



PRINT DATE: 1/29/15 PLOT SCALE: 1:2,5849 EDITED BY: RWH/DHORST DRAWING FILE: P:\2014\01793\0\_DRAWINGS\CIVIL\CONSTRUCTION\_DOCUMENTS\02014\_01793.CE.C002.GNDWG

**GENERAL NOTES**

- ALL WORK TO CONFORM TO STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL KEEP ADJOINING PROPERTIES CLEAN OF CONSTRUCTION DEBRIS AND CONSTRUCTION TRAFFIC AT ALL TIMES.
- THE CONTRACTOR SHALL PROTECT AND NOT DESTROY THE BASE SURVEY CONTROL POINTS DURING DEMOLITION AND CONSTRUCTION.
- ALL UTILITY INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR. CONTACT ENGINEER IMMEDIATELY IF ANY VARIATION EXISTS.
- MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.

**SITE NOTES**

- ALL PARKING STRIPES ARE TO BE 4" PAINTED (WHITE). ADA ACCESSIBLE PARKING STRIPES SHALL BE 4" PAINTED (BLUE).
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE.
- ALL DIMENSIONS ARE PARALLEL WITH, OR PERPENDICULAR TO BASE LINES, PROPERTY LINES OR BUILDING LINES, UNLESS OTHERWISE NOTED.
- PROVIDE SMOOTH TRANSITIONS FROM NEW AREAS TO EXISTING FEATURES AS NECESSARY.
- RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE THE EXISTING PAVEMENT OR LAWNS ARE DAMAGED DURING CONSTRUCTION FROM TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS AFTER CONSTRUCTION WORK IS COMPLETE.
- EXISTING PAVEMENT TO BE SAW CUT IN ALL AREAS WHERE INDICATED NEW PAVEMENT TO JOIN EXISTING.
- THE EDGE OF THE EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
- CONCRETE SAW CUTTING SHALL BE DONE AS SOON AS POURED CONCRETE HAS CURED AND CAN SUPPORT WEIGHT. PROVIDE A NEAT CUT WHICH IS TRUE IN ALIGNMENT.
- ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
- RADIAL JOINTS SHALL BE NO SHORTER THAN 1.5'.
- CONTRACTOR SHALL USE A THICKENED EXPANSION JOINT AROUND THE PERIMETER OF ANY BLOCK OUT IN THE CONCRETE PAVING.
- ALL CONSTRUCTION JOINTS SHALL BE SAWN, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH THE APPROPRIATE SEALANT ACCORDING TO MANUFACTURES DIRECTIONS.
- ALL MATERIALS TO BE IN ACCORDANCE WITH LOCAL DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS RELATIVE TO MATERIAL, MIX, PLACEMENT AND WORKMANSHIP.
- ALL SIDEWALKS SHALL COMPLY WITH ADA STANDARDS. MAXIMUM CROSS SLOPE OF 1:20 AND MAXIMUM LONGITUDINAL SLOPE OF 1:20.
- CHAMFER ALL ENDS OF CURBS.

**DEMOLITION NOTES**

- CLEAR AND GRUB ALL TREES AND VEGETATION NECESSARY FOR CONSTRUCTION.
- PROTECT TREES TO REMAIN DURING CONSTRUCTION.
- PLANT MATERIALS TO REMAIN, TO BE PROTECTED BY TREE FENCE WHICH ENCOMPASSES IT'S DRIP LINE. NO CONSTRUCTION EQUIPMENT, MATERIALS OR DEBRIS SHALL BE LOCATED WITHIN TREE PROTECTION BOUNDARIES. NO DEMOLITION CAN OCCUR UNTIL TREE PROTECTION IS APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, FENCES, CONCRETE, ASPHALT PAVEMENT AND OTHER MISCELLANEOUS APPURTENANCES OFF SITE, UNLESS NOTED TO REMAIN ON THE CONTRACT DRAWINGS.
- THE USE OF ANY TYPE OF EXPLOSIVES WILL NOT BE PERMITTED.
- CONDUCT DEMOLITION AND CONSTRUCTION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT OCCUPIED FACILITIES.
- DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY GOVERNING AUTHORITIES.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION AND CONSTRUCTION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT STRUCTURES AND OTHER FACILITIES AND INJURY TO PERSONS.
- PROMPTLY REPAIR DAMAGE TO ADJACENT FACILITIES CAUSED BY DEMOLITION AND CONSTRUCTION OPERATIONS.
- ALL UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND CAPPED AT THE NEAREST CONNECTION POINT.
- NO ON-SITE BURNING IS PERMITTED.
- CONTRACTOR SHALL USE MEASURES TO CONTROL DUST AT ALL TIMES.
- DEMOLITION ITEMS INCLUDE BUT ARE NOT LIMITED TO DEMOLITION ITEMS INDICATED ON THIS PLAN. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE OR RELOCATE ITEMS WHICH INTERFERE WITH NEW CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING DEMOLITION.

**GRADING NOTES**

- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH), SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION. SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATIONS OF UTILITIES FOR THEIR OWN WORK.
- CONTRACTOR TO ADJUST ALL EXISTING SURFACE INFRASTRUCTURE (HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEM, UTILITY PEDESTALS, ETC.) AS REQUIRED TO MEET PROPOSED GRADE AT HIS/HER OWN COST.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL SHALL BE PERFORMED BY A LOADED TANDEM PNEUMATIC TIRE DUMP TRUCK MINIMUM GROSS VEHICLE WEIGHT OF 22 TONS. THE TIRES SHALL BE OPERATED AT INFLATION PRESSURES BETWEEN 70-80 PSI UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. THE TIRES SHALL BE INFLATED WITH AIR ONLY, NO LIQUID SHALL BE USED. THE PROOFROLL SHALL BE COMPLETED UNDER INSPECTION OF SOILS FIRM TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS. AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, STANDING WATER CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS OR CONTOURS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH SELECT GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- CONTRACTOR TO PERPETUATE ANY SUBSURFACE DRAIN TILES OR PIPES ENCOUNTERED DURING CONSTRUCTION AND PROVIDE POSITIVE OUTLET TO DOWNSTREAM RECEIVING SYSTEM. CONTRACTOR TO NOTIFY THE ENGINEER WITH ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- DUE TO SITE CONSTRAINTS, THE EARTHWORK FOR THE SITE AS DESIGNED MAY OR MAY NOT BALANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE EXISTING CONDITIONS AND INCLUDE IN THEIR BID ALL EARTHWORK COSTS INCLUDING IMPORTS AND/OR EXPORTS NECESSARY TO MAKE THE SITE BALANCE.
- CONTRACTOR TO STABILIZE EXPOSED EARTH AS INDICATED BY THE STORMWATER POLLUTION PREVENTION PLAN OR GOVERNING AUTHORITY.

**UTILITY NOTES**

- SITE UTILITIES SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH), SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION. SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATIONS OF UTILITIES FOR THEIR OWN WORK.
- CONTRACTOR TO ADJUST ALL EXISTING SURFACE INFRASTRUCTURE (HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEM, UTILITY PEDESTALS, ETC.) AS REQUIRED TO MEET PROPOSED GRADE.
- ALL UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS FOR EACH UTILITY AGENCY HAVING JURISDICTION.
- TRENCHES FOR ALL UTILITY LINES SHALL BE BACKFILLED COMPLETELY WITH SELECT GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND PROVIDE REQUIRED MINIMUM DEPTHS OF COVER. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL BENDS WITH THRUST BLOCKS REQUIRED TO ASSURE PROPER INSTALLATION OF WATER MAINS AND LATERALS.
- IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM DRAINS, THE CONTRACTOR SHALL EITHER ADJUST THE WATER LINE DOWNWARD IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATIONS ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED OR THE CONTRACTOR SHALL PROVIDE APPROPRIATE BENDS AND CROSSINGS.
- ALL COORDINATES AND DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.
- ALL STORM SEWER AND ROOF DRAIN PIPES THAT OUTLET TO GROUND SURFACE SHALL BE CONSTRUCTED WITH A CONCRETE END SECTION AND GABION BASKET ARMOR.

