



Westfield City Council Report

Petition Number:	0901-PUD-01
Approximate Address:	1150 West 156 th Street
Petitioner:	Estridge Development Company, Inc.
Representative:	Bryan Stumpf, <i>Estridge Development Company, Inc</i>
Requested Action:	A text amendment to the Centennial North PUD, approximately 118 acres.
Current Zoning Dist:	Centennial North PUD
Requested Zoning Dist:	Centennial North PUD
Approximate Acreage	118
Filing Date	December 2, 2008
Referral Date to APC:	Not Required Amendment to existing PUD
APC Public Hearing:	January 5, 2009 (Workshop) January 20 2009 (Public Hearing)
APC Determination:	January 20, 2009
Associated Cases:	0710-PUD-04
Associated Ordinances:	Ord. 05-10 (Centennial North PUD) & Ord. 06-09 (PUD amendment)
First Reading	February 9, 2009
Public Hearing	Not Required by the City Council
Second Reading	February 23, 2009, if applicable (favorable from APC)
Eligible for Adoption	February 9 th or February 23 rd , if applicable (favorable from APC)
Exhibits:	Technical Advisory Committee (TAC) Letters Petitioner's Exhibits
Staff Planner Assigned:	Kevin Todd, AICP

PETITION HISTORY

The petition for change in zoning was filed by the Petitioner/Representative on December 2, 2008. The petition appeared before the Technical Advisory Committee (TAC) on December 23, 2008. The petition appeared before the APC Workshop on January 5, 2009 and presented testimony at the scheduled public hearing on January 20, 2009 before the APC.

PROCEDURAL

- Requests for changes in zoning and amendments to an existing PUD District are required to undergo a public hearing by State Code and City Ordinance.

- Notification of the January 5, 2009 Workshop Meeting was posted to the City website, City Hall and City Services Lower Level.
- Notification of the January 20, 2009 public hearing was provided to abutting property owners in accordance with the APC Rules of Procedure by January 10, 2009. Notice of the January 20, 2009 public hearing was posted to the City website and at the City Hall, and published in newspapers of general circulation in accordance with the APC Rules of Procedure.
- On January 20, 2009, the APC issued a recommendation to the City Council in regard to the proposed changes in zoning in accordance with IC 36-7-4-602.

INTRODUCTION/ SUMMARY

The requested change in zoning would reduce the current Centennial North PUD (Ord. 06-09) by approximately 40 acres. The proposed amendment would modify the concept plan and reduce the number of housing types that would be available in the PUD from four (4) to two (2). Areas B and D from the existing PUD would be eliminated by the proposed amendment. The amendment would also reduce the overall density of the project from approximately 2.5 units per acre to approximately 2.0 units per acre. The amenity requirements of the existing Centennial North PUD would be eliminated, because Centennial North would become part of the original Centennial HOA and have rights to the existing amenity facilities.

PLANNED UNIT DEVELOPMENT (PUD) STANDARDS

A planned unit development shall:

- **Address the policies included in the Comprehensive Plan specific to the neighborhood in which the PUD is to be located so as to encourage consistency with the community development vision as presented in the Comprehensive Plan.**

The 2007 Comprehensive Plan identifies the subject area as “Existing Suburban Residential” (p. 23). The subject property is currently agricultural in nature. The proposed residential project offering two single-family residential lot types generally complies with the intent of the “Existing Suburban Residential” policies (p. 38). Centennial North PUD protects the existing suburban character of the area and is compatible with the neighboring residential subdivisions of Maple Knoll and Centennial.

- **Use design to provide compatibility between areas of different land uses and development intensities within the PUD.**

The proposed concept plan capitalizes on the presence of two gas pipelines by maximizing open space. Approximately 94 percent of the lots abut common area and open space. The pipelines divide the project into two types of residential lot: the 60-foot lots are generally north of the pipelines, and the 80-foot lots are south of the pipelines.

- **Buffer different types of land uses and development intensities outside of the PUD from those within the PUD so as to minimize any adverse impact which new development may have on existing or zoned development.**

The buffer yard requirements and standards have not been changed from those in the original Centennial North PUD. The majority of the perimeter of the project would be buffered through the use of distance and plantings. The areas not buffered would be along the south project line (along 156th Street) and the area adjacent to the elementary school.

- **Enhance the appearance of neighborhoods by conserving areas of natural beauty, and natural green spaces.**

The property is currently agricultural in nature, and there are no natural areas to conserve. The Centennial North PUD would have approximately 45 percent open space, including the gas pipelines and detention ponds.

- **Promote and protect the environmental integrity of the site and its surroundings and provide suitable design responses to the specific environmental constraints of the site and surrounding area.**

The property is currently agricultural in nature. The concept plan depicts detention ponds that are largely located where there are already low and wet points on the property. The conceptual layout has promoted and protected a man-made environmental constraint – the pipelines. The pipelines have been designed to be included as a central open space for the neighborhoods. The design has also minimized the impact of crossing the pipeline easements by limiting the number of crossings to two.

- **Promote architecture that complements the surroundings.**

Architectural requirements would not differ from the approved architectural standards contained in the original Centennial North PUD. They are compatible with Centennial to the south and Maple Knoll to the north.

- **Counteract urban monotony and congestion on streets.**

The proposed concept plan amendment shows limited access to and from public rights-of-way. The proposed entries into the project, both on 156th Street and on 161st Street align with existing subdivision entries across the street. The proposal depicts stubbed streets to both the east and west. This is good traffic planning because it allows for connectivity in each direction in the future. More connectivity creates more routes for emergency vehicles and more routes for other motorists, thus dispersing the traffic and reducing congestion.

- **The area designated in the PUD map must be a tract of land under single ownership or control. Single control of property under multiple ownerships may be accomplished through the use of enforceable commitments.**

Proof of ownership and consent has been provided for the petition file.

- **The concept plan shall indicate the land uses, development standards, and other applicable specifications which shall govern the development of the PUD site in lieu of the regulations for the non-planned unit development district. If the concept plan is silent on a particular land use, development standard, or other applicable specification, then the standards of the non-planned unit development district or the applicable regulations shall apply.**

The proposed amended concept plan identifies the location of all proposed uses.

- **The PUD concept plan map shall show the general location of all improvements.**

The proposed amended concept plan identifies the general location of all proposed improvements.

- **The PUD must comply with all required improvements, construction standards, design standards, and all other engineering standards contained within the Zoning Ordinance, other pertinent regulations, and adopted standards and policies, except where modification is specifically authorized through the provisions of this Section of the Ordinance.**

Construction of the infrastructure to serve the Centennial North PUD would be consistent with that of any other new construction and would be required to follow all standards and regulations for such, unless otherwise modified at the request of WPWD.

- **The PUD must include a statement of recreational amenities and how they benefit the PUD residents.**

The proposed Centennial North PUD amendment offers passive recreational options, centrally-located sports fields, and a centrally-located multi-use path.

PUBLIC POLICIES

Are the guiding documents by which the City of Westfield consultants with when reviewing all proposed development.

- Comprehensive Plan – February 2007

The subject property abuts right-of-way on 156th Street to the south and 161st Street to the north. The Westfield Thoroughfare Plan roadway classification map identifies 156th Street as a Collector and 161st Street as a Secondary Arterial. The recommended right-of-way for a Collector is fifty (50) foot half right-of-way, and the

recommendation for a Secondary Arterial is sixty (60) foot half right-of-way (p. 5-2). Any right-of-way dedication and subsequent infrastructure improvements that would be required to meet the recommendations of the Thoroughfare Plan would be made at the platting stage.

- Thoroughfare Plan – February 2007
The subject property abuts right-of-way on 156th Street to the south and 161st Street to the north. The Westfield Thoroughfare Plan roadway classification map identifies 156th Street as a Collector and 161st Street as a Secondary Arterial. The recommended right-of-way for a Collector is fifty (50) foot half right-of-way, and the recommendation for a Secondary Arterial is sixty (60) foot half right-of-way (p. 5-2). Any right-of-way dedication and subsequent infrastructure improvements that would be required to meet the recommendations of the Thoroughfare Plan would be made at the platting stage.
- Parks & Recreation Master Plan – December 2007
The Westfield Parks & Recreation Master Plan makes no specific recommendation for the subject site. The proposed greenway trail addresses a main issue identified in the Parks & Recreation Master Plan: “the development of trails and greenways” (p. 13).
- Water & Sewer System-Aug 2005
The Westfield Water Master Plan map depicts the subject site as having water service available along the right-of-way of 161st Street. The Westfield Sewer Master Plan map depicts the subject site as having sewer service available along the right-of-way of 156th Street.
- Annexation
The subject property is within the corporate boundaries of the City of Westfield.
- Wellhead Protection-Ord. 05-31
The subject property is not within a wellhead protection area.

INDIANA CODE

IC 36-7-4-603 states that reasonable regard shall be paid to the following:

- The Comprehensive Plan.
See above, “PUD STANDARDS, Item 1” for discussion.
- Current conditions and the character of current structures and uses.
The subject property is currently being used agriculturally.
- The most desirable use for which the land is adapted.
The Comprehensive Plan established that continuing suburban residential development in this area of the township is desirable. Additionally, the proximity of the site to an anticipated major thoroughfare in the community (161st Street) has the

potential to make the land less-suitable for continued agricultural use. The proposal may represent the most desirable use for the subject site.

- The conservation of property values throughout the jurisdiction.
This proposed change is expected to have neutral or positive impacts on property values within the vicinity and jurisdiction. The project would provide a single-family detached residential neighborhood among similar neighborhoods in the area.
- Responsible growth and development.
The site is contiguous to other developments, and the development of the subject site would be consistent with the principle of contiguous growth. City services such as water, sewer, and emergency services already exist on or near the subject property.

APPLICABLE COMMITMENTS

- None have been submitted as of the date of this report.

RECOMMENDATIONS / ACTIONS

- City Administrative Staff [January 20, 2009]
The Westfield City Staff under their final report to the Westfield-Washington Advisory Plan Commission made a positive recommendation for this petition to amend the Centennial North PUD in accordance with the attached documentation.
- Advisory Plan Commission [January 20, 2009]
The Westfield-Washington Advisory Plan Commission has forwarded a favorable recommendation (Vote of: 6-0) regarding this petition to amend the Centennial North PUD in accordance with the attached documentation.
- Board of Zoning Appeals [N/R]
- City Council
 - First Reading: [February 9, 2009]
 - Public Hearing: [N/R]
 - Second Reading: [February 23, 2009, if applicable]
 - Eligible for Adoption: [February 9, 2009 or February 23, 2009]

Hereby submitted this 29th day of January, 2009.

