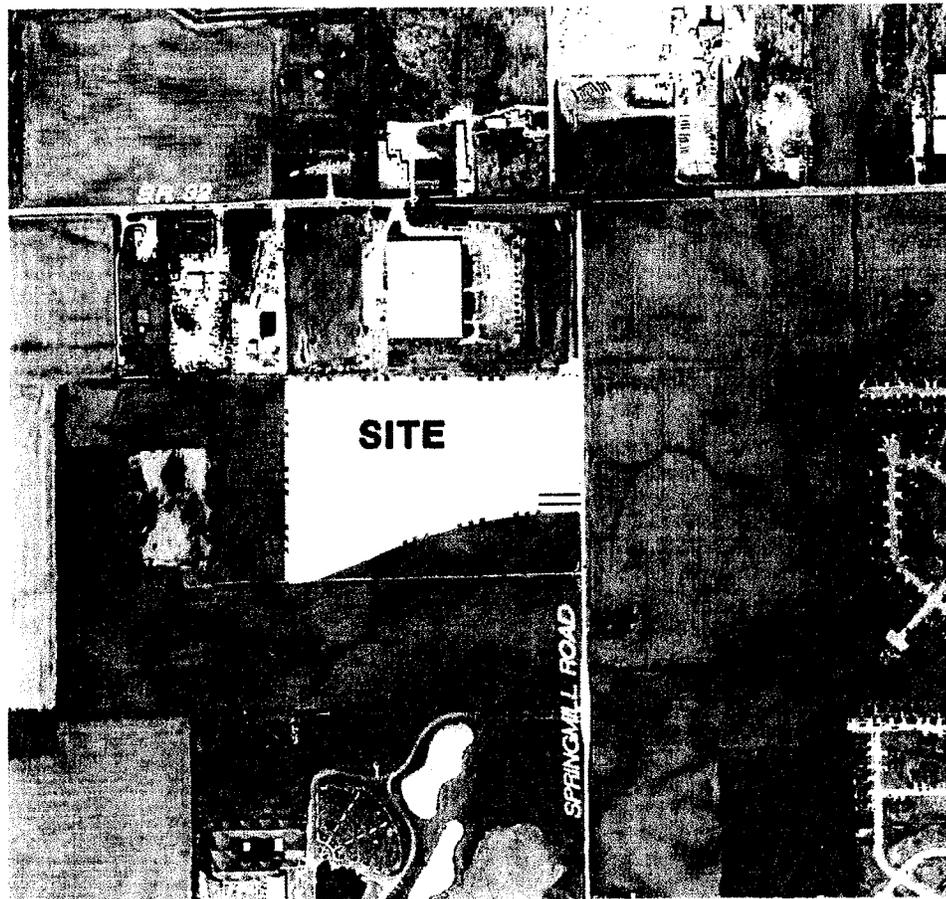


FIGURE 1B
SITE LOCATION