**EROSION CONTROL NOTES**

- CONTRACTOR SHALL INSTALL ALL PERIMETER SILT FENCE AND SEDIMENT CONTROL BARRIERS PRIOR TO CLEARING AND GRADING.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION OR CITY OF WESTFIELD INSPECTOR.
- LAND ALTERATION WHICH STRIPS THE LAND OF VEGETATION, INCLUDING RE-GRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION.
- SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN RECEIVING WATER. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE.
- WASTE AND UNUSED BUILDING MATERIALS SHALL NOT BE ALLOWED TO BE CARRIED FROM THE SITE BY STORM WATER RUNOFF. PROPER DISPOSAL OF ALL WASTE AND UNUSED BUILDING MATERIALS IS REQUIRED.
- SEDIMENT BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS SHALL BE MINIMIZED. CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE SITE FOR DISPOSAL.
- SOIL WHICH HAS ACCUMULATED NEXT TO EROSION CONTROL DEVICES SHALL BE COLLECTED AND RE-DISTRIBUTED ON SITE AFTER EACH RAINFALL EVENT, AND AT LEAST ONCE A WEEK.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE SITE IS NOT LOCATED WITHIN ANY FLOODPLAIN, FLOODWAY OR FLOODWAY FRINGE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR HAMILTON COUNTY, IN, MAP NUMBER 18057C0120G, DATED NOVEMBER 19, 2014.
- SCHEDULE OF EARTHWORK ACTIVITIES:
  - THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. THE AREA SHALL BE STABILIZED AS SOON AS POSSIBLE. UN-VEGETATED AREAS THAT ARE SCHEDULED OR LIKELY TO BE LEFT INACTIVE FOR FIFTEEN (15) DAYS OR MORE MUST BE TEMPORARILY OR PERMANENTLY STABILIZED WITH MEASURES APPROPRIATE FOR THE SEASON TO MINIMIZE EROSION POTENTIAL. ALTERNATIVE MEASURES TO SITE STABILIZATION ARE ACCEPTABLE IF THE PROJECT SITE OWNER OR THEIR REPRESENTATIVE CAN DEMONSTRATE THEY HAVE IMPLEMENTED EROSION AND SEDIMENT CONTROL MEASURES ADEQUATE TO PREVENT SEDIMENT DISCHARGE.
  - TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. STOCKPILE TOPSOIL AT ALL OTHER TIMES OF THE YEAR. PERMANENT AND FINAL VEGETATION AND STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING OR AS SOON AS POSSIBLE.
  - INSTALL INLET PROTECTION AROUND INLETS IMMEDIATELY UPON COMPLETION OF THE STRUCTURE. REMOVE INLET PROTECTION FOR PAVING OPERATION. REPLACE INLET PROTECTION AFTER PAVING IS COMPLETE. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON SEEDED AREAS BEHIND THE CURB.
- PRIOR TO COMPLETION OF THE PROJECT, CONTRACTOR SHALL CLEAN OUT ALL STORM DRAINAGE STRUCTURES AND RESTORE ALL DITCHES AND PONDS TO DESIGNED GRADES.
- CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROL BARRIERS ONCE CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED.

**NOTE:**  
 1. ALL WORK TO CONFORM TO CITY OF WESTFIELD STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.  
 2. ALL WATER AND SANITARY WORK TO CONFORM TO CITIZENS WESTFIELD STANDARDS.

**NOTES:**  
 1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.  
 2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

**CAUTION !!**  
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE ( including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others ) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.  
 \*811\* OR 1-800-382-5544  
 CALL TOLL FREE  
 - INDIANA UNDERGROUND -

GRAND PARK  
FIELDHOUSE, LLC



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 www.structurepoint.com

GRAND PARK  
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186TH ST & KINSEY AVE  
WESTFIELD, IN

APPROVAL PENDING  
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CERTIFIED BY

ISSUANCE INDEX	
DATE:	01/30/2015
PROJECT PHASE:	DEVELOPMENT PLANS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

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**GENERAL  
NOTES**

**C002**



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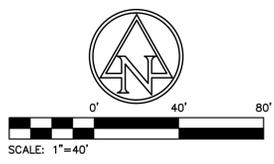
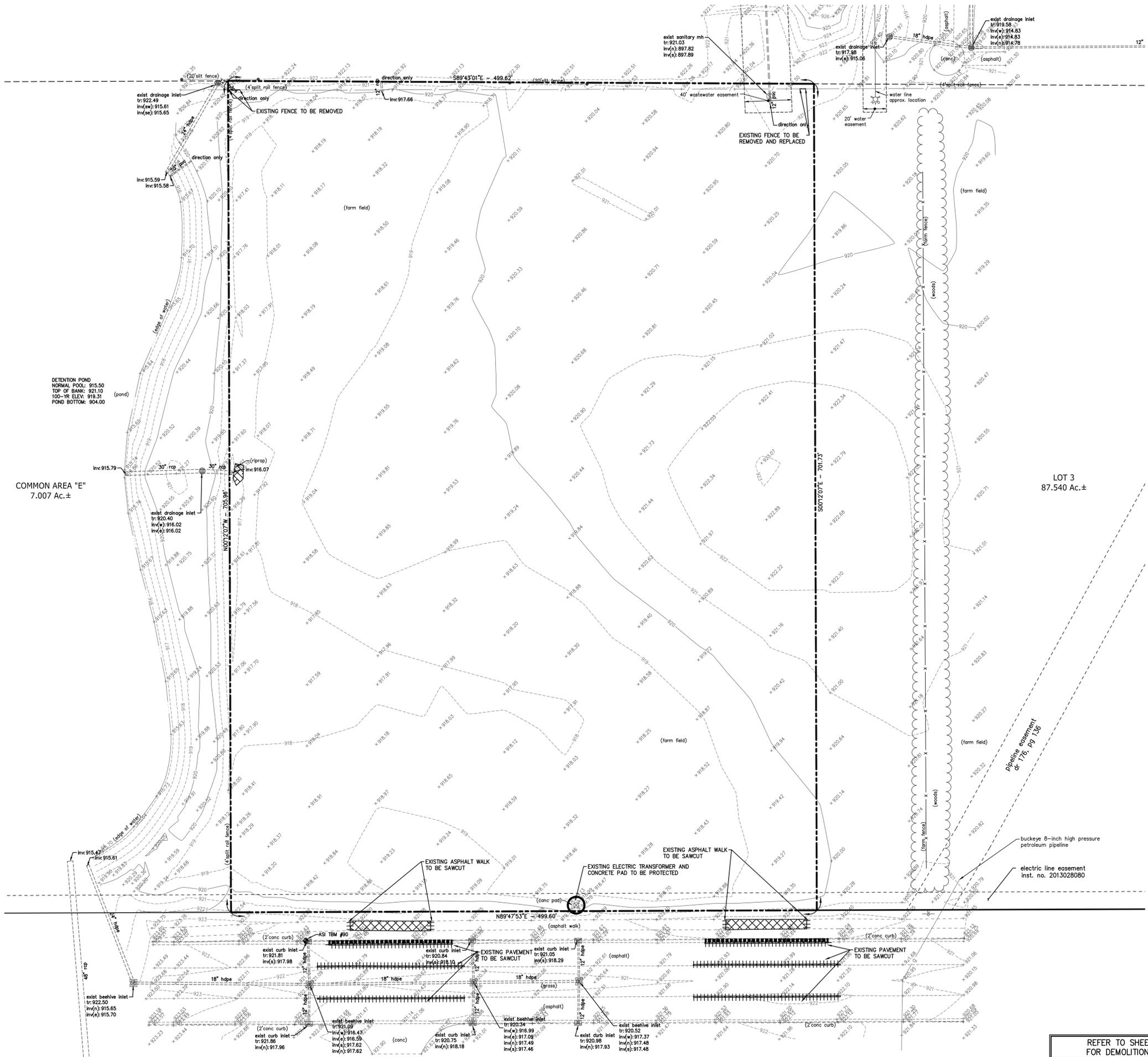
REVISION SCHEDULE

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EXISTING  
TOPOGRAPHY/  
DEMOLITION PLAN

C100



EXISTING LEGEND

- BEEHIVE INLET
- CURB INLET
- FIRE HYDRANT
- GAS MARKER SIGN
- INLET
- POST
- SANITARY MANHOLE
- TEMPORARY BENCH MARK
- TRANSFORMER
- BURIED GAS LINE
- TOP OF RIM ELEVATION
- INVERT ELEVATION
- PLASTIC PIPE
- REINFORCED CONCRETE PIPE
- PLASTIC PIPE

DEMOLITION LEGEND

- ASPHALT PATH TO BE REMOVED
- ASPHALT PAVEMENT TO BE REMOVED
- EXISTING RAP-RAP TO BE REMOVED
- CONCRETE CURB TO BE REMOVED
- UTILITIES TO BE REMOVED
- PAVEMENT TO BE SAWCUT
- FENCE TO BE REMOVED
- OBJECT TO BE PROTECTED