Robert Smith, *APC President*
Cindy Spoljaric, *APC Vice-President*
Kevin M. Todd, *AICP, Staff Planner*

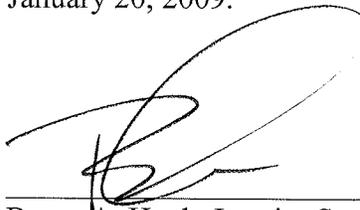
**WESTFIELD-WASHINGTON ADVISORY PLAN COMMISSION
CERTIFICATION**

The Westfield-Washington Advisory Plan Commission met on Tuesday, January 20, 2009, to consider a text amendment to the Centennial North PUD. Notice of public hearing was advertised and noticed and presented to the Advisory Plan Commission. Notice was shown to have been published in a newspaper of general circulation in Hamilton County, Indiana. The proposed PUD is as follows:

0901-PUD-01, 1150 West 156th Street; Estridge Development Company requests a text amendment to the Centennial North PUD, approximately 118 acres.

A motion was made and passed to send a positive recommendation to the City Council to approve 0901-PUD-01.

I, Bruce A. Hauk, being the Interim Secretary of the Westfield-Washington Advisory Plan Commission, do hereby certify that the above is a true and accurate record of the minutes of the meeting of the Westfield-Washington Advisory Plan Commission held on January 20, 2009.



Bruce A. Hauk, Interim Secretary

January 26, 2009

Date

1 Case No. 0901-PUD-01
2 Petitioner Estridge Development Company
3 Description 1150 West 156th Street; Requests a text amendment to the Centennial
4 North PUD, approximately 118 acres.
5

6 Todd reintroduced the petition stating this amendment reduces the size of the project
7 from approximately 160 acres to approximately 118 acres. He further stated the
8 amendment is also reducing the number of housing types from four to two as well as the
9 reduction of potential lots to a maximum of 236 which was 393 dwelling units. Todd
10 stated this will reduce the density from 2.5 units per acre to 2 units per acre.
11 Additionally, he stated that the PUD called for a minimum of 30% open space; 90% of
12 the lots will be situated on common space or open area. He also stated included in this
13 amendment is an 8-foot asphalt trail along the centrally located greenway. Todd further
14 stated that since the workshop meeting, the petitioner has revised the PUD to respond to
15 the City's concerns regarding street width and has added some clarity in the language in
16 order for staff to administer the PUD with more ease.

17
18 Mr. Bryan Stumpf, Estridge Development Company, briefly discussed the petition.
19

20 Discussion followed regarding:

- 21 • Turning radii
- 22 • Mixed uses/products
- 23 • Landscape buffer on the east side, pond near the school, eight foot wide paths
24

25 A Public Hearing opened at 7:41 p.m.
26

27 Mr. Ron Thomas asked questions regarding the PUD Ordinance, the subdivision
28 ordinances, and what is running through the pipelines.
29

30 Mr. Brian Morales questioned the street lighting.
31

32 The Public Hearing closed at 7:50 p.m.
33

34 Stumpf responded to public hearing comments.
35

36 Further discussion followed regarding:

- 37 • Lighting
- 38 • 15% fluctuation in the number of dwellings
39

40 Motion: To send 0901-PUD-01 to the City Council with a positive recommendation with
41 the condition that the street lighting be reviewed.
42

43 Motion by: Spoljaric; Second by: Sanders; Vote: 6-0
44

WESTFIELD PUBLIC WORKS



December 12, 2008

BOARD OF PUBLIC WORKS
J. ANDREW COOK, MAYOR
JOHN B. HART, BOARD MEMBER
MARK HEIRBRANDT, BOARD MEMBER

CHIEF ADMINISTRATIVE OFFICER
BRUCE A. HAUK

DIRECTOR OF PUBLIC WORKS
KURT J. WANNINGER

Estridge Companies
Bryan Stumpf, Director of Community Development
14300 Clay Terrace Boulevard, Ste 200
Carmel, IN 46032

RE: Centennial North PUD Amendment Review

Dear Mr. Stumpf:

The Westfield Public Works Department (WPWD) has reviewed the proposed Amended Planned Unit Development (PUD) for Centennial North Development and offers the following comments.

General

1. The Developer should dedicate, free of charge, all required utility easements, Multi-use path easements and fiber optic easements prior to start of construction.
2. Removal of trees in the existing and future proposed R/W of all arterial and collector streets. Existing trees within the rights of ways of these roads should not be counted toward any buffering requirements. **Tree lawn areas must be a minimum of six (6) feet. Street trees should not be allowed to become an obstacle in the clear area for ADA requirements. If trees are desired between the sidewalk and curb, then an additional subsurface drain will be required in addition to the street storm inlets (please see City of Westfield Standards detail G-5 through G-9).**
3. Clear Zone & Site Distance will be in accordance with INDOT Road Design Manual and City Specifications.

Planned Unit Development Proposal

1. What is the width and material of the Greenway Trail?
2. **Retaining walls, fences and masonry walls are not permitted within the right of way. All facilities that are to be placed within the City right of way prior to the issuance of the final building permit must obtain an Encroachment in the Right of Way permit from the Westfield Public Works Department.**

3. *Street Standards: The street design standards shall be the same as those within Centennial. .*

The existing streets in Centennial are of concern due to fire and health safety. The current widths of Centennial Streets cause the fire trucks to go very slowly; because of the cars parking on the street, sometimes collisions occur. With this type of activity happening on smaller width streets, the streets may be designated with no parking signs when the road is built and the speed limit set.

Present City Construction Standards require all driveways to be a minimum of seventy-five (75) feet from the intersection of two (2) streets. Recently variances have been granted to all drives to be closer than seventy-five (75) feet, but the drive must be located at a point farthest from the intersection.

Sidewalks must be five (5) feet in width. Multi-use asphalt paths that are required to be along all perimeter roads (Ditch, 161st and 156th Streets) must be a minimum of eight (8) feet. Utility easements are not allowed to cross street right of way. Utilities will be allowed within the street right of way. Sidewalks shall be provided on both sides of all roadways. Handicap ramps shall conform to the latest INDOT/ADA requirements for color and tactile edges.

4. **All utility easements are required to be a minimum of 20 feet per current City Construction Standard. Easements for rear yard swales shall be a minimum 30 feet in width or 15 feet from the centerline on each property. (City Standards Stormwater Section 306.01)**

Underdrains are required for all roadways and must meet the City of Westfield Standards and Specifications. As-built drawings must be submitted to the GIS Division of WPWD in the appropriate format for approval. The Digital As-Built submittal requirements can be found on the City's website.

Thank you for your time and consideration of the concerns of the Westfield Department of Public Works associated with this project. Your past and future dedication to the City is truly appreciated. If you have any questions or concerns regarding the information contained in this letter, please contact the WPWD office by telephone at 317-896-5452.

Sincerely,

Donna Luley, Plan Reviewer
Westfield Public Works Department

CC: Greg Hoyes, HCSO
Gary Harling, Fire Department
Kevin Todd, Community Development



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

December 12, 2008

The Estridge Companies
ATTN: Bryan Stumpf
14300 Clay Terrace Boulevard, Suite 200
Carmel, IN 46032
VIA E-MAIL: stumpfb@estridge.net

RE: Centennial North PUD Amendment

Dear Mr. Stumpf:

We have reviewed the revised PUD and concept plan submitted to the Hamilton County Surveyor's Office on December 2, 2008, for this project and have the following comments:

1. The proposed project falls in the incorporated area and MS4 jurisdiction of the City of Westfield.
2. This proposed project DOES NOT fall within a Westfield Wellhead Protection Area.
3. The proposed project falls in the John Edwards Regulated Drain Watershed and the Osborn & Collins #2 (Williams Creek) Regulated Drain Watershed.
4. Along with all other sections of Centennial, this new part of Centennial will be a Hamilton County Regulated Drain Subdivision.
5. HCSO has no new concerns with this proposed PUD revision.
6. Please submit complete construction plans, the secondary plat, and drainage calculations to this office when they become available.

Should you have any questions, I can be reached at 317-776-8495.

Sincerely,

Greg Hoyes, AC, CFM
Plan Reviewer

CC: Donna Luley – Westfield Public Works
Al Salzman – City of Westfield
Dave Lucas – HCHD

*Centennial North
Planned Unit
Development
Amendment*

ORDINANCE NO. 09-03

An ordinance amending the Zoning Ordinance of the City of Westfield, Indiana

January 15, 2009

Centennial North Planned Unit Development Ordinance Amendment

TABLE OF CONTENTS AND SCHEDULE OF EXHIBITS

<u>TABLE OF CONTENTS</u>	<u>PAGE</u>
Section 1. Legislative Intent	3
Section 2. Effect	3
Section 3. Reclassification of Zoning	4
Section 4. Applicability of Zoning Ordinance	4
Section 5. Development Standards	4
Section 6. Architectural Standards	4
Section 7. Street Standards	4
Section 8. Landscape Standards	4
Section 9. Signage Standards	5
Section 10. Conceptual Land Plan and Phasing of Development Plans	5
Section 11. Definitions	6

SCHEDULE OF EXHIBITS

- A. Architectural Standards for Area A – 60’ Wide Lots
- B. Architectural Standards for Area B – 80’ Wide Lots
- C. Development Standards
- D. Conceptual Land Plan, Open Space Concept, Landscape Buffering
- E. Real Estate – Legal Description
- F. Development Plan Review (DPR) provisions of the Zoning Ordinance
- G. Landscaping Standards of the Zoning Ordinance
- H. Lighting Standards of the Zoning Ordinance
- I. Sign Standards of the Zoning Ordinance

ORDINANCE NO. 09-03

An Ordinance of the City of Westfield, Indiana Amending the Centennial North Planned Unit Development Ordinance

This PUD Ordinance Amendment (the “Amendment”) amends the Centennial North Planned Unit Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “Centennial North PUD”), enacted by the City of Westfield under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended;

WITNESSETH:

WHEREAS, the Area Plan Commission of the City of Westfield and Washington Township (the “Commission”) has conducted a public hearing as required by law in regard to the application for a change of zone district designation filed by the Estridge Development Company, Inc. for the real estate containing approximately 118.193 acres more or less, legally described on Exhibit “E” hereto, and located in the City of Westfield, Hamilton County, Indiana (the “Real Estate”);

WHEREAS, the Commission has sent to the Common Council of the City of Westfield, Indiana (the “Common council”) its recommendation adopted on the _____ day of _____, 2009;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMON COUNCIL OF WESTFIELD, INDIANA, that the Zoning Ordinance and the Zone Map (the “Zone Map”) of the Zoning Ordinance are hereby amended as follows:

SECTION 1. LEGISLATIVE INTENT. Having given reasonable regard to (i) the Comprehensive Plan, (ii) current conditions and the character of current structures and uses in the Real Estate, (iii) the most desirable use for which the Real Estate is adapted, (iv) conservation of property values throughout the City of Westfield, and (v) responsible development and growth, it is the intent of the Council in adopting, to:

- A. Encourage flexibility in the development of land in order to promote its most appropriate use;
- B. Improve the design, character, and quality of new development;
- C. Encourage a harmonious and appropriate mixture of uses;
- D. Facilitate the adequate and economic provisions of streets, utilities, and municipal services;
- E. Preserve the natural environmental and scenic features of the Real Estate;
- F. Encourage and provide a mechanism for arranging improvements on-site so as to preserve desirable features; and
- G. Mitigate the problems that may be presented by specific site conditions.

SECTION 2. EFFECT. The development standards created by this Centennial North PUD supersede the development standards of the Zoning Ordinance. Unless otherwise specified

herein, the owner(s) of the Real Estate shall otherwise comply with the terms, conditions, and procedures of PUD Ordinance 02-01 (WC 16.04.190).

SECTION 3. RECLASSIFICATION OF ZONING. The zoning classification of the Real Estate is reclassified on the Zone Map to the Planned Unit Development District classification – Centennial North PUD, the underlying zoning classification of which shall be the SF-3 District of the Zoning Ordinance in force at the time of the enactment of this Centennial North PUD. Permitted uses shall be restricted to single family detached dwellings and their typical accessory uses (e.g. amenity center, playgrounds, etc.) as detailed in the table below. The maximum gross density of the community shall be 2.0 dwelling units per acre.

Area	Use	Approximate Number of Dwelling Units	Approximate Acreage
A	Single Family Detached Residences	112	68.4
B	Single Family Detached Residences	99	49.8
	Totals	211	118.2

Note: The acreages and number of dwelling units listed in the above table may increase or decrease by 15%, but the maximum number of dwelling units shall be 236 dwelling units.

SECTION 4. APPLICABILITY OF ZONING ORDINANCE. Subject only to the following changes and modifications set forth herein and contained in the plans and drawings which are attached hereto as exhibits, all of the provisions of the Zoning Ordinance in force and effect at the time of the enactment of this Centennial North PUD including, without limitation, the DPR Provisions, the Landscaping Standards, the Lighting Standards, and the Sign Standards, shall apply to the Real Estate.

SECTION 5. DEVELOPMENT STANDARDS. The applicable development standards for Area A and Area B are specified in what is attached hereto and incorporated herein by reference as Exhibit C.

SECTION 6. ARCHITECTURAL STANDARDS. The applicable architectural standards for Area A and Area B are specified in what is attached hereto and incorporated herein by reference as Exhibit A and Exhibit B respectfully.

SECTION 7. STREET STANDARDS. The Developer shall not be required to install street lights as required by WC 16.04.240(I). Dusk to dawn lights on the homes and uprights on the entry walls shall be used in lieu of street lights.

SECTION 8. LANDSCAPE STANDARDS.

A. Road Frontage Standards

1. Where the Real Estate abuts primary arterials, secondary arterials, or collector roads not internal to the Real Estate, at least one shade tree or evergreen tree per thirty (30) linear feet of road frontage shall be planted adjacent to road rights-of-way. Trees shall not be

required along detention ponds or within gas pipeline easements. Trees planted along road frontage shall be credited toward overall on-site landscaping requirements set forth in Table 16.06.050-01.

B. Perimeter Landscape Buffering

1. Landscape buffering shall be required along the perimeter of the site as illustrated on the Landscape Buffering Plan in Exhibit D.
2. No perimeter landscape buffer shall be required along detention ponds or along the school property line.
3. Type A Buffer
 - a. The Type A Buffer is intended to physically separate and visually screen the Real Estate from the adjoining residential land uses.
 - b. The buffer shall be a minimum of thirty (30) feet in width and planted with a minimum of one (1) shade tree or evergreen tree and four (4) shrubs per twenty (20) linear feet of buffer. Trees may be substituted in lieu of shrubbery on a 1:3 basis (tree:shrub). At least 50% of the required tree planting shall be evergreen trees.
 - c. Where the buffer abuts existing woodlands at least 50 feet deep, the buffer shall be a minimum of one (1) shade tree or evergreen tree and four (4) shrubs per twenty (20) linear feet of buffer. Trees may be substituted in lieu of shrubbery on a 1:3 basis (tree:shrub). At least 50% of the required tree planting shall be evergreen trees.
 - d. Plantings required to be placed in the Type A buffer shall not be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.
4. Type B Buffer
 - a. The Type B Buffer is intended to soften the visual appearance of the rear yards of homes from adjacent streets external to the Real Estate. This type of buffer is not required by the standard landscape ordinance.
 - b. The buffer shall be a minimum of thirty (30) feet in width and planted with a minimum of one (1) shade tree or evergreen tree per thirty (30) linear feet of buffer. At least 50% of the required planting shall be evergreen trees.
 - c. Plantings required to be placed in the Type B buffer shall be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.

C. Parking Lot Landscaping

1. Accessory parking lots, if any, shall be located at the interior of the site shall not be required to comply with the parking lot landscaping requirements of the Zoning Ordinance.

SECTION 9. SIGNAGE STANDARDS. The Real Estate shall be permitted a maximum of 64 square feet of sign area on one or more monument signs per entrance. The monument sign(s) shall not exceed nine (9) feet in height.

SECTION 10. CONCEPTUAL LAND PLAN AND DEVELOPMENT OF REAL ESTATE. The Development Plan for the Real Estate shall be submitted and approved in one (1) phase pursuant to the Conceptual Land Plan. The Development Plan for the Real Estate may be submitted at any time within three (3) years from the enactment of this Centennial North PUD, without the need for an extension of time from the Plan Commission; however, a Development Plan for the Real Estate may not be submitted more than three (3) years after the date of the enactment of this PUD Ordinance, without an extension of time from the Plan Commission.

SECTION 11. DEFINITIONS. The following definitions shall apply in this Centennial North PUD:

Building Height: The distance measured from the average ground level at the foundation of the residence facing the street to the mean height between the eaves and ridges for gable, hip, and gambrel roofs. Chimneys and other similar structures shall not be included in calculating building heights.

Conceptual Land Plan: Attached hereto and incorporated herein by reference as Exhibit “D” is the Conceptual Land Plan for Area A and Area B.

DPR Provisions: Attached hereto and incorporated herein by reference as Exhibit “F” are the Development Plan Review Provisions (the “DPR Provisions”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Landscape Standards: Attached hereto and incorporated herein by reference as Exhibit “G” are the Landscape Standards (the “Landscape Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Lighting Standards: Attached hereto and incorporated herein by reference as Exhibit “H” are the Lighting Standards (the “Lighting Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Living Space: The square footage of the home exclusive of garages, porches, patios, and basements.

Open Space: Commonly-owned areas within the community including parks, public pathways, water detention areas, screening buffers, etc., but not including water retention ponds and rights-of-way.

Sign Standards: Attached hereto and incorporated herein by reference as Exhibit “I” are the Sign Standards (the “Sign Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Vinyl: Vinyl siding shall have a minimum 0.044 thickness.

External Street: An existing public road abutting the property. The External Streets are 161st Street, 156th Street, and Ditch Road.

ALL OF WHICH IS ORDAINED by the Common Council of the City of Westfield, Indiana, this _____ day of _____, 2009.

COMMON COUNCIL OF THE CITY OF WESTFIELD

Aye

Nay

_____	_____	_____
	John Dippel	
_____	_____	_____
	Steve Hoover	
_____	_____	_____
	Robert L. Horkay	
_____	_____	_____
	Ken Kingshill	
_____	_____	_____
	Bob Smith	
_____	_____	_____
	Tom Smith	
_____	_____	_____
	Rob Stokes	

APPROVED and signed by the Mayor of the City of Westfield, Hamilton County, Indiana, this _____ day of _____, 2009.

J. Andrew Cook, Mayor
City of Westfield, Indiana

ATTEST:

Cindy Gossard, Clerk Treasurer
City of Westfield, Indiana

I hereby certify that ORDINANCE 09-03 was delivered to the Mayor of Westfield
on the _____ day of _____, 2008, at _____ m.

Cindy Gossard, Clerk-Treasurer

I hereby APPROVE ORDINANCE 09-03
this _____ day of _____, 2008.

I hereby VETO ORDINANCE 09-03
this _____ day of _____, 2008.