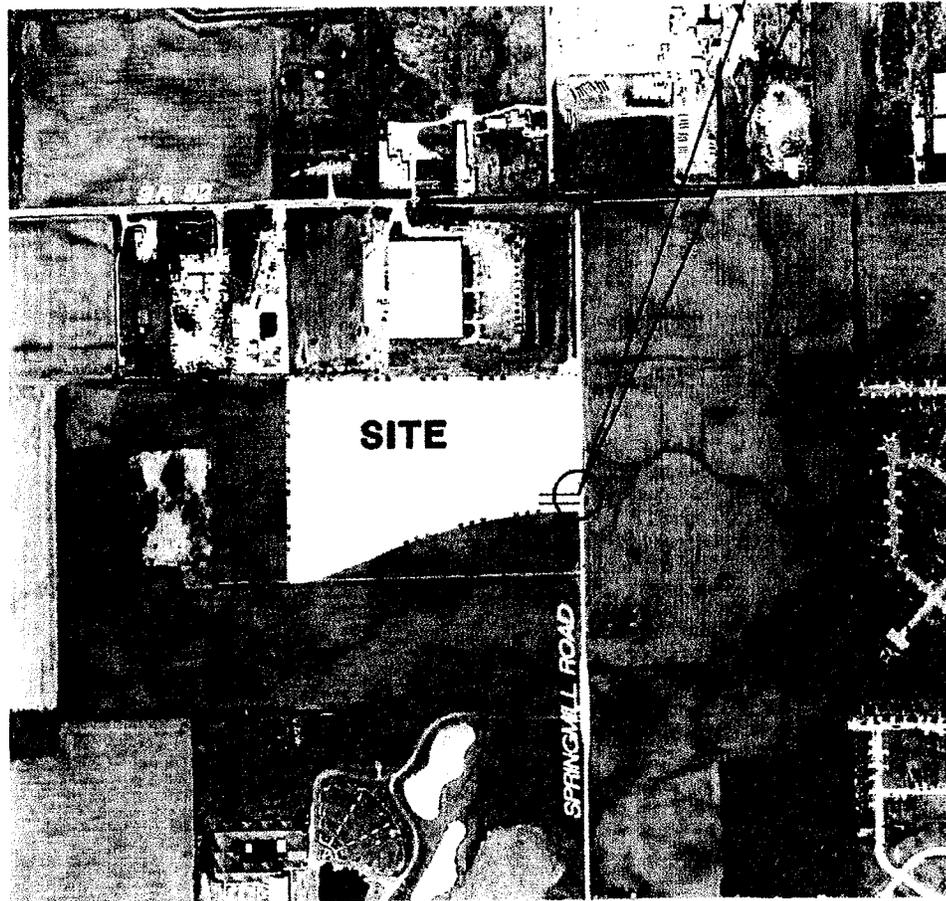
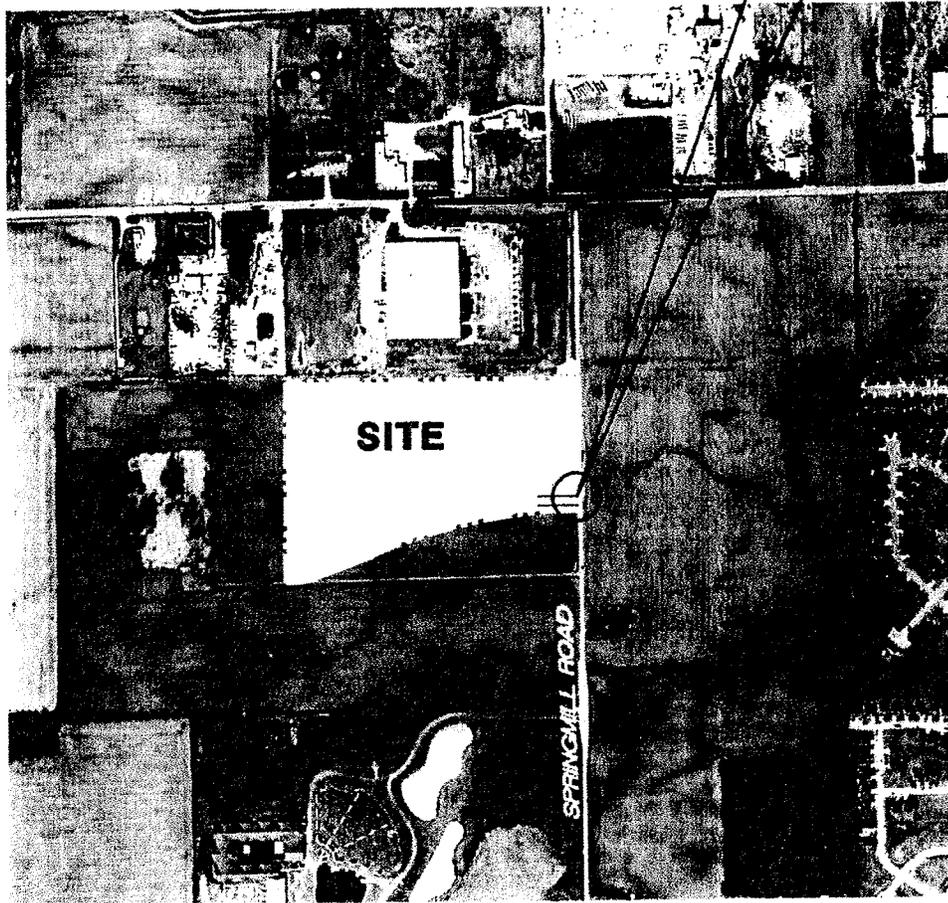