**BENCH INFORMATION (NAVD 88)**

TBM #51  
RR SPIKE 2'UP IN WEST SIDE 24" TREE  
ALONG NORTH/SOUTH FENCE ROW NORTH  
OF SECTION LINE.  
ELEV = 916.63

TBM #52  
RR SPIKE 2'UP IN SOUTH SIDE 12" TREE IN  
NORTH/SOUTH FENCE LINE ON NORTH SIDE  
OF SECTION LINE.  
ELEV = 924.88

TBM #53  
RR SPIKE IN NORTH FACE UTILITY POLE  
#253-524; ±375' WEST OF KINSEY AVE.  
AND ±50' SOUTH OF 186TH STREET.  
ELEV = 926.43

TBM #90  
CUT SQUARE AT NW CORNER OF INLET;  
±37' NORTH OF E 186TH STREET AND  
±65' EAST OF N/S SPLIT RAIL FENCE  
(BLACK).  
ELEV = 922.34

- GAS LINE NOTES:**
- CONTRACTOR SHALL NOTIFY VECTREN PIPELINE AND BUCKEYE PARTNERS L.P. PRIOR TO COMMENCING ANY WORK WITHIN 100' OF PIPELINE EASEMENTS.
  - CONTRACTOR SHALL CONTACT VECTREN PIPELINE AND BUCKEYE PARTNERS L.P. TO VERIFY THE DEPTH OF THE EXISTING PIPELINES AND NOTIFY ENGINEER ABOUT FINDINGS PRIOR TO COMMENCING ANY CONSTRUCTION
  - ALL PIPELINE UTILITY CROSSINGS AND TEMPORARY TRAFFIC CROSSINGS DURING CONSTRUCTION SHALL BE COORDINATED WITH VECTREN PIPELINE AND BUCKEYE PARTNERS L.P. AND CONSTRUCTION IN ACCORDANCE WITH THEIR GUIDELINES FOR CROSSING GAS PIPELINES.

- NOTES:**
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

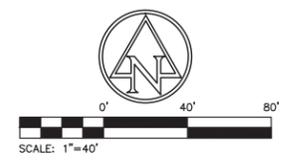
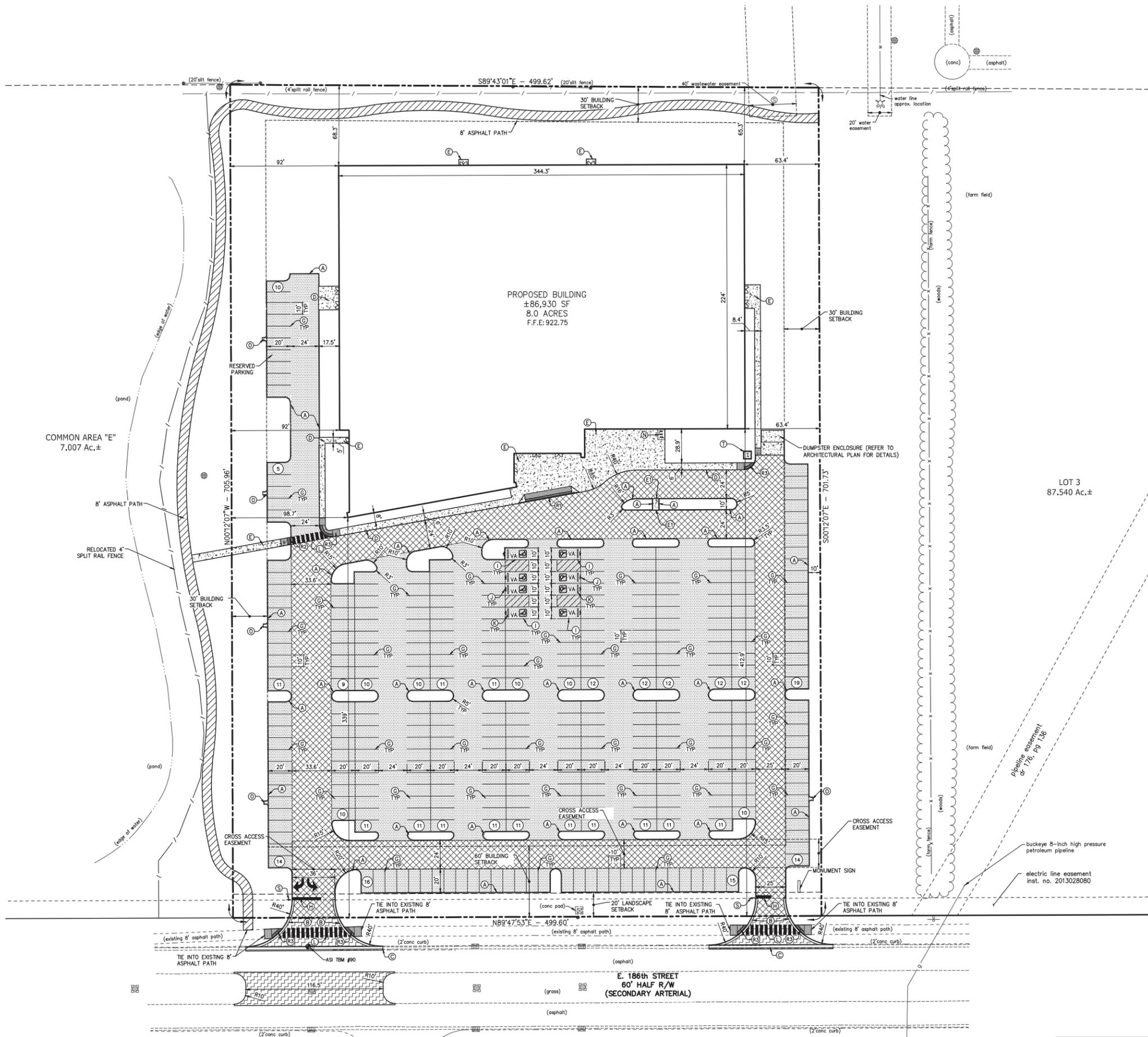
**CAUTION !!**  
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE ( including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others ) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

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REFER TO SHEET C002  
FOR DEMOLITION NOTES

PRINT DATE: 1/29/15 PLOT SCALE: 1:2,584.9 EDIT DATE: 1/30/2015 2:38:44 PM EDITED BY: ATRACEY DRAWING FILE: P:\2014\01793\0. DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\02014.01793.CE.C100.XTDMF.DWG

PRINT DATE: 3/11/15 PLOT SCALE: 1"=40' EDIT DATE: 3/11/2015 2:25:29 PM EDITED BY: ATAYLOR DRAWING FILE: P:\2014\01793\0 - DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\02014.01793.CE.C200.SP.DWG



- EXISTING LEGEND**
- BEEHIVE INLET
  - CURB INLET
  - FIRE HYDRANT
  - GAS MARKER SIGN
  - INLET
  - POST
  - SANITARY MANHOLE
  - TEMPORARY BENCH MARK
  - TRANSFORMER
  - BURIED GAS LINE
  - TOP OF RIM ELEVATION
  - INVERT ELEVATION
  - PLASTIC PIPE
  - REINFORCED CONCRETE PIPE
  - PLASTIC PIPE

- PROPOSED SITE LEGEND**
- RIGHT OF WAY ASPHALT PAVEMENT
  - HEAVY DUTY PAVEMENT
  - LIGHT DUTY PAVEMENT
  - CONCRETE
  - 8' ASPHALT PATH

- 6" STRAIGHT CONCRETE CURB
- 2" CONCRETE CURB AND GUTTER
- LIP GUTTER WITH UNDERDRAIN
- COMBINED WALK & CURB
- CONCRETE SIDEWALK
- CONCRETE SIDEWALK FLUSH WITH ASPHALT
- 6" CONCRETE PIPE BOLLARD
- 4" SOLID WHITE, PAINT LINE
- 24" STOP BAR, WHITE, PAINT LINE
- 4" SOLID BLUE, PAINT LINE (A.D.A. SPACE)
- ADA PARKING SIGN (VAN ACCESSIBLE AS NOTED)
- CONCRETE PARKING BUMPER
- PEDESTRIAN CROSSWALK
- DUMPSTER PAD
- BICYCLE RACKS
- CURB TURNOUT
- A.D.A. RAMP (TYPE "A")
- A.D.A. RAMP (TYPE "C")
- A.D.A. RAMP (TYPE "G" OR "H")
- STOP SIGN
- TRANSFORMER PAD
- HANDICAP ACCESSIBLE PARKING SPACE
- DIRECTIONAL ARROW, WHITE, THERMOPLASTIC