J. Andrew Cook, Mayor

J. Andrew Cook, Mayor

EXHIBIT A

ARCHITECTURAL STANDARDS FOR AREA A

A. Architectural Standards

1. Design Elements. Design elements and detailing shall be cohesive around the structure. Such design elements shall include, but are not limited to, windows, window placement, trim detailing, and exterior wall materials. Architectural elements shall be used to create visual interest.
2. Roof Form and Overhangs
 - a. Roof form and design will include, where appropriate, varied pitches and ridge levels.
 - b. All residences shall have eaves of a minimum eight inch overhang on the front and rear of the building.
3. Design Objectives. Residences shall be required to meet the following:
 - a. Residences located adjacent to an External Street and located so as to have a rear or side façade oriented to the External Street shall utilize multiple textures (e.g. rough, smooth, striated, etc.) or multiple architectural elements (e.g. quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, architectural breaks, etc.) on each façade visible from the External Street per Section 6e below.
 - b. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
4. Garage Composition and Orientation
 - a. All residences shall have a minimum two car attached garage.
 - b. Front load and side load garages shall be permitted.
5. Typical Lot Landscaping
 - a. Portions of the lot draining to the front shall be sodded. Portions of the lot draining to the rear shall be seeded.
6. Exterior Surfaces
 - a. Permitted exterior surfaces shall include: vinyl, EIFS, stucco, cultured stone, masonry or equivalent, wood, and concrete fiber board, or equivalent materials as determined by the Developer. Vinyl or aluminum clad windows, trim, and soffits shall be permitted.
 - b. Generally, all homes shall have masonry or equivalent, fiber cement siding, EIFS, cultured stone, stucco, or equivalent material on the first floor of the front of the home or equivalent percentages thereof exclusive of windows and doors, unless architectural style dictates otherwise.
 - c. Each residence using vinyl siding on the front façade shall utilize a minimum of three (3) of the following architectural elements on the front façade:

- i. Side load or angled garage
 - ii. Covered front porch (at least six feet (6') in width and four feet (4') in depth;
 - iii. Roofline direction change or roofline height change greater than sixteen inches (16");
 - iv. Wood, concrete fiber board, or equivalent trim at corners, frieze boards, window and door wraps, and as transitional material between two different exterior materials;
 - v. Decorative shutters or other enhanced architectural window treatment on all windows, where feasible (a minimum of three windows with shutters are required to meet this provision);
 - vi. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the front façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - vii. Primary roof pitches of 8/12 or greater and secondary roof pitches of 10/12 or greater.
 - viii. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on a minimum of the first floor or 25% of the total façade, exclusive of windows and doors.
 - ix. Separate overhead door per car for each garage;
 - x. Roof design featuring hip roof, dormers (a minimum of two (2) dormers), a reverse gable, a shed roof accent, two (2) or more roof planes or a covered front entry;
 - xi. Architecturally-treated entranceways (for homes without a front porch);
 - xii. Bay window;
 - xiii. Transom window(s);
 - xiv. Veranda/balcony;
 - xv. Garage doors containing windows;
 - xvi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xvii. Exterior chase fireplace.
- d. Each residence using vinyl siding on the sides of the residence shall utilize a minimum of one of the following architectural elements on each side façade. Side facades that face internal streets on corner lots shall utilize a minimum of two of the following architectural elements on said side façade:
- i. Side load or angled garage;
 - ii. Hip roof;

- iii. Roofline direction change or roofline height change greater than sixteen inches (16”) or two (2) or more roof planes;
 - iv. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - v. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a four foot return on the first floor;
 - vi. Three or more windows on the façade;
 - vii. Side yard landscaping to include at least one tree a minimum of six feet in height at the time of planting and three shrubs three feet in height at time of planting;
 - viii. Bay window;
 - ix. Transom window(s);
 - x. Veranda/balcony;
 - xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xii. Exterior chase fireplace.
 - xiii. Architectural treatment on gable ends; or
 - xiv. Sunroom or screened porch.
- e. Each residence using vinyl siding and located adjacent to an External Street that is oriented as to have the rear and/or side façade of the home predominately visible from an External Street shall have masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on the first floor for rear facades facing External Streets or a minimum of two (2) of the following design features on said façade(s):
- i. Covered open or screened porch (minimum size ten foot by ten foot, includes porches with arbor or similar roof treatments);
 - ii. Shutters on all windows, where feasible (a minimum of three (3) windows with shutters are required);
 - iii. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (includes homes incorporating two (2) or more architectural breaks);
 - iv. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a five foot return on the first floor;

- v. Hip roof (only for side facades facing External Streets) or two (2) or more roof planes;
- vi. Elevated deck with decorative rail a minimum of 12 feet in width;
- vii. Roofline direction change or roofline height change greater than sixteen inches (16”);
- viii. Bay window;
- ix. Transom window(s);
- x. Veranda/balcony;
- xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows);
- xii. Exterior chase fireplace; or
- xiii. Architectural treatment on gable ends.

EXHIBIT B

ARCHITECTURAL STANDARDS FOR AREA B

A. Architectural Standards

1. Design Elements. Design elements and detailing shall be cohesive around the structure. Such design elements shall include, but are not limited to, windows, window placement, trim detailing, and exterior wall materials. Architectural elements shall be used to create visual interest.
2. Roof Form and Overhangs
 - a. Roof form and design will include, where appropriate, varied pitches and ridge levels.
 - b. All residences shall have eaves of a minimum eight inch overhang on the front and rear of the building.
3. Design Objectives. Residences shall be required to meet the following:
 - a. Residences located adjacent to an External Street and located so as to have a rear or side façade oriented to the External Street shall utilize multiple textures (e.g. rough, smooth, striated, etc.) or multiple architectural elements (e.g. quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, architectural breaks, etc.) on each façade visible from the External Street per Section 6e below.
 - b. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
4. Garage Composition and Orientation
 - a. All residences shall have a minimum two car attached garage.
 - b. Front load and side load garages shall be permitted.
5. Typical Lot Landscaping
 - a. Portions of the lot draining to the front shall be sodded. Portions of the lot draining to the rear shall be seeded.
6. Exterior Surfaces
 - a. Permitted exterior surfaces shall include: vinyl, EIFS, stucco, cultured stone, masonry or equivalent, wood, and concrete fiber board, or equivalent materials as determined by the Developer. Vinyl or aluminum clad windows, trim, and soffits shall be permitted.
 - b. Generally, all homes shall have masonry or equivalent, fiber cement siding, EIFS, cultured stone, stucco, or equivalent material on the first floor of the front of the home or equivalent percentages thereof exclusive of windows and doors, unless architectural style dictates otherwise.
 - c. Each residence using vinyl siding on the front façade shall utilize a minimum of three (3) of the following architectural elements on the front façade:

- i. Side load or angled garage
 - ii. Covered front porch (at least six feet (6') in width and four feet (4') in depth;
 - iii. Roofline direction change or roofline height change greater than sixteen inches (16");
 - iv. Wood, concrete fiber board, or equivalent trim at corners, frieze boards, window and door wraps, and as transitional material between two different exterior materials;
 - v. Decorative shutters or other enhanced architectural window treatment on all windows, where feasible (a minimum of three windows with shutters are required to meet this provision);
 - vi. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the front façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - vii. Primary roof pitches of 8/12 or greater and secondary roof pitches of 10/12 or greater.
 - viii. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on a minimum of the first floor or 25% of the total façade, exclusive of windows and doors.
 - ix. Separate overhead door per car for each garage;
 - x. Roof design featuring hip roof, dormers (a minimum of two (2) dormers), a reverse gable, a shed roof accent, two (2) or more roof planes or a covered front entry;
 - xi. Architecturally-treated entranceways (for homes without a front porch);
 - xii. Bay window;
 - xiii. Transom window(s);
 - xiv. Veranda/balcony;
 - xv. Garage doors containing windows;
 - xvi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xvii. Exterior chase fireplace.
- d. Each residence using vinyl siding on the sides of the residence shall utilize a minimum of one of the following architectural elements on each side façade. Side facades that face internal streets on corner lots shall utilize a minimum of two of the following architectural elements on said side façade:
- i. Side load or angled garage;
 - ii. Hip roof;

- iii. Roofline direction change or roofline height change greater than sixteen inches (16”) or two (2) or more roof planes;
 - iv. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - v. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a four foot return on the first floor;
 - vi. Three or more windows on the façade;
 - vii. Side yard landscaping to include at least one tree a minimum of six feet in height at the time of planting and three shrubs three feet in height at time of planting;
 - viii. Bay window;
 - ix. Transom window(s);
 - x. Veranda/balcony;
 - xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xii. Exterior chase fireplace.
 - xiii. Architectural treatment on gable ends; or
 - xiv. Sunroom or screened porch.
- e. Each residence using vinyl siding and located adjacent to an External Street that is oriented as to have the rear and/or side façade of the home predominately visible from an External Street shall have masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on the first floor for rear facades facing External Streets or a minimum of two (2) of the following design features on said façade(s):
- i. Covered open or screened porch (minimum size ten foot by ten foot, includes porches with arbor or similar roof treatments);
 - ii. Shutters on all windows, where feasible (a minimum of three (3) windows with shutters are required);
 - iii. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (includes homes incorporating two (2) or more architectural breaks);
 - iv. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a five foot return on the first floor;

- v. Hip roof (only for side facades facing External Streets) or two (2) or more roof planes;
- vi. Elevated deck with decorative rail a minimum of 12 feet in width;
- vii. Roofline direction change or roofline height change greater than sixteen inches (16”);
- viii. Bay window;
- ix. Transom window(s);
- x. Veranda/balcony;
- xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows);
- xii. Exterior chase fireplace; or
- xiii. Architectural treatment on gable ends.

EXHIBIT C

DEVELOPMENT STANDARDS

Development Standard	Area A	Area B
Minimum Lot Width at Building Line	60'	80'
Minimum Lot Depth	125'	125'
Minimum Lot Frontage on Street	45'	50'
Minimum Lot Area	7,500 s.f.	10,000 s.f.
Minimum Front Yard Setback	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Rear Yard Setback	20'	20'
Maximum Building Height	35'	35'
Minimum Separation between Buildings	12'	12'
Minimum Living Space for One Story Homes	1,340 s.f.	1,600 s.f.
Minimum Living Space for Two Story Homes	1,760 s.f.	2,000 s.f.

EXHIBIT D

CONCEPTUAL LAND PLAN, OPENSOURCE CONCEPT, AND LANDSCAPE BUFFERING

A. Conceptual Land Plan

1. The conceptual land plan for the project contains approximately 211 homes of two different lot widths. The development and architectural standards for the two areas are outlined in Exhibits A through C.
2. The locations of the home collections are shown on the attached Conceptual Land Plan.

B. Open Space Concept

1. To maximize people's connection to the open space, the land plan for the Centennial North PUD is intentionally designed to situate lots adjacent to open space as often as possible. To this end, a minimum of 90% of the homes shall abut common area.
2. The attached Open Space Concept Plan illustrates how the network of open spaces and trails within the community will be structured.
3. A minimum of 30% of the site shall be commonly-owned openspace.
4. No portion of a privately-owned single family detached residential lot shall encroach into the gas pipeline easements.