FIGURE 2

**ASSIGNMENT & DISTRIBUTION OF
GENERATED TRAFFIC VOLUMES
FOR PROPOSED DEVELOPMENT**

\\2007\07023-SHEEHAN\07023-EXH.DWG. 1=1.02-11-07 RFL



LEGEND

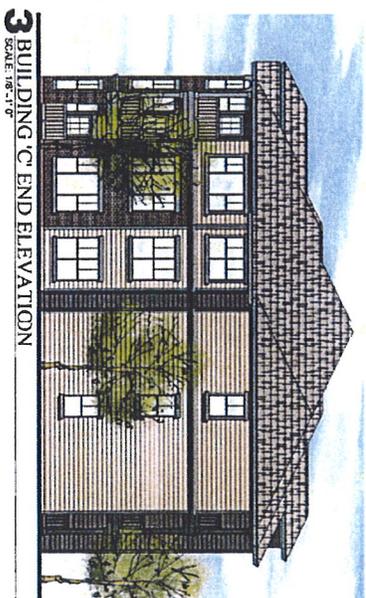
00 = A.M. PEAK HOUR
(00) = P.M. PEAK HOUR

**SHEEHAN CONSTRUCTION
WESTFIELD, INDIANA**

FIGURE 3

**GENERATED TRAFFIC VOLUMES
FOR PROPOSED DEVELOPMENT**

© A & F Engineering Co., LLC 2007
"ALL Rights Reserved"



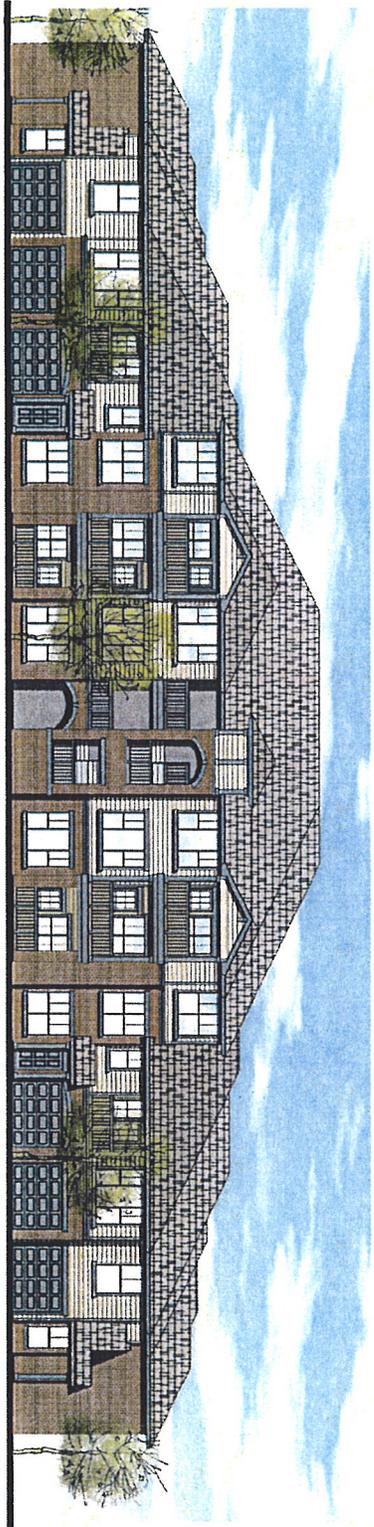
3 BUILDING 'C' END ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 'C' REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING 'C' FRONT ELEVATION
SCALE: 1/8" = 1'-0"



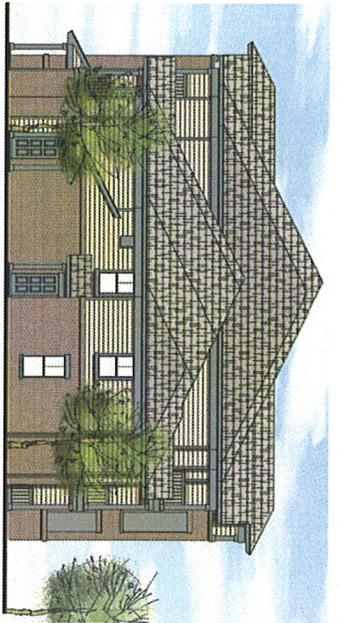
BUILDING 'D' FRONT ELEVATION
SCALE: 1/8"=1'-0"