PARKING ANALYSIS	
TOTAL S.F. =	86,930
REQUIRED RATIO =	4 SPACES / 1000 S.F.
TOTAL SPACES REQUIRED =	348
STANDARD PARKING (10'x20')	347
HANDICAP PARKING PROVIDED (INCLUDES 8 VAN ACCESSIBLE)	8
RESERVED PARKING (10'x20')	10
TOTAL PROPOSED PARKING	365

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REFER TO SHEET C002 FOR GENERAL SITE NOTES

GRAND PARK FIELDHOUSE, LLC



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186TH ST & KINSEY AVE WESTFIELD, IN

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**SITE PLAN**

**C200**



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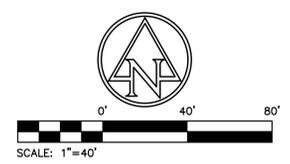
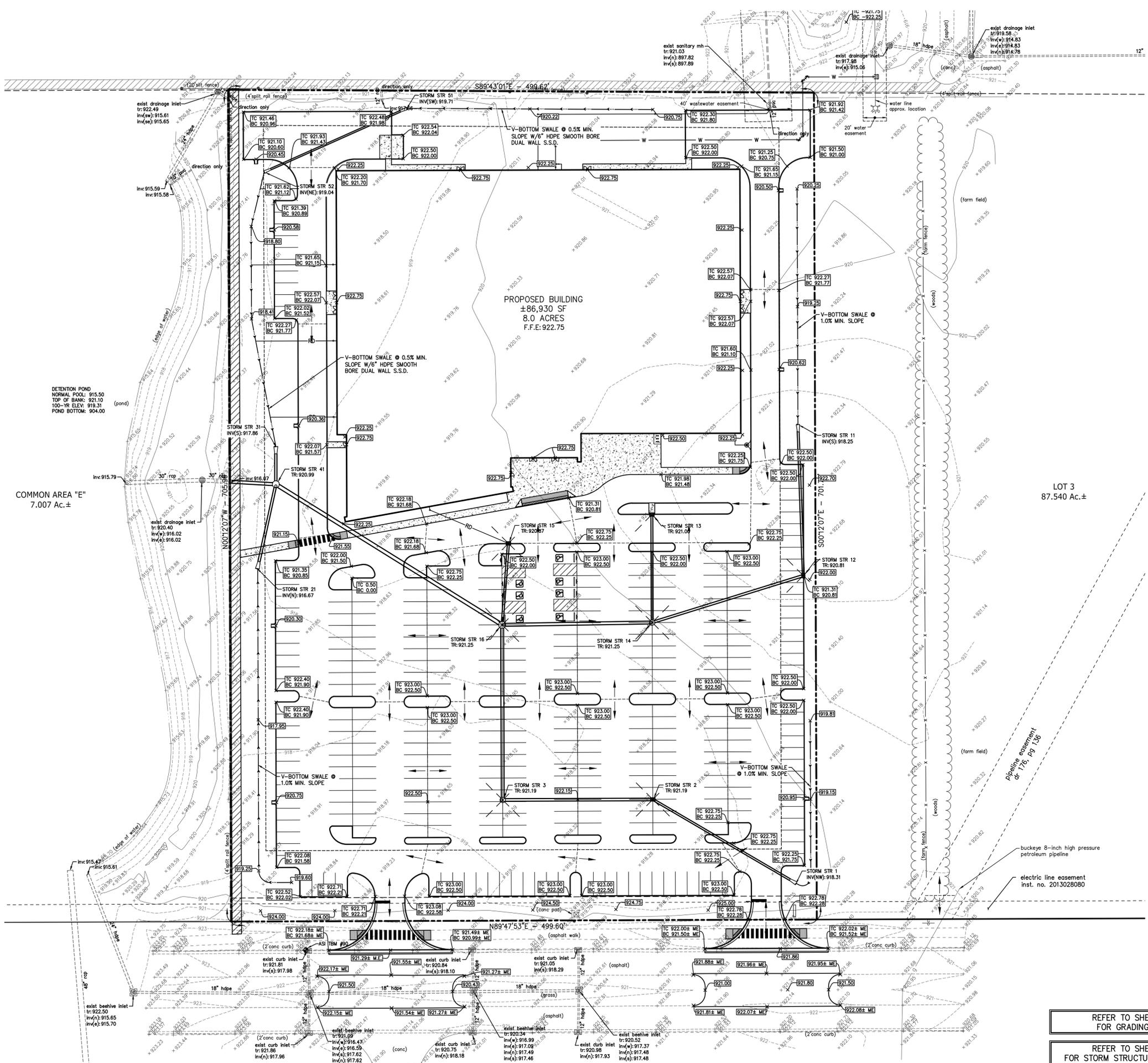
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GRADING  
PLAN

C300



- EXISTING LEGEND**
- BEEHIVE INLET
  - CURB INLET
  - FIRE HYDRANT
  - GAS MARKER SIGN
  - INLET
  - POST
  - SANITARY MANHOLE
  - TEMPORARY BENCH MARK
  - TRANSFORMER
  - BURIED GAS LINE
  - TOP OF RIM ELEVATION
  - INVERT ELEVATION
  - PLASTIC PIPE
  - REINFORCED CONCRETE PIPE
  - HDPE PLASTIC PIPE

- PROPOSED GRADING LEGEND**
- M.E. MATCH EXISTING
  - EP EDGE OF PAVEMENT
  - BC BOTTOM OF CURB
  - TC TOP OF CURB
  - CONTOURS
  - FLOW LINE
  - CURB ELEVATIONS
  - SPOT ELEVATIONS

**BENCH INFORMATION (NAVD 88)**

TBM #51	RR SPIKE 2" UP IN WEST SIDE 24" TREE ALONG NORTH/SOUTH FENCE ROW NORTH OF SECTION LINE. ELEV = 916.63
TBM #52	RR SPIKE 2" UP IN SOUTH SIDE 12" TREE IN NORTH/SOUTH FENCE LINE ON NORTH SIDE OF SECTION LINE. ELEV = 924.88
TBM #53	RR SPIKE IN NORTH FACE UTILITY POLE #253-524; ±375' WEST OF KINSEY AVE. AND ±50' SOUTH OF 186TH STREET. ELEV = 926.43
TBM #90	CUT SQUARE AT NW CORNER OF INLET; ±37' NORTH OF E 186TH STREET AND ±65' EAST OF N/S SPLIT RAIL FENCE (BLACK). ELEV = 922.34

- NOTES:**
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

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\*811\* OR 1-800-382-5544  
CALL TOLL FREE  
- INDIANA UNDERGROUND -

REFER TO SHEET C002  
FOR GRADING NOTES

REFER TO SHEET C302  
FOR STORM STRUCTURE DATA TABLE

PRINT DATE: 1/29/15 PLOT SCALE: 1:2,584.9 EDIT DATE: 1/30/2015 3:52:28 PM EDITED BY: RWH/DH/HORST DRAWING FILE: P:\2014\01793\0 - DRAWINGS\CIVIL\CONSTRUCTION DOCUMENTS\02014.01793.CE.C300.GP.DWG