C. Amenities Concept

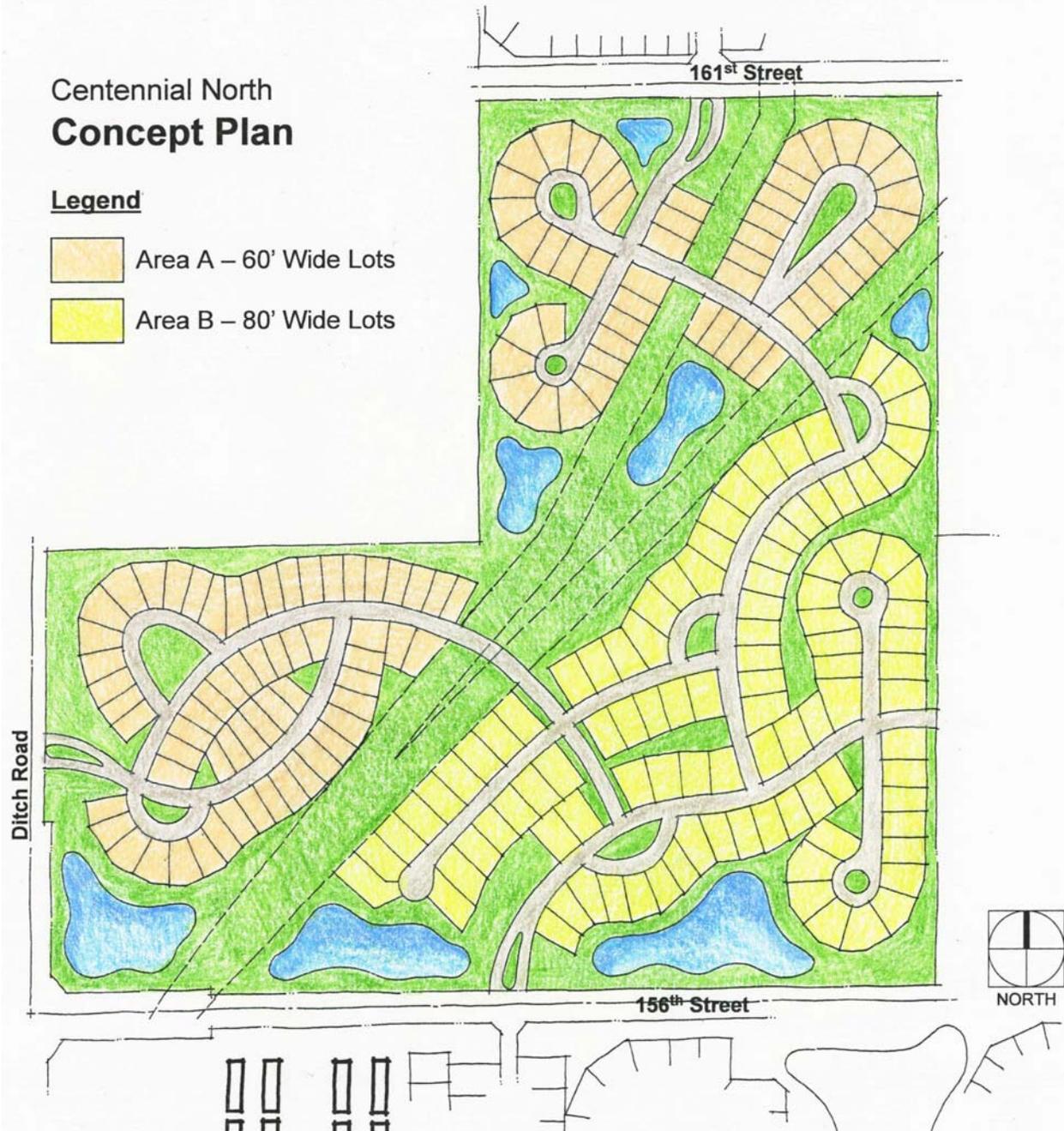
1. The abundance of open space in the community offers active and passive recreation opportunities.
2. Passive recreation opportunities are provided around the ponds, throughout the open space, and in pockets of common area throughout the development.
3. Active recreation will be focused around sports fields located within the greenway that runs through the community.
4. Multi-use paths (eight foot wide asphalt per City standards) will run along the perimeter of 156th Street, 161st Street, and Ditch Road as required by the Thoroughfare Plan. An eight foot wide asphalt path built to city standards will run within the greenway and connect 156th Street to 161st Street.

Concept Plan

Centennial North Concept Plan

Legend

-  Area A – 60' Wide Lots
-  Area B – 80' Wide Lots



Open Space Concept

Legend

- Multi-purpose Path
- Greenway Trail



Landscape Buffering

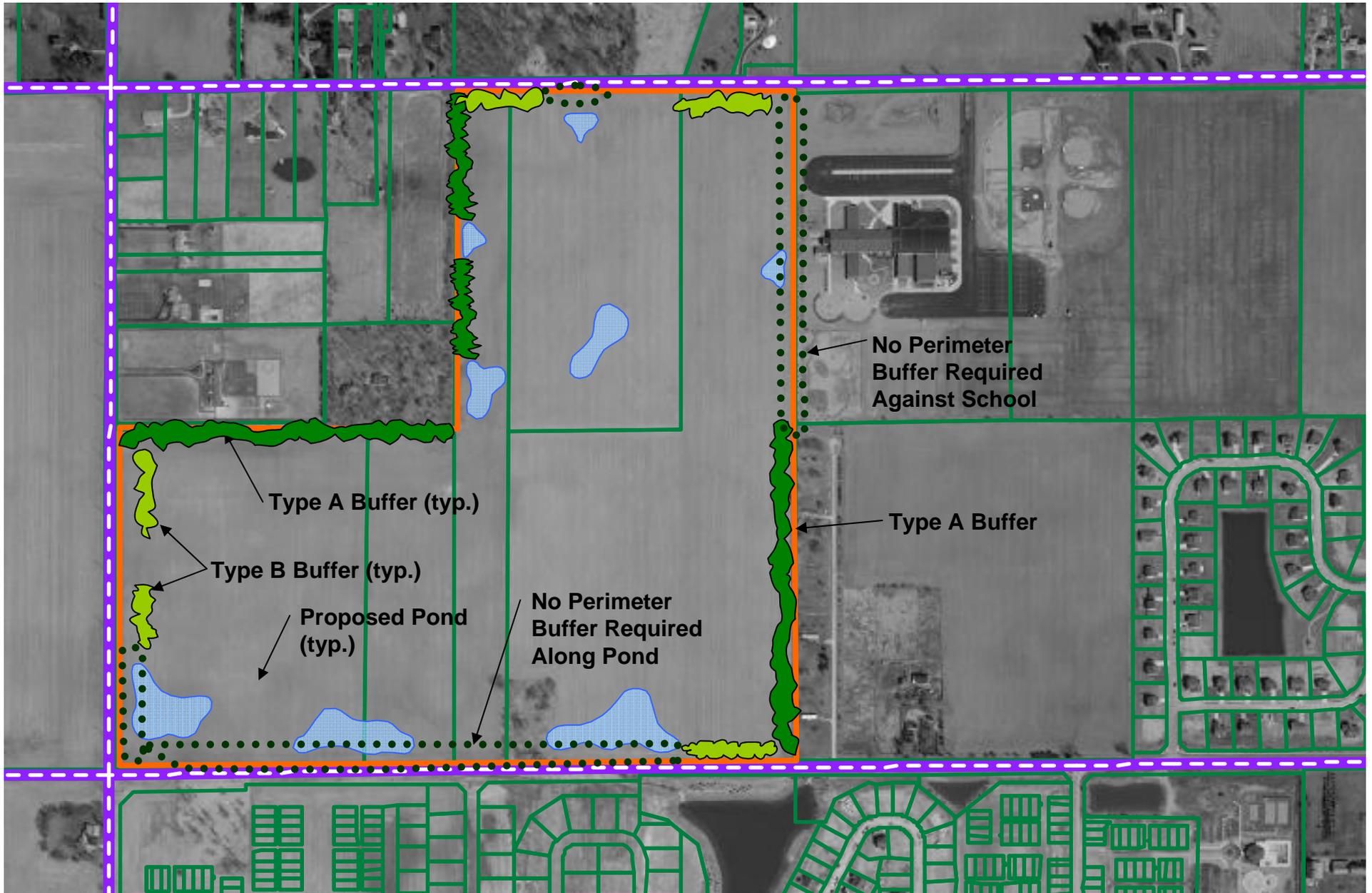


EXHIBIT E

REAL ESTATE – LEGAL DESCRIPTION

OVERALL TRACT (Tract A & B)

Part of the Southwest Quarter of Section 10, Township 18 North, Range 3 East, in Washington Township, Hamilton County, Indiana, being more particularly described as follows:

Beginning at the Southwest corner of said Quarter Section; thence North 00 degrees 09 minutes 24 seconds East (assumed bearing) along the West line of the Southwest Quarter of said Quarter Section 1312.51 feet to the Northwest corner thereof; thence North 89 degrees 22 minutes 30 seconds East along the North line of said Quarter-Quarter Section 1309.47 feet to the Northeast corner thereof, said point also being the Southwest corner of the Northeast Quarter of said Quarter Section; thence North 00 degrees 05 minutes 02 seconds East along the West line of the said Quarter-Quarter Section 1310.70 feet to the Northwest corner thereof; thence North 89 degrees 27 minutes 13 seconds East along the North line of said Quarter-Quarter Section 1307.78 feet to the Northeast corner thereof; thence South 00 degrees 00 minutes 39 seconds West along the East line of said Quarter Section 2617.77 feet to the Southeast corner thereof; thence South 89 degrees 17 minutes 48 seconds West along the South line of said Quarter Section 2622.31 feet to the place of beginning containing 118.193 acres, more or less.

I further certify that there are no building(s) on the above-described real estate and that the buildings located on the adjoining property do not encroach upon said real estate, except as indicated.

This is to certify that the subject property is not located in a Special Flood Hazard Zone A as said tract plots by scale on Community Panel No. 180083 0120 F of the Flood Insurance Rate Maps dated February 19, 2003.