DATE: 10/11/18
DATE: 1/20/2007

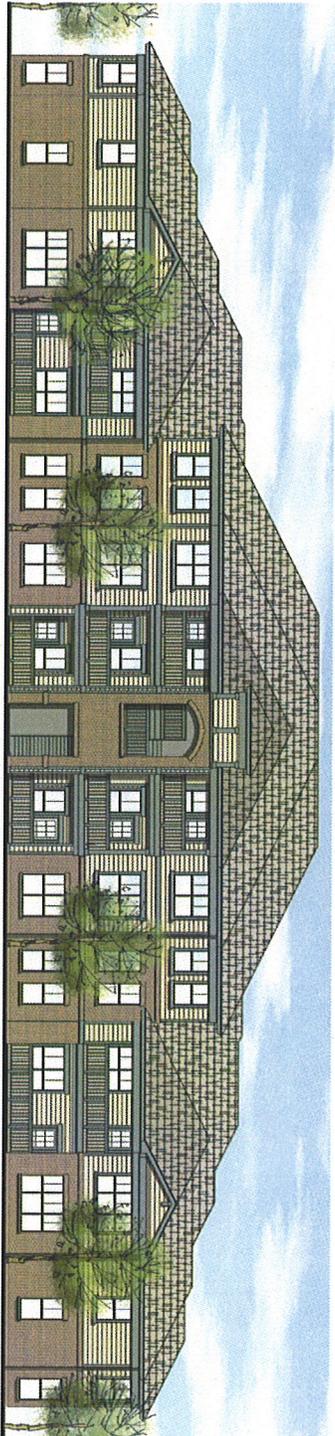




4 BUILDING 'D' STAIR ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING 'D' END ELEVATION
SCALE: 1/8"=1'-0"



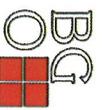
2 BUILDING 'D' REAR ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING 'D' FRONT ELEVATION
SCALE: 1/8"=1'-0"

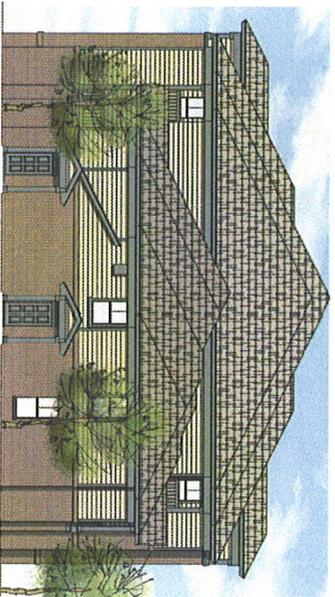
Maple Knoll Apartment Homes
3 Story Building Elevation