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FIELDHOUSE

186TH ST & KINSEY AVE  
WESTFIELD, IN

APPROVAL PENDING  
NOT FOR CONSTRUCTION

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ISSUANCE INDEX

DATE:	01/30/2015
PROJECT PHASE:	DEVELOPMENT PLANS

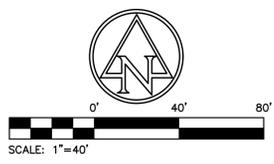
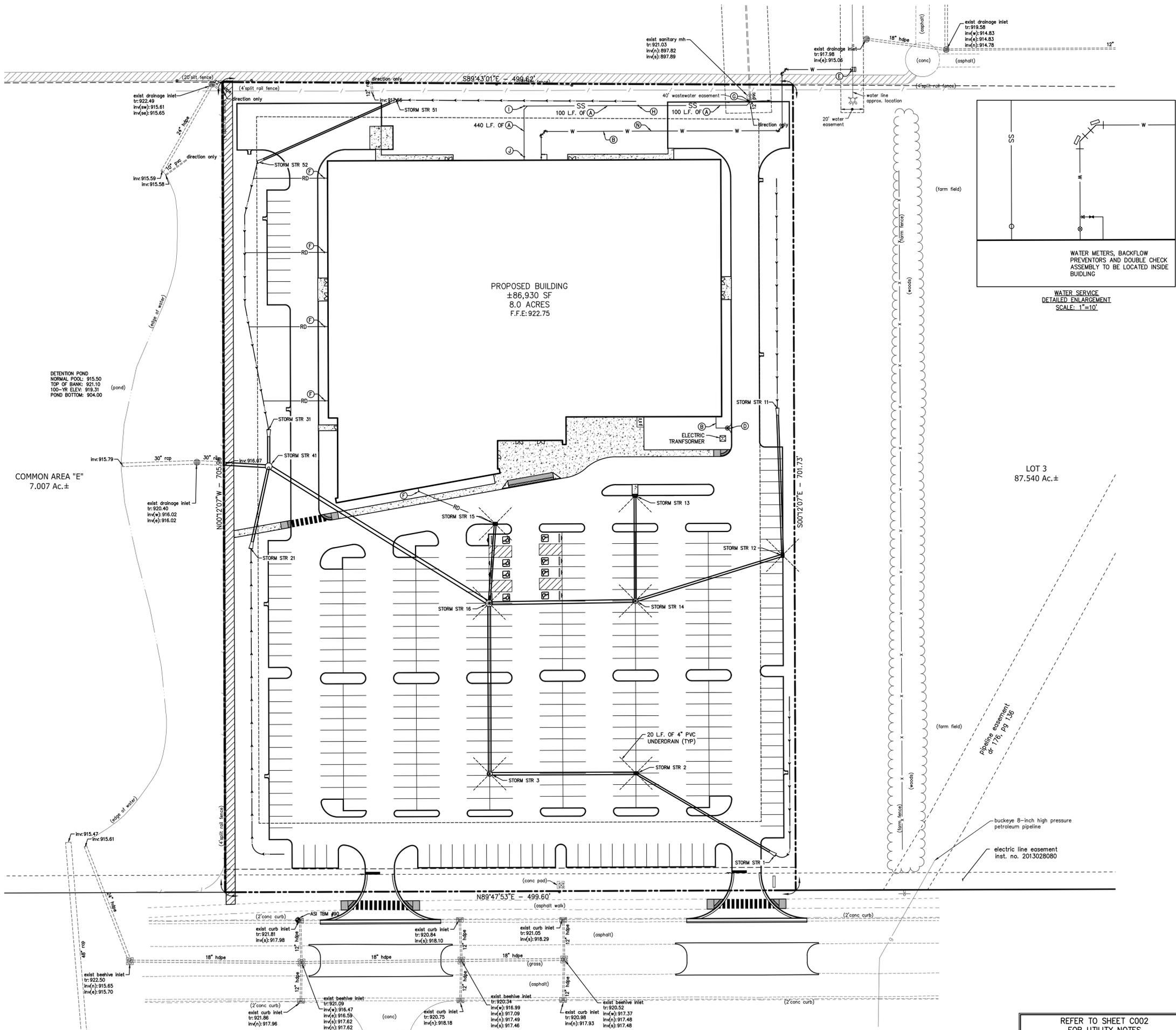
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2014.01793

UTILITY  
PLAN

C301



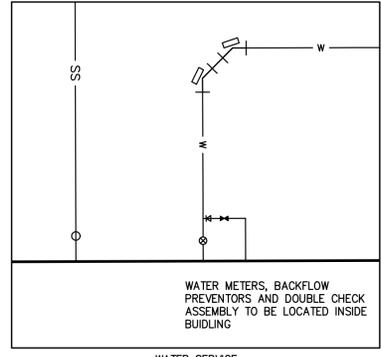
EXISTING LEGEND

- BEEHIVE INLET
- CURB INLET
- FIRE HYDRANT
- GAS MARKER SIGN
- INLET
- POST
- SANITARY MANHOLE
- TEMPORARY BENCH MARK
- TRANSFORMER
- BURIED GAS LINE
- TOP OF RIM ELEVATION
- INVERT ELEVATION
- PLASTIC PIPE
- REINFORCED CONCRETE PIPE
- PLASTIC PIPE

PROPOSED UTILITY LEGEND

- ROOF DRAIN
- 6" SDR26 PVC SANITARY LATERAL
- GAS LINE
- ELECTRIC LINE
- TELEPHONE LINE
- WATER LINE
- GAS METER
- ELECTRICAL TRANSFORMER
- VALVE
- WATER METER PIT
- HYDRANT
- MANHOLE

- (A) 6" SDR 26 PVC SANITARY LATERAL @ 1.04% SLOPE
- (B) 6" PVC C900 WATER LINE
- (C) 2" PVC C900 DOMESTIC SERVICE
- (D) FIRE DEPARTMENT CONNECTION
- (E) TAPPING SLEEVE AND VALVE
- (F) STORM CLEAN OUT @ INV: 917.25 WITH 10" PVC SDR 35 ROOF DRAIN @ 2.5% MIN. SLOPE
- (G) SANITARY CLEAN OUT @ INV: 897.95
- (H) SANITARY CLEAN OUT @ INV: 916.25
- (I) SANITARY CLEAN OUT @ INV: 917.29
- (J) SANITARY CLEAN OUT @ INV: 917.75
- (K) CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH AND SIZE OF EXISTING UTILITIES TO ENSURE CONFLICTS DO NOT EXIST WITH PROPOSED UTILITIES
- (L) CONTRACTOR TO ENSURE VERTICAL CONFLICTS DO NOT EXIST.
- (M) 18" VERTICAL SEPARATION REQUIRED BETWEEN WATER/STORM/SANITARY CROSSINGS



BENCH INFORMATION (NAVD. 88)

- TBM #51  
RR SPIKE 2' UP IN WEST SIDE 24" TREE ALONG NORTH/SOUTH FENCE ROW NORTH OF SECTION LINE.  
ELEV = 916.63
- TBM #52  
RR SPIKE 2' UP IN SOUTH SIDE 12" TREE IN NORTH/SOUTH FENCE LINE ON NORTH SIDE OF SECTION LINE.  
ELEV = 924.88
- TBM #53  
RR SPIKE IN NORTH FACE UTILITY POLE #253-524; ±375' WEST OF KINSEY AVE. AND ±50' SOUTH OF 186th STREET.  
ELEV = 926.43
- TBM #50  
CUT SQUARE AT NW CORNER OF INLET; ±37' NORTH OF E 186th STREET AND ±65' EAST OF N/S SPLIT RAIL FENCE (BLACK).  
ELEV = 922.34

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REFER TO SHEET C002  
FOR UTILITY NOTES

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186TH ST & KINSEY AVE WESTFIELD, IN

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ISSUANCE INDEX

DATE:	01/30/2015
PROJECT PHASE:	DEVELOPMENT PLANS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2014.01793

STRUCTURE DATA TABLE

**C002**

STORM STRUCTURE DATA TABLE									
NOTE: STRUCTURE CASTING IS PULLING PART ID.									
STR. NO.	STRUCTURE / CASTING TYPE	T.O.R.	INCOMING PIPE DATA (DIRECTION) / [FROM STR]	OUTGOING PIPE DATA (DIRECTION) / [TO STR]	OUTGOING PIPE L.F.	OUTGOING PIPE SIZE	OUTGOING GRADE (%)	CONNECT TO STRUCT	REMARKS
1	15" CONCRETE END SECTION	919.83	15" RCP 918.31 (NW) [2]						
2	TYPE "M" INLET / R-3455-C	921.19	21" RCP 917.85 (W) [3]	15" RCP 917.95 (SE) [1]	141'	15"	-0.25%	1	
3	TYPE "C" MANHOLE / R-3472	921.19	24" RCP 917.50 (N) [16]	21" RCP 917.60 (E) [2]	128'	21"	-0.20%	2	
11	15" CONCRETE END SECTION	919.77	15" RCP 918.25 (S) [12]						
12	TYPE "M" INLET / R-3287-SB10	920.81	18" RCP 917.82 (W) [14]	15" RCP 917.92 (N) [11]	128'	15"	-0.25%	11	
13	TYPE "J" INLET / R-3455-C	921.00	15" RCP 917.78 (S) [14]						
14	TYPE "C" MANHOLE / R-3472	921.25	24" RCP 917.46 (W) [16]	18" RCP 917.56 (E) [12] 15" RCP 917.56 (N) [13]	135' 92'	18" 15"	-0.20% -0.25%	12 13	
15	TYPE "M" INLET / R-3287-SB10	920.87	15" RCP 917.37 (S) [16]						
16	TYPE "J" MANHOLE / R-3472	921.25	30" RCP 917.10 (NW) [41]	24" RCP 917.20 (E) [14] 15" RCP 917.20 (N) [15] 24" RCP 917.20 (S) [3]	128' 69' 149'	24" 15" 24"	-0.20% -0.25% -0.20%	14 15 3	
21	18" CONCRETE END SECTION	918.46		18" RCP 916.67 (N) [41]	73'	18"	0.50%	41	
31	18" CONCRETE END SECTION	919.66	18" RCP 917.86 (S) [41]						
41	TYPE "J" MANHOLE / R-1772	920.99	18" RCP 916.30 (S) [21]	24" RCP 916.20 (W) [ ] 18" RCP 917.70 (N) [31] 30" RCP 916.30 (SE) [16]	37' 32' 227'	24" 18" 30"	0.36% -0.50% -0.35%	31 16	
51	12" CONCRETE END SECTION	920.96		12" RCP 919.71 (SW) [52]	133'	12"	0.50%	52	
52	12" CONCRETE END SECTION	920.29	12" RCP 919.04 (NE) [51]						

ALL CASTING SHALL READ "DUMP TO WASTE DRAINS TO WATERWAY"

**NOTE:**  
1. ALL WORK TO CONFORM TO CITY OF WESTFIELD STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.  
2. ALL WATER AND SANITARY WORK TO CONFORM TO CITIZENS WESTFIELD STANDARDS.