Certified: June 12, 2003


Curtis C. Huff
Registered Land Surveyor
No. 80040348



S:\35909V\Logd\UTS 6-12-03.rtf
June 12, 2003

EXHIBIT F

DEVELOPMENT PLAN REVIEW (DPR) PROVISIONS

This exhibit will contain the Development Plan Review (DPR) Provisions of the Zoning Ordinance, found in Section 16.04.165 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT G

LANDSCAPING STANDARDS

This exhibit will contain the Landscaping Standards of the Zoning Ordinance, found in Sections 16.06.010 et. seq. of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT H

LIGHTING STANDARDS

This exhibit will contain the Lighting Standards of the Zoning Ordinance, found in Sections 16.07.010 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT I
SIGN STANDARDS

This exhibit will contain the Sign Standards of the Zoning Ordinance, found in Sections 16.08.010 through 16.08.090 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

*Centennial North
Planned Unit
Development
Amendment*

ORDINANCE NO. 09-03

An ordinance amending the Zoning Ordinance of the City of Westfield, Indiana

January 15, 2009

Centennial North Planned Unit Development Ordinance Amendment

TABLE OF CONTENTS AND SCHEDULE OF EXHIBITS

<u>TABLE OF CONTENTS</u>	<u>PAGE</u>
Section 1. Legislative Intent	3
Section 2. Effect	3
Section 3. Reclassification of Zoning	4
Section 4. Applicability of Zoning Ordinance	4
Section 5. Development Standards	4
Section 6. Architectural Standards	4
Section 7. Street Standards	4
Section 8. Landscape Standards	4
Section 9. Signage Standards	5
Section 10. Conceptual Land Plan and Phasing of Development Plans	5
Section 11. Definitions	6

SCHEDULE OF EXHIBITS

- A. Architectural Standards for Area A – 60’ Wide Lots
- B. Architectural Standards for Area B – 80’ Wide Lots
- C. Development Standards
- D. Conceptual Land Plan, Open Space Concept, Landscape Buffering
- E. Real Estate – Legal Description
- F. Development Plan Review (DPR) provisions of the Zoning Ordinance
- G. Landscaping Standards of the Zoning Ordinance
- H. Lighting Standards of the Zoning Ordinance
- I. Sign Standards of the Zoning Ordinance

ORDINANCE NO. 09-03

An Ordinance of the City of Westfield, Indiana Amending the Centennial North Planned Unit Development Ordinance

This PUD Ordinance Amendment (the “Amendment”) amends the Centennial North Planned Unit Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “Centennial North PUD”), enacted by the City of Westfield under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended;

WITNESSETH:

WHEREAS, the Area Plan Commission of the City of Westfield and Washington Township (the “Commission”) has conducted a public hearing as required by law in regard to the application for a change of zone district designation filed by the Estridge Development Company, Inc. for the real estate containing approximately 118.193 acres more or less, legally described on Exhibit “E” hereto, and located in the City of Westfield, Hamilton County, Indiana (the “Real Estate”);

WHEREAS, the Commission has sent to the Common Council of the City of Westfield, Indiana (the “Common council”) its recommendation adopted on the _____ day of _____, 2009;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMON COUNCIL OF WESTFIELD, INDIANA, that the Zoning Ordinance and the Zone Map (the “Zone Map”) of the Zoning Ordinance are hereby amended as follows:

SECTION 1. LEGISLATIVE INTENT. Having given reasonable regard to (i) the Comprehensive Plan, (ii) current conditions and the character of current structures and uses in the Real Estate, (iii) the most desirable use for which the Real Estate is adapted, (iv) conservation of property values throughout the City of Westfield, and (v) responsible development and growth, it is the intent of the Council in adopting, to:

- A. Encourage flexibility in the development of land in order to promote its most appropriate use;
- B. Improve the design, character, and quality of new development;
- C. Encourage a harmonious and appropriate mixture of uses;
- D. Facilitate the adequate and economic provisions of streets, utilities, and municipal services;
- E. Preserve the natural environmental and scenic features of the Real Estate;
- F. Encourage and provide a mechanism for arranging improvements on-site so as to preserve desirable features; and
- G. Mitigate the problems that may be presented by specific site conditions.

SECTION 2. EFFECT. The development standards created by this Centennial North PUD supersede the development standards of the Zoning Ordinance. Unless otherwise specified

herein, the owner(s) of the Real Estate shall otherwise comply with the terms, conditions, and procedures of PUD Ordinance 02-01 (WC 16.04.190).

SECTION 3. RECLASSIFICATION OF ZONING. The zoning classification of the Real Estate is reclassified on the Zone Map to the Planned Unit Development District classification – Centennial North PUD, the underlying zoning classification of which shall be the SF-3 District of the Zoning Ordinance in force at the time of the enactment of this Centennial North PUD. Permitted uses shall be restricted to single family detached dwellings and their typical accessory uses (e.g. amenity center, playgrounds, etc.) as detailed in the table below. The maximum gross density of the community shall be 2.0 dwelling units per acre.

Area	Use	Approximate Number of Dwelling Units	Approximate Acreage
A	Single Family Detached Residences	112	68.4
B	Single Family Detached Residences	99	49.8
	Totals	211	118.2

Note: The acreages and number of dwelling units listed in the above table may increase or decrease by 15%, but the maximum number of dwelling units shall be 236 dwelling units.

SECTION 4. APPLICABILITY OF ZONING ORDINANCE. Subject only to the following changes and modifications set forth herein and contained in the plans and drawings which are attached hereto as exhibits, all of the provisions of the Zoning Ordinance in force and effect at the time of the enactment of this Centennial North PUD including, without limitation, the DPR Provisions, the Landscaping Standards, the Lighting Standards, and the Sign Standards, shall apply to the Real Estate.

SECTION 5. DEVELOPMENT STANDARDS. The applicable development standards for Area A and Area B are specified in what is attached hereto and incorporated herein by reference as Exhibit C.

SECTION 6. ARCHITECTURAL STANDARDS. The applicable architectural standards for Area A and Area B are specified in what is attached hereto and incorporated herein by reference as Exhibit A and Exhibit B respectfully.

SECTION 7. STREET STANDARDS. The Developer shall not be required to install street lights as required by WC 16.04.240(I). Dusk to dawn lights on the homes and uplights on the entry walls shall be used in lieu of street lights.

SECTION 8. LANDSCAPE STANDARDS.

A. Road Frontage Standards

1. Where the Real Estate abuts primary arterials, secondary arterials, or collector roads not internal to the Real Estate, at least one shade tree or evergreen tree per thirty (30) linear feet of road frontage shall be planted adjacent to road rights-of-way. Trees shall not be

required along detention ponds or within gas pipeline easements. Trees planted along road frontage shall be credited toward overall on-site landscaping requirements set forth in Table 16.06.050-01.

B. Perimeter Landscape Buffering

1. Landscape buffering shall be required along the perimeter of the site as illustrated on the Landscape Buffering Plan in Exhibit D.
2. No perimeter landscape buffer shall be required along detention ponds or along the school property line.
3. Type A Buffer
 - a. The Type A Buffer is intended to physically separate and visually screen the Real Estate from the adjoining residential land uses.
 - b. The buffer shall be a minimum of thirty (30) feet in width and planted with a minimum of one (1) shade tree or evergreen tree and four (4) shrubs per twenty (20) linear feet of buffer. Trees may be substituted in lieu of shrubbery on a 1:3 basis (tree:shrub). At least 50% of the required tree planting shall be evergreen trees.
 - c. Where the buffer abuts existing woodlands at least 50 feet deep, the buffer shall be a minimum of one (1) shade tree or evergreen tree and four (4) shrubs per twenty (20) linear feet of buffer. Trees may be substituted in lieu of shrubbery on a 1:3 basis (tree:shrub). At least 50% of the required tree planting shall be evergreen trees.
 - d. Plantings required to be placed in the Type A buffer shall not be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.
4. Type B Buffer
 - a. The Type B Buffer is intended to soften the visual appearance of the rear yards of homes from adjacent streets external to the Real Estate. This type of buffer is not required by the standard landscape ordinance.
 - b. The buffer shall be a minimum of thirty (30) feet in width and planted with a minimum of one (1) shade tree or evergreen tree per thirty (30) linear feet of buffer. At least 50% of the required planting shall be evergreen trees.
 - c. Plantings required to be placed in the Type B buffer shall be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.

C. Parking Lot Landscaping

1. Accessory parking lots, if any, shall be located at the interior of the site shall not be required to comply with the parking lot landscaping requirements of the Zoning Ordinance.

SECTION 9. SIGNAGE STANDARDS. The Real Estate shall be permitted a maximum of 64 square feet of sign area on one or more monument signs per entrance. The monument sign(s) shall not exceed nine (9) feet in height.

SECTION 10. CONCEPTUAL LAND PLAN AND DEVELOPMENT OF REAL ESTATE. The Development Plan for the Real Estate shall be submitted and approved in one (1) phase pursuant to the Conceptual Land Plan. The Development Plan for the Real Estate may be submitted at any time within three (3) years from the enactment of this Centennial North PUD, without the need for an extension of time from the Plan Commission; however, a Development Plan for the Real Estate may not be submitted more than three (3) years after the date of the enactment of this PUD Ordinance, without an extension of time from the Plan Commission.

SECTION 11. DEFINITIONS. The following definitions shall apply in this Centennial North PUD:

Building Height: The distance measured from the average ground level at the foundation of the residence facing the street to the mean height between the eaves and ridges for gable, hip, and gambrel roofs. Chimneys and other similar structures shall not be included in calculating building heights.

Conceptual Land Plan: Attached hereto and incorporated herein by reference as Exhibit “D” is the Conceptual Land Plan for Area A and Area B.

DPR Provisions: Attached hereto and incorporated herein by reference as Exhibit “F” are the Development Plan Review Provisions (the “DPR Provisions”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Landscape Standards: Attached hereto and incorporated herein by reference as Exhibit “G” are the Landscape Standards (the “Landscape Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Lighting Standards: Attached hereto and incorporated herein by reference as Exhibit “H” are the Lighting Standards (the “Lighting Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Living Space: The square footage of the home exclusive of garages, porches, patios, and basements.

Open Space: Commonly-owned areas within the community including parks, public pathways, water detention areas, screening buffers, etc., but not including water retention ponds and rights-of-way.

Sign Standards: Attached hereto and incorporated herein by reference as Exhibit “I” are the Sign Standards (the “Sign Standards”) of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Centennial North PUD.

Vinyl: Vinyl siding shall have a minimum 0.044 thickness.