Town of Westfield, IN

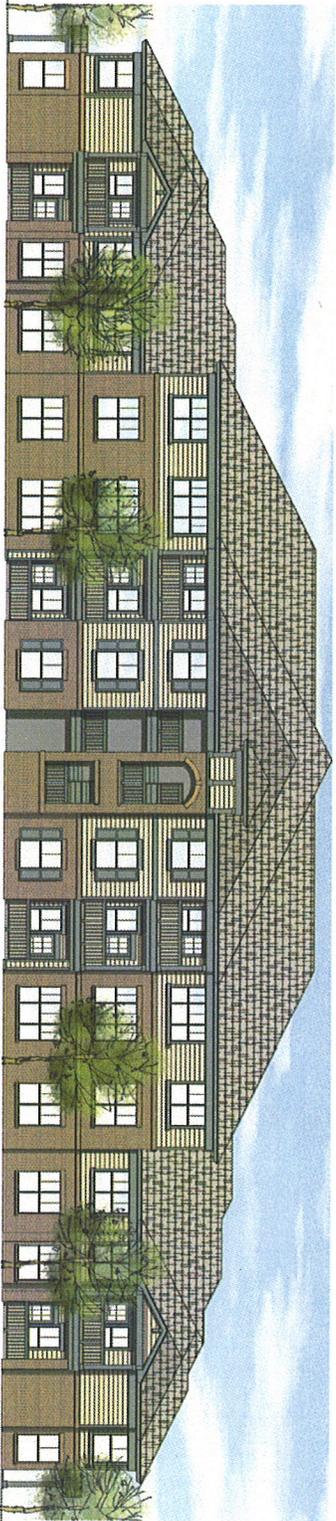




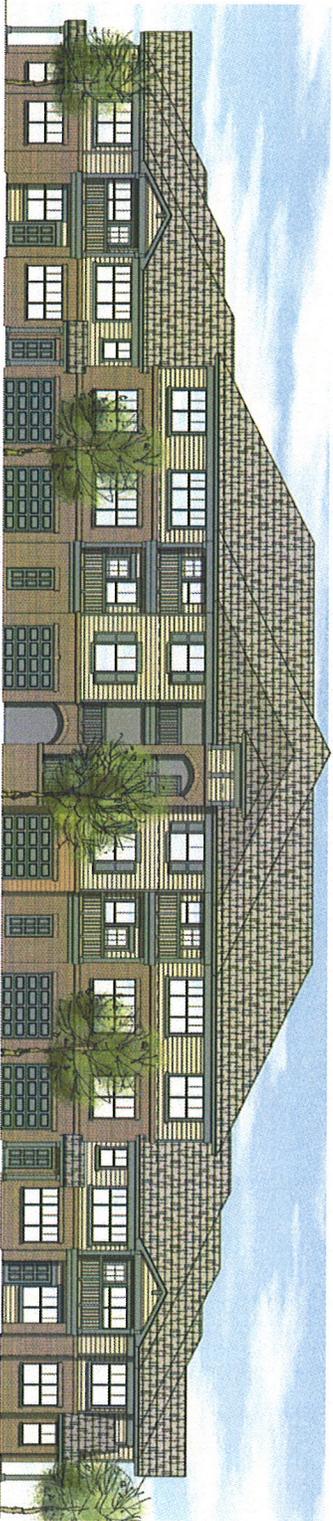
4 BUILDING 'E' STAIR ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING 'E' END ELEVATION
SCALE: 1/8"=1'-0"



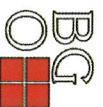
2 BUILDING 'E' REAR ELEVATION
SCALE: 1/8"=1'-0"

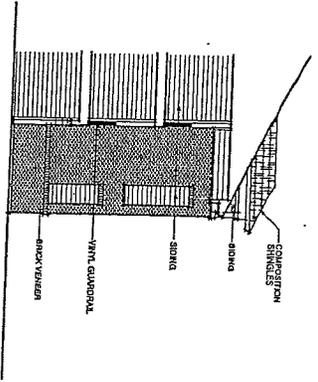


1 BUILDING 'E' FRONT ELEVATION
SCALE: 1/8"=1'-0"

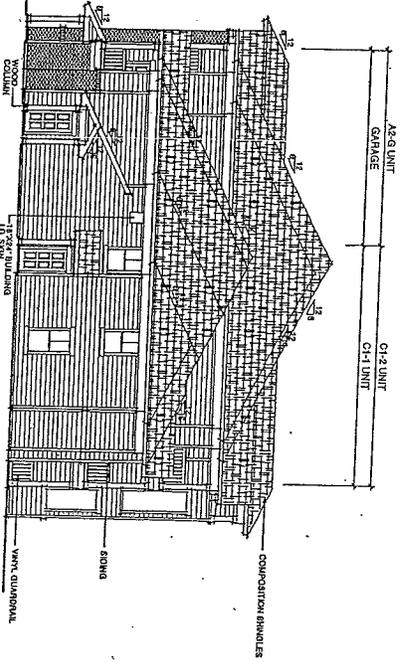
Maple Knoll Apartment Homes
3 Story Building Elevation