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ISSUANCE INDEX

DATE:	01/30/2015
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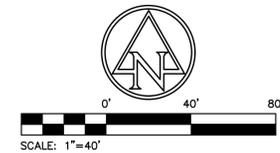
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2014.01793

EROSION  
CONTROL PLAN

C400



EXISTING LEGEND

- BEEHIVE INLET
- CURB INLET
- FIRE HYDRANT
- GAS MARKER SIGN
- INLET
- POST
- SANITARY MANHOLE
- TEMPORARY BENCH MARK
- TRANSFORMER
- BURIED GAS LINE
- TOP OF RIM ELEVATION
- INVERT ELEVATION
- PVC
- REINFORCED CONCRETE PIPE
- PLASTIC PIPE

PROPOSED EROSION CONTROL LEGEND

- SILT FENCE
- INLET PROTECTION
- ROCK DONUT INLET PROTECTION
- EROSION CONTROL BLANKET
- SEEDING
- GRAVEL CONSTRUCTION ENTRANCE
- M.E.
- EP
- BC
- TC
- CONTOURS
- FLOW LINE
- CURB ELEVATIONS
- SPOT ELEVATIONS

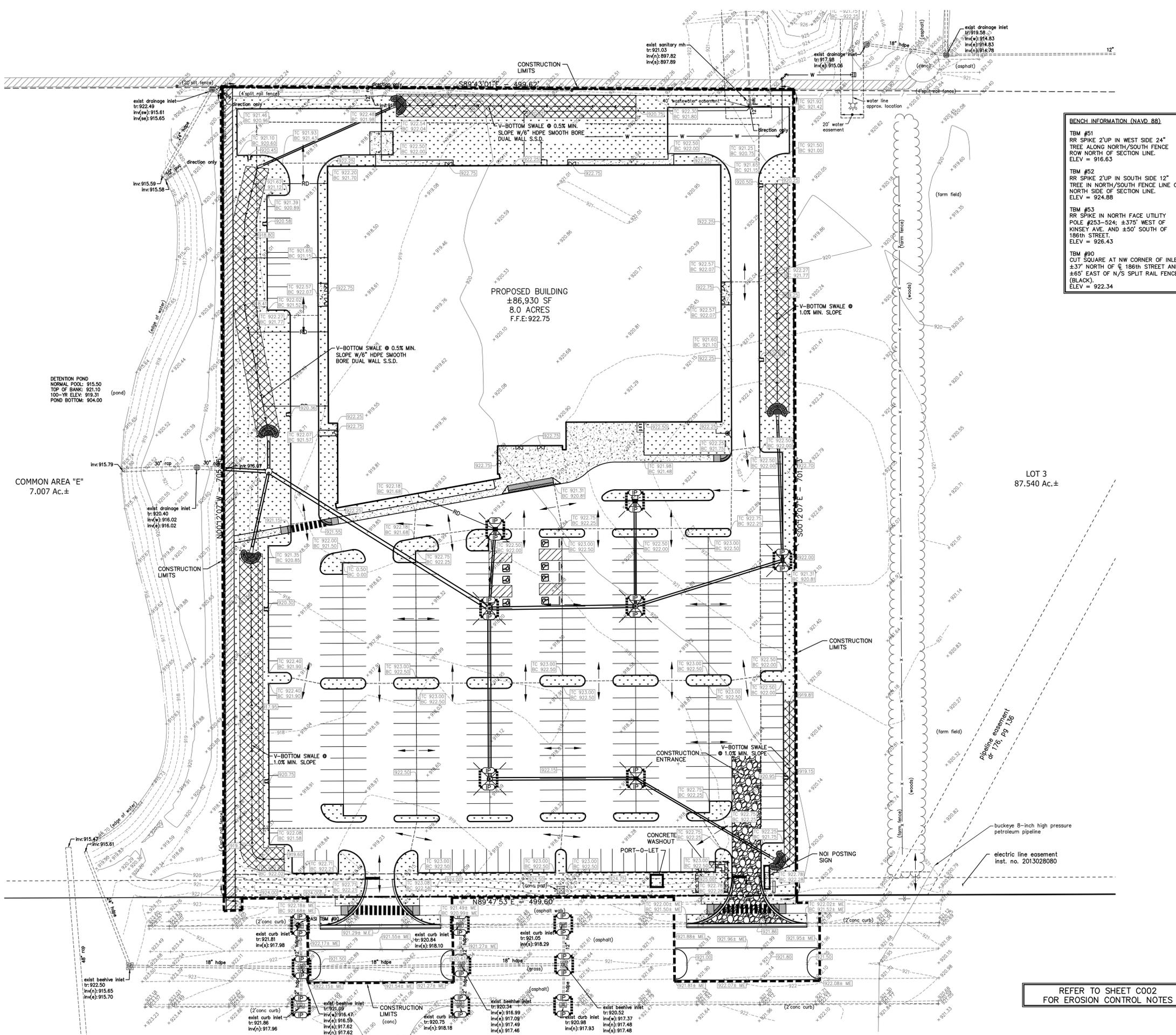
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RR SPIKE 2' UP IN WEST SIDE 24"  
TREE ALONG NORTH/SOUTH FENCE  
ROW NORTH OF SECTION LINE.  
ELEV = 916.63

TBM #52  
RR SPIKE 2' UP IN SOUTH SIDE 12"  
TREE IN NORTH/SOUTH FENCE LINE ON  
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ELEV = 924.88

TBM #53  
RR SPIKE IN NORTH FACE UTILITY  
POLE #253-524; ±375' WEST OF  
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ELEV = 926.43

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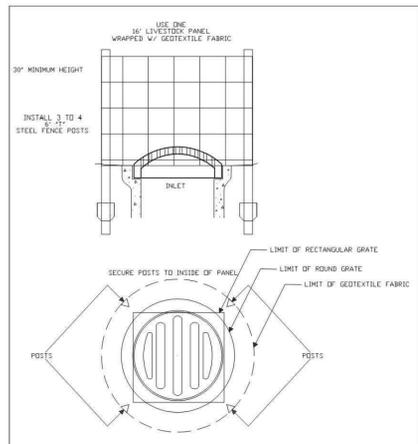
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REFER TO SHEET C002  
FOR EROSION CONTROL NOTES

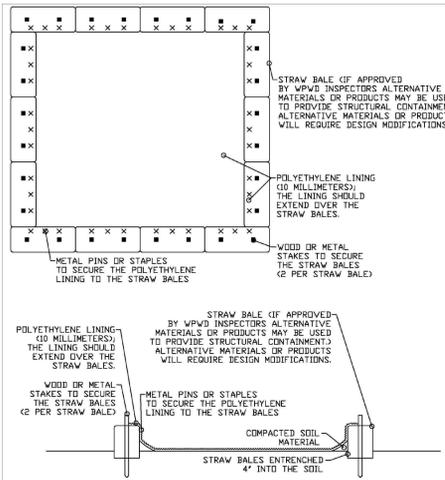
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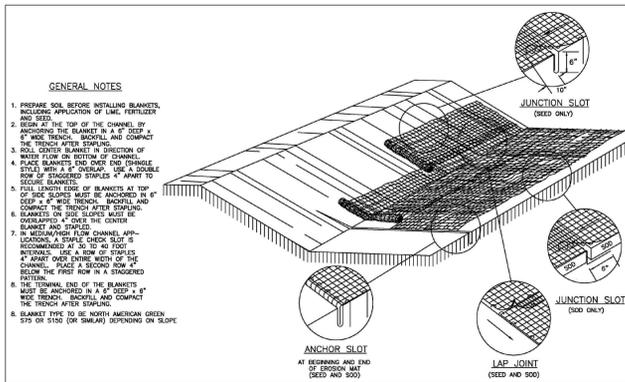
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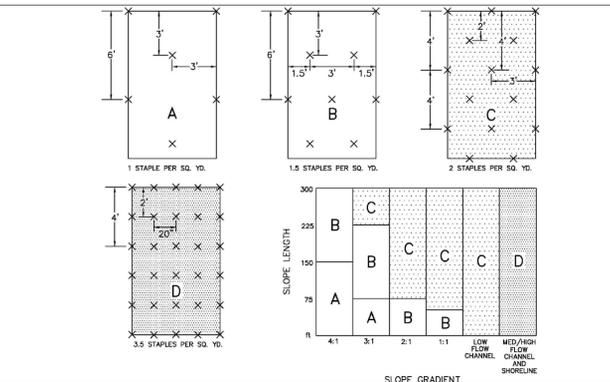
TEMPORARY DITCH INLET PROTECTION CITY OF WESTFIELD, INDIANA DATE: 4/1/13 FIGURE EC-1