External Street: An existing public road abutting the property. The External Streets are 161st Street, 156th Street, and Ditch Road.

ALL OF WHICH IS ORDAINED by the Common Council of the City of Westfield, Indiana, this _____ day of _____, 2009.

COMMON COUNCIL OF THE CITY OF WESTFIELD

Aye

Nay

_____	_____ John Dippel _____	_____
_____	_____ Steve Hoover _____	_____
_____	_____ Robert L. Horkay _____	_____
_____	_____ Ken Kingshill _____	_____
_____	_____ Bob Smith _____	_____
_____	_____ Tom Smith _____	_____
_____	_____ Rob Stokes _____	_____

APPROVED and signed by the Mayor of the City of Westfield, Hamilton County, Indiana, this _____ day of _____, 2009.

J. Andrew Cook, Mayor
City of Westfield, Indiana

ATTEST:

Cindy Gossard, Clerk Treasurer
City of Westfield, Indiana

I hereby certify that ORDINANCE 09-03 was delivered to the Mayor of Westfield

on the _____ day of _____, 2008, at _____ m.

Cindy Gossard, Clerk-Treasurer

I hereby APPROVE ORDINANCE 09-03

this _____ day of _____, 2008.

J. Andrew Cook, Mayor

I hereby VETO ORDINANCE 09-03

this _____ day of _____, 2008.

J. Andrew Cook, Mayor

EXHIBIT A

ARCHITECTURAL STANDARDS FOR AREA A

A. Architectural Standards

1. Design Elements. Design elements and detailing shall be cohesive around the structure. Such design elements shall include, but are not limited to, windows, window placement, trim detailing, and exterior wall materials. Architectural elements shall be used to create visual interest.
2. Roof Form and Overhangs
 - a. Roof form and design will include, where appropriate, varied pitches and ridge levels.
 - b. All residences shall have eaves of a minimum eight inch overhang on the front and rear of the building.
3. Design Objectives. Residences shall be required to meet the following:
 - a. Residences located adjacent to an External Street and located so as to have a rear or side façade oriented to the External Street shall utilize multiple textures (e.g. rough, smooth, striated, etc.) or multiple architectural elements (e.g. quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, architectural breaks, etc.) on each façade visible from the External Street **per Section 6e** below.
 - b. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
4. Garage Composition and Orientation
 - a. All residences shall have a minimum two car attached garage.
 - b. Front load **and side load** garages shall be permitted.
5. Typical Lot Landscaping
 - a. Portions of the lot draining to the front shall be sodded. Portions of the lot draining to the rear shall be seeded.
6. Exterior Surfaces
 - a. Permitted exterior surfaces shall include: vinyl, EIFS, stucco, cultured stone, masonry or equivalent, wood, and concrete fiber board, or equivalent materials as determined by the Developer. Vinyl or aluminum clad windows, trim, and soffits shall be permitted.
 - b. Generally, all homes shall have masonry or equivalent, **fiber cement siding**, EIFS, cultured stone, stucco, or equivalent material on the first floor of the front of the home or equivalent percentages thereof exclusive of windows and doors, unless architectural style **dictates otherwise**.
 - c. Each residence using vinyl siding on the front façade shall utilize a minimum of three (3) of the following architectural elements on the front façade:

- i. Side load or angled garage
 - ii. Covered front porch (at least six feet (6') in width and four feet (4') in depth;
 - iii. Roofline direction change or roofline height change greater than sixteen inches (16");
 - iv. Wood, concrete fiber board, or equivalent trim at corners, frieze boards, window and door wraps, and as transitional material between two different exterior materials;
 - v. Decorative shutters or other enhanced architectural window treatment on all windows, where feasible (a minimum of three windows with shutters are required to meet this provision);
 - vi. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the front façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - vii. Primary roof pitches of 8/12 or greater and secondary roof pitches of 10/12 or greater.
 - viii. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on a minimum of the first floor or 25% of the total façade, exclusive of windows and doors.
 - ix. Separate overhead door per car for each garage;
 - x. Roof design featuring hip roof, dormers (a minimum of two (2) dormers), a reverse gable, a shed roof accent, two (2) or more roof planes or a covered front entry;
 - xi. Architecturally-treated entranceways (for homes without a front porch);
 - xii. Bay window;
 - xiii. Transom window(s);
 - xiv. Veranda/balcony;
 - xv. Garage doors containing windows; 
 - xvi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xvii. Exterior chase fireplace.
- d. Each residence using vinyl siding on the sides of the residence shall utilize a minimum of one of the following architectural elements on each side façade. Side facades that face internal streets on corner lots shall utilize a minimum of two of the following architectural elements on said side façade:
- i. Side load or angled garage;
 - ii. Hip roof;

- iii. Roofline direction change or roofline height change greater than sixteen inches (16”) or two (2) or more roof planes;
 - iv. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - v. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a four foot return on the first floor;
 - vi. Three or more windows on the façade;
 - vii. Side yard landscaping to include at least one tree a minimum of six feet in height at the time of planting and three shrubs three feet in height at time of planting;
 - viii. Bay window;
 - ix. Transom window(s);
 - x. Veranda/balcony;
 - xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xii. Exterior chase fireplace.
 - xiii. Architectural treatment on gable ends; or
 - xiv. Sunroom or screened porch.
- e. Each residence using vinyl siding and located adjacent to an External Street that is oriented as to have the rear and/or side façade of the home predominately visible from an External Street shall have masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on the first floor for rear facades facing External Streets or a minimum of two (2) of the following design features on said façade(s):
- i. Covered open or screened porch (minimum size ten foot by ten foot, includes porches with arbor or similar roof treatments);
 - ii. Shutters on all windows, where feasible (a minimum of three (3) windows with shutters are required);
 - iii. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (includes homes incorporating two (2) or more architectural breaks);
 - iv. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a five foot return on the first floor;

- v. Hip roof (only for side facades facing External Streets) or two (2) or more roof planes;
- vi. Elevated deck with decorative rail a minimum of 12 feet in width;
- vii. Roofline direction change or roofline height change greater than sixteen inches (16”);
- viii. Bay window;
- ix. Transom window(s);
- x. Veranda/balcony;
- xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows);
- xii. Exterior chase fireplace; or
- xiii. Architectural treatment on gable ends.

EXHIBIT B

ARCHITECTURAL STANDARDS FOR AREA B

A. Architectural Standards

1. Design Elements. Design elements and detailing shall be cohesive around the structure. Such design elements shall include, but are not limited to, windows, window placement, trim detailing, and exterior wall materials. Architectural elements shall be used to create visual interest.
2. Roof Form and Overhangs
 - a. Roof form and design will include, where appropriate, varied pitches and ridge levels.
 - b. All residences shall have eaves of a minimum eight inch overhang on the front and rear of the building.
3. Design Objectives. Residences shall be required to meet the following:
 - a. Residences located adjacent to an External Street and located so as to have a rear or side façade oriented to the External Street shall utilize multiple textures (e.g. rough, smooth, striated, etc.) or multiple architectural elements (e.g. quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, architectural breaks, etc.) on each façade visible from the External Street **per Section 6e below.**
 - b. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
4. Garage Composition and Orientation
 - a. All residences shall have a minimum two car attached garage.
 - b. Front load **and side load** garages shall be permitted.
5. Typical Lot Landscaping
 - a. Portions of the lot draining to the front shall be sodded. Portions of the lot draining to the rear shall be seeded.
6. Exterior Surfaces
 - a. Permitted exterior surfaces shall include: vinyl, EIFS, stucco, cultured stone, masonry or equivalent, wood, and concrete fiber board, or equivalent materials as determined by the Developer. Vinyl or aluminum clad windows, trim, and soffits shall be permitted.
 - b. Generally, all homes shall have masonry or equivalent, **fiber cement siding**, EIFS, cultured stone, stucco, or equivalent material on the first floor of the front of the home or equivalent percentages thereof exclusive of windows and doors, unless architectural style **dictates otherwise.**
 - c. Each residence using vinyl siding on the front façade shall utilize a minimum of three (3) of the following architectural elements on the front façade:

- i. Side load or angled garage
 - ii. Covered front porch (at least six feet (6') in width and four feet (4') in depth;
 - iii. Roofline direction change or roofline height change greater than sixteen inches (16");
 - iv. Wood, concrete fiber board, or equivalent trim at corners, frieze boards, window and door wraps, and as transitional material between two different exterior materials;
 - v. Decorative shutters or other enhanced architectural window treatment on all windows, where feasible (a minimum of three windows with shutters are required to meet this provision);
 - vi. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the front façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - vii. Primary roof pitches of 8/12 or greater and secondary roof pitches of 10/12 or greater.
 - viii. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on a minimum of the first floor or 25% of the total façade, exclusive of windows and doors.
 - ix. Separate overhead door per car for each garage;
 - x. Roof design featuring hip roof, dormers (a minimum of two (2) dormers), a reverse gable, a shed roof accent, two (2) or more roof planes or a covered front entry;
 - xi. Architecturally-treated entranceways (for homes without a front porch);
 - xii. Bay window;
 - xiii. Transom window(s);
 - xiv. Veranda/balcony;
 - xv. Garage doors containing windows; 
 - xvi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xvii. Exterior chase fireplace.
- d. Each residence using vinyl siding on the sides of the residence shall utilize a minimum of one of the following architectural elements on each side façade. Side facades that face internal streets on corner lots shall utilize a minimum of two of the following architectural elements on said side façade:
- i. Side load or angled garage;
 - ii. Hip roof;

- iii. Roofline direction change or roofline height change greater than sixteen inches (16”) or two (2) or more roof planes;
 - iv. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (homes incorporating two (2) or more architectural breaks shall be deemed to have met two of the element requirements);
 - v. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a four foot return on the first floor;
 - vi. Three or more windows on the façade;
 - vii. Side yard landscaping to include at least one tree a minimum of six feet in height at the time of planting and three shrubs three feet in height at time of planting;
 - viii. Bay window;
 - ix. Transom window(s);
 - x. Veranda/balcony;
 - xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows); or
 - xii. Exterior chase fireplace.
 - xiii. Architectural treatment on gable ends; or
 - xiv. Sunroom or screened porch.
- e. Each residence using vinyl siding and located adjacent to an External Street that is oriented as to have the rear and/or side façade of the home predominately visible from an External Street shall have masonry or equivalent, EIFS, stucco, cultured stone or equivalent material on the first floor for rear facades facing External Streets or a minimum of two (2) of the following design features on said façade(s):
- i. Covered open or screened porch (minimum size ten foot by ten foot, includes porches with arbor or similar roof treatments);
 - ii. Shutters on all windows, where feasible (a minimum of three (3) windows with shutters are required);
 - iii. Architectural break, including cantilevered offsets, of at least two (2) feet of relief at two (2) or more points along the side façade elevation, excluding relief for doors and windows and garage (includes homes incorporating two (2) or more architectural breaks);
 - iv. Masonry or equivalent, EIFS, stucco, cultured stone or equivalent material a minimum of 18 inches in height the entire length of the façade or a five foot return on the first floor;

- v. Hip roof (only for side facades facing External Streets) or two (2) or more roof planes;
- vi. Elevated deck with decorative rail a minimum of 12 feet in width;
- vii. Roofline direction change or roofline height change greater than sixteen inches (16”);
- viii. Bay window;
- ix. Transom window(s);
- x. Veranda/balcony;
- xi. Architecturally-enhanced articulated trim moldings (e.g. fipons above windows);
- xii. Exterior chase fireplace; or
- xiii. Architectural treatment on gable ends.