Town of Westfield, IN

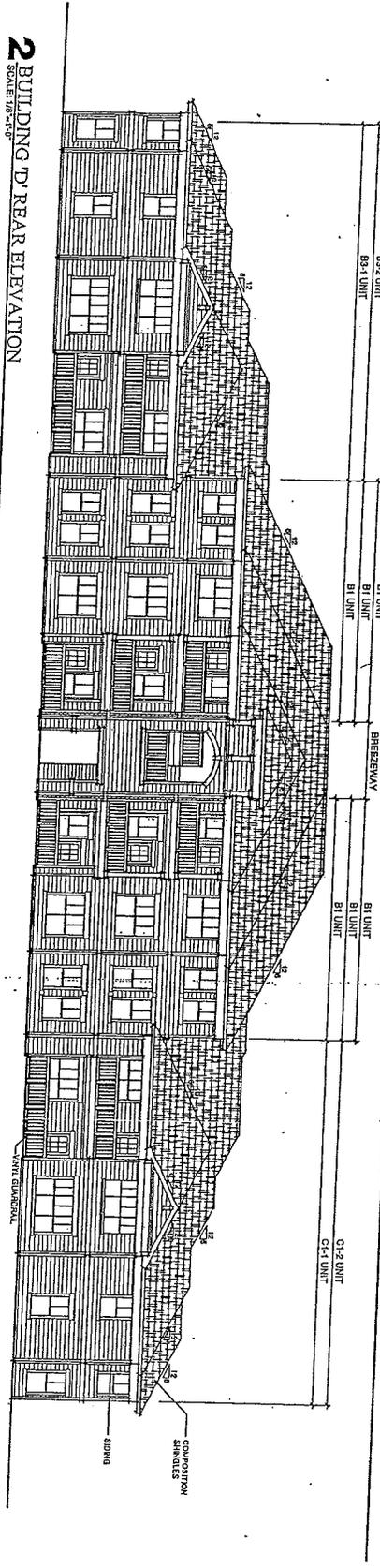




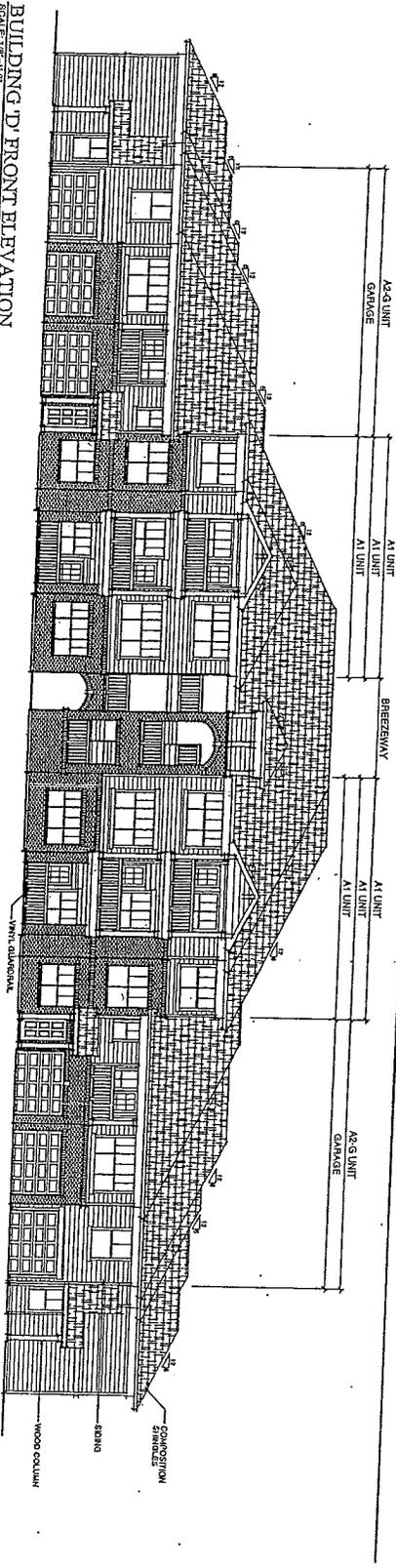
4 BUILDING D, REAR ELEVATION
SCALE: 1/8" = 1'-0"



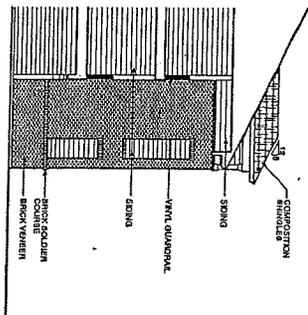
1 BUILDING D, FRONT ELEVATION
SCALE: 1/8" = 1'-0"



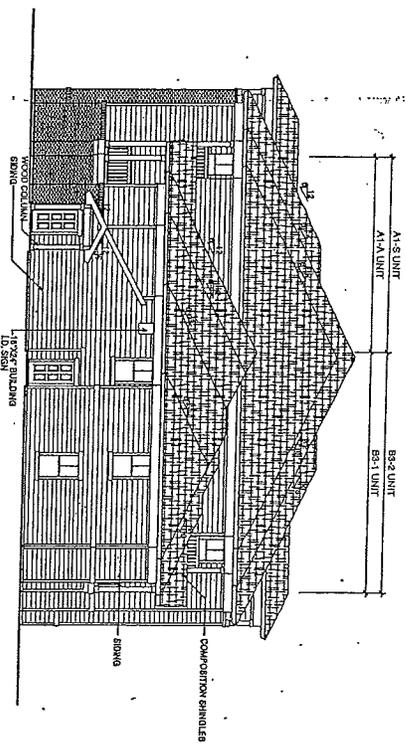
2 BUILDING D, END ELEVATION
SCALE: 1/8" = 1'-0"