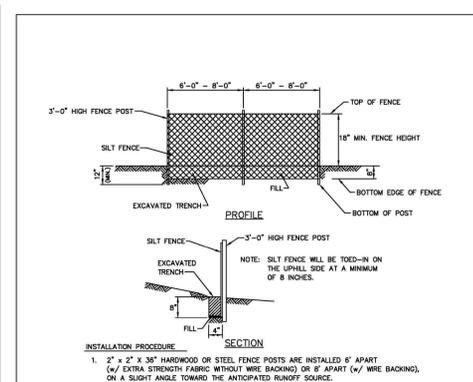
CONCRETE WASHOUT DETAIL CITY OF WESTFIELD, INDIANA DATE: 4/1/13 FIGURE EC-5



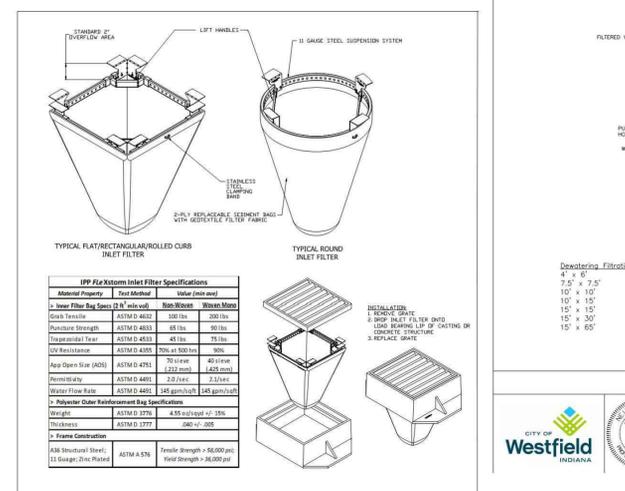
EROSION CONTROL MAT - SLOPE DETAIL CITY OF WESTFIELD, INDIANA DATE: 4/1/14 FIGURE EC-2



EROSION CONTROL MAT - STAPLE GUIDE CITY OF WESTFIELD, INDIANA DATE: 4/1/14 FIGURE EC-3



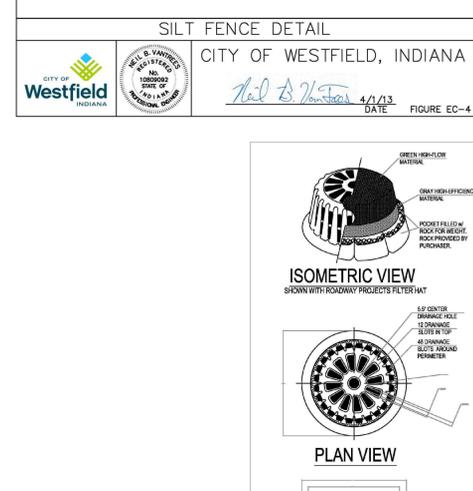
SILT FENCE DETAIL CITY OF WESTFIELD, INDIANA DATE: 4/1/13 FIGURE EC-4



INLET PROTECTION CITY OF WESTFIELD, INDIANA DATE: 4/1/13 FIGURE EC-6

Dewatering Bag Size and Capacity chart. Includes a table with columns for dewatering bag size (4' x 6', 7.5' x 7.5', 10' x 10', 10' x 15', 15' x 30', 15' x 65') and maximum gallon per minute capacity (534, 950, 1,425, 2,117, 4,275, 9,275). Includes installation and maintenance guidelines.

DEWATERING DETAIL AND SIZE CHART CITY OF WESTFIELD, INDIANA DATE: 4/1/14 FIGURE EC-11



SILT SAVER INLET PROTECTION MODEL #R-100 CITY OF WESTFIELD, INDIANA DATE: 4/1/14 FIGURE EC-15

GENERAL NOTES: 1. PREPARE SOIL BEFORE INSTALLING BLANKETS... 2. BEGIN AT THE TOP OF THE CHANNEL... 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW... 4. PLACE BLANKETS IN ONE TRENCH... 5. SECURE BLANKETS AT TOP OF SLOPE... 6. BLANKETS ON SIDE SLOPES MUST BE DEGRADED... 7. BLANKETS ON SIDE SLOPES MUST BE DEGRADED... 8. BLANKET TYPE TO BE NORTH AMERICAN GREEN 575 OR 5155 (OR SIMILAR) DEPENDING ON SLOPE.

SEEDING SPECIFICATIONS: GRADE AND APPLY SOIL AMENDMENTS. SEED FINAL GRADED AREAS DAILY WHILE SOIL IS STILL LOOSE AND MOIST. DENSITY OF VEGETATIVE COVER MUST BE PRESENT OR GREATER OVER THE SOIL SURFACE. MATERIALS: SOIL AMENDMENTS - SELECT MATERIALS AND RATES AS DETERMINED BY A SOIL TEST... SEEDING PREPARATION: TEST SOIL TO DETERMINE pH AND NUTRIENT LEVELS... SEEDING: OPTIMUM SEEDING DATES ARE MARCH 1 TO MAY 10 AND AUGUST 10 TO SEPTEMBER 30... SEEDING APPLICATIONS: GRADE THE SITE TO ACHIEVE POSITIVE DRAINAGE... SEEDING MAINTENANCE: INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST EVERY SEVEN CALENDAR DAYS.

PERMANENT SEEDING WITH MULCH: TABLE 1. SLOPE STABILITY RESTRICTIONS. TABLE 2. MULCH ANCHORING METHODS. TABLE 3. MULCH ANCHORING METHODS (NOT MOWED). TABLE 4. CHANNELS AND AREAS OF CONCENTRATED FLOW. TABLE 5. PERMANENT SEEDING WITH MULCH (REV. 1/1/13).

GRAVEL CONSTRUCTION ENTRANCE (SITES LARGER THAN TWO ACRES) NOT TO SCALE (REV. 11/13)

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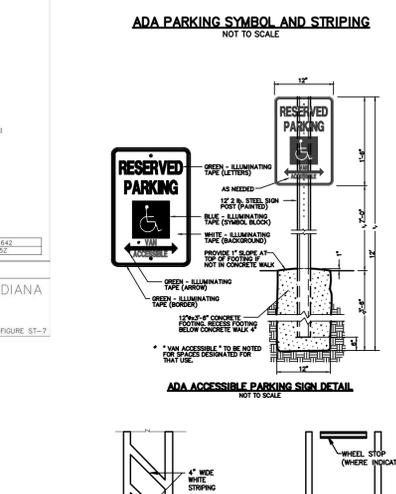
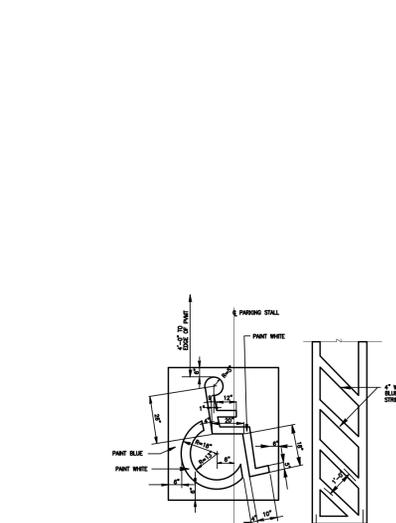
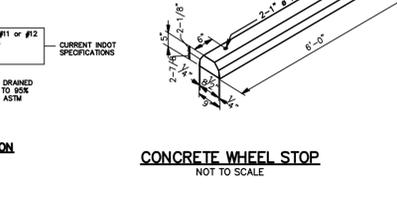
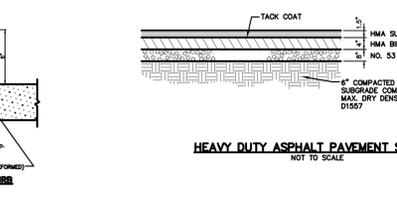
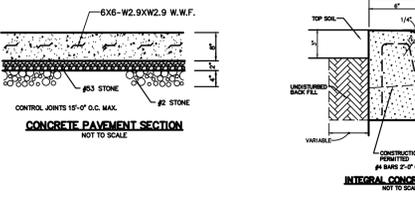
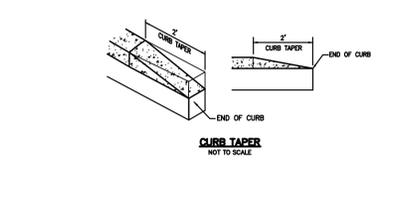
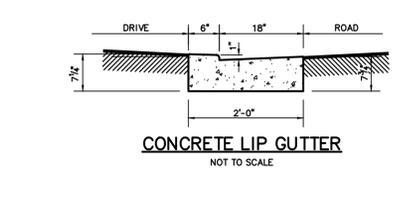
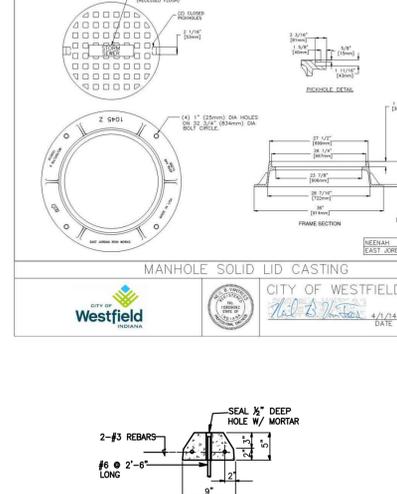
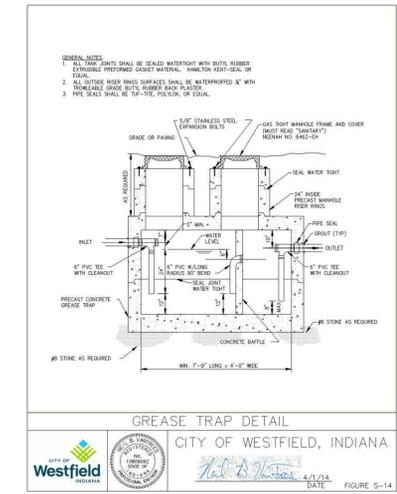
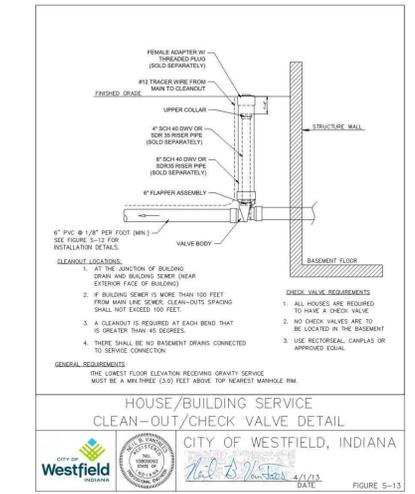
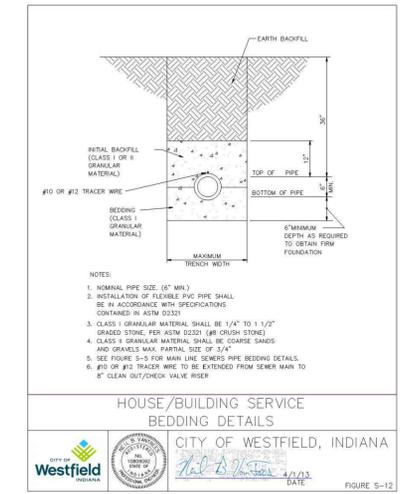
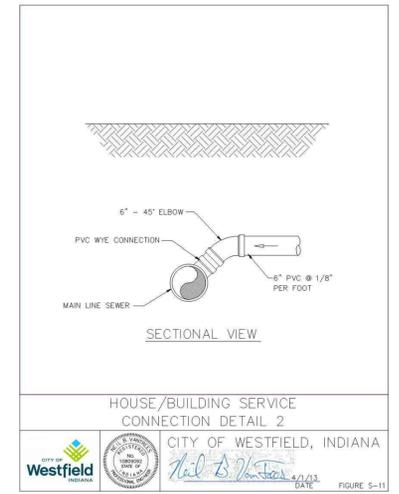
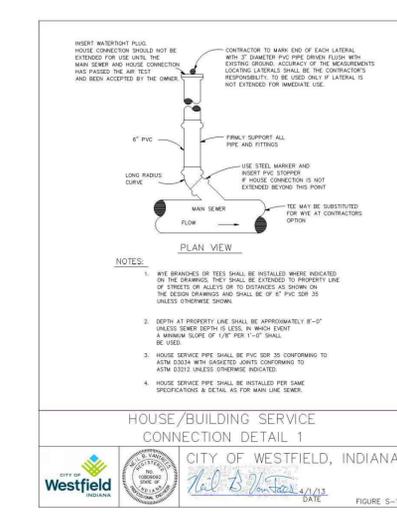
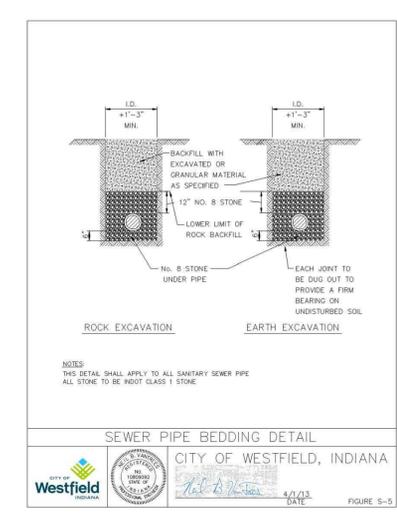
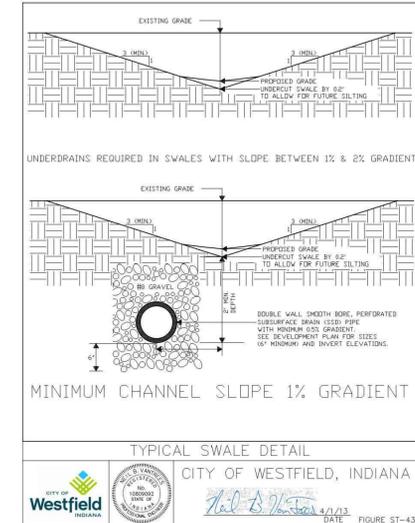
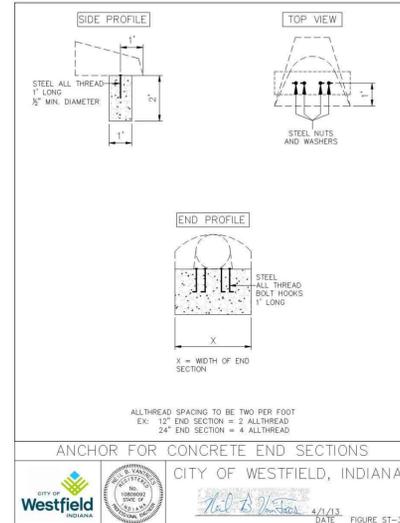
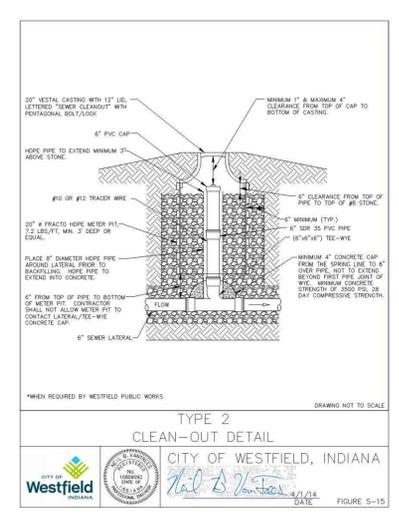
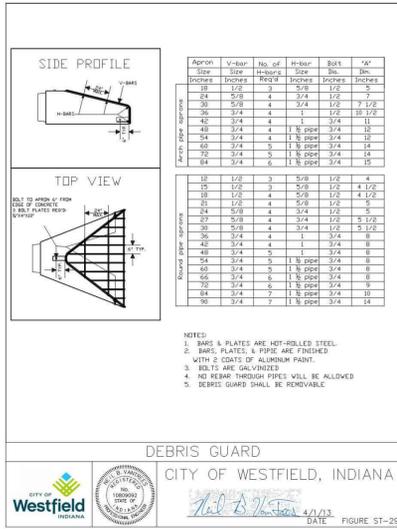