EXHIBIT C

Areas C and D were removed and so were the notes below the table relating to Area D.

DEVELOPMENT STANDARDS

Development Standard	Area A	Area B
Minimum Lot Width at Building Line	60'	80'
Minimum Lot Depth	125'	125'
Minimum Lot Frontage on Street	45'	50'
Minimum Lot Area	7,500 s.f.	10,000 s.f.
Minimum Front Yard Setback	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Rear Yard Setback	20'	20'
Maximum Building Height	35'	35'
Minimum Separation between Buildings	12'	12'
Minimum Living Space for One Story Homes	1,340 s.f.	1,600 s.f.
Minimum Living Space for Two Story Homes	1,760 s.f.	2,000 s.f.

EXHIBIT D

CONCEPTUAL LAND PLAN, OPENSOURCE CONCEPT, AND LANDSCAPE BUFFERING

A. Conceptual Land Plan

1. The conceptual land plan for the project contains approximately 211 homes of two different lot widths. The development and architectural standards for the two areas are outlined in Exhibits A through C.
2. The locations of the home collections are shown on the attached Conceptual Land Plan.

B. Open Space Concept

1. To maximize people's connection to the open space, the land plan for the Centennial North PUD is intentionally designed to situate lots adjacent to open space as often as possible. To this end, a minimum of 90% of the homes shall abut common area.
2. The attached Open Space Concept Plan illustrates how the network of open spaces and trails within the community will be structured.
3. A minimum of 30% of the site shall be commonly-owned openspace.
4. No portion of a privately-owned single family detached residential lot shall encroach into the gas pipeline easements.

C. Amenities Concept

1. The abundance of open space in the community offers active and passive recreation opportunities.
2. Passive recreation opportunities are provided around the ponds, throughout the open space, and in pockets of common area throughout the development.
3. Active recreation will be focused around sports fields located within the greenway that runs through the community.
4. Multi-use paths (eight foot wide asphalt per City standards) will run along the perimeter of 156th Street, 161st Street, and Ditch Road as required by the Thoroughfare Plan. An eight foot wide asphalt path built to city standards will run within the greenway and connect 156th Street to 161st Street.

Concept Plan

Centennial North Concept Plan

Legend

-  Area A – 60' Wide Lots
-  Area B – 80' Wide Lots



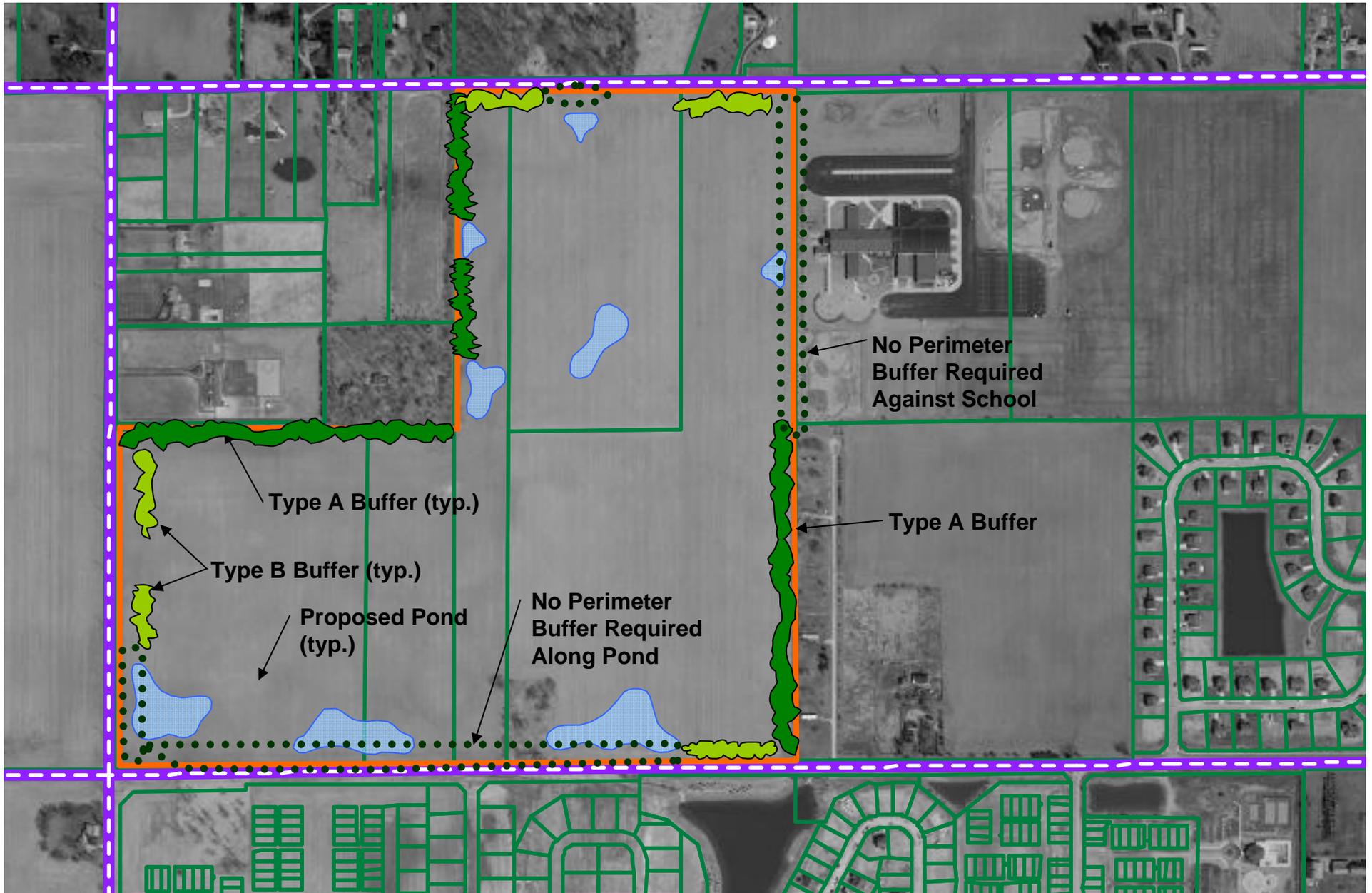
Open Space Concept

Legend

- Multi-purpose Path
- Greenway Trail



Landscape Buffering



The legal description was adjusted to reflect the land shown on the Concept Plan

EXHIBIT E

REAL ESTATE – LEGAL DESCRIPTION

OVERALL TRACT (Tract A & B)

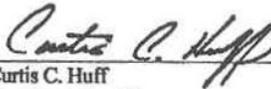
Part of the Southwest Quarter of Section 10, Township 18 North, Range 3 East, in Washington Township, Hamilton County, Indiana, being more particularly described as follows:

Beginning at the Southwest corner of said Quarter Section; thence North 00 degrees 09 minutes 24 seconds East (assumed bearing) along the West line of the Southwest Quarter of said Quarter Section 1312.51 feet to the Northwest corner thereof; thence North 89 degrees 22 minutes 30 seconds East along the North line of said Quarter-Quarter Section 1309.47 feet to the Northeast corner thereof, said point also being the Southwest corner of the Northeast Quarter of said Quarter Section; thence North 00 degrees 05 minutes 02 seconds East along the West line of the said Quarter-Quarter Section 1310.70 feet to the Northwest corner thereof; thence North 89 degrees 27 minutes 13 seconds East along the North line of said Quarter-Quarter Section 1307.78 feet to the Northeast corner thereof; thence South 00 degrees 00 minutes 39 seconds West along the East line of said Quarter Section 2617.77 feet to the Southeast corner thereof; thence South 89 degrees 17 minutes 48 seconds West along the South line of said Quarter Section 2622.31 feet to the place of beginning containing 118.193 acres, more or less.

I further certify that there are no building(s) on the above-described real estate and that the buildings located on the adjoining property do not encroach upon said real estate, except as indicated.

This is to certify that the subject property is not located in a Special Flood Hazard Zone A as said tract plots by scale on Community Panel No. 180083 0120 F of the Flood Insurance Rate Maps dated February 19, 2003.

Certified: June 12, 2003


Curtis C. Huff
Registered Land Surveyor
No. 80040348



S:\35909V\Logd\UTS 6-12-03.rtf
June 12, 2003

EXHIBIT F

DEVELOPMENT PLAN REVIEW (DPR) PROVISIONS

This exhibit will contain the Development Plan Review (DPR) Provisions of the Zoning Ordinance, found in Section 16.04.165 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT G

LANDSCAPING STANDARDS

This exhibit will contain the Landscaping Standards of the Zoning Ordinance, found in Sections 16.06.010 et. seq. of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT H

LIGHTING STANDARDS

This exhibit will contain the Lighting Standards of the Zoning Ordinance, found in Sections 16.07.010 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.

EXHIBIT I

SIGN STANDARDS

This exhibit will contain the Sign Standards of the Zoning Ordinance, found in Sections 16.08.010 through 16.08.090 of the Zoning Ordinance, in effect on the date of the enactment of this Centennial North PUD Ordinance.