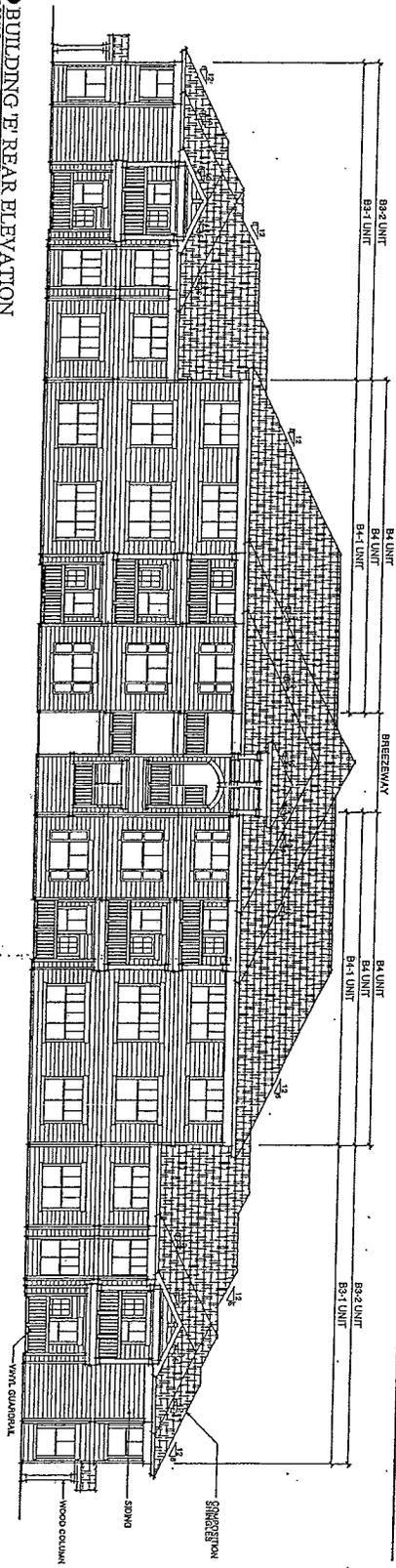
3 BUILDING D, STAIR ELEVATION
SCALE: 1/8" = 1'-0"



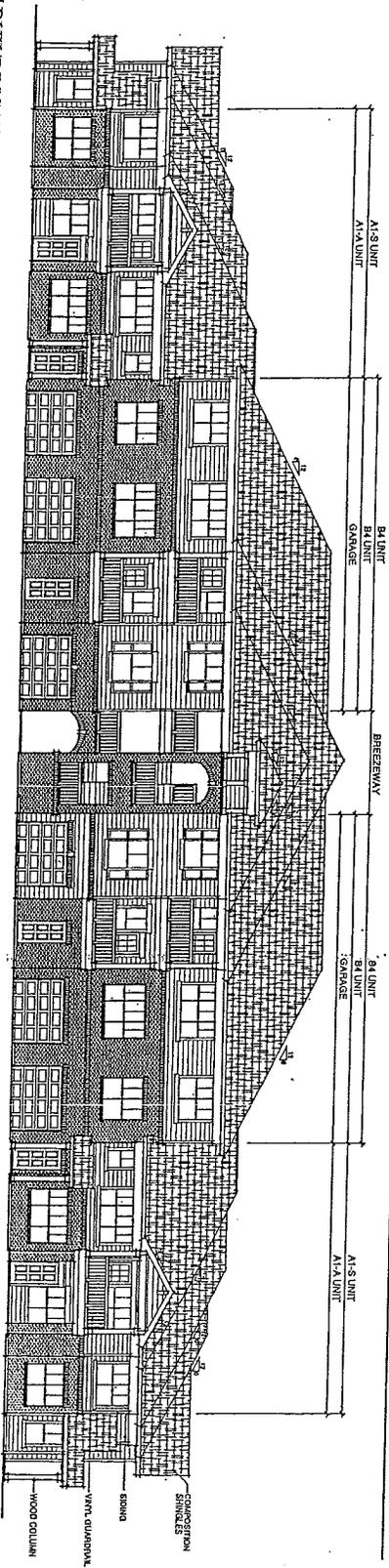
4 BUILDING 'E' STAR ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 'E' END ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 'E' REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING 'E' FRONT ELEVATION
SCALE: 1/8" = 1'-0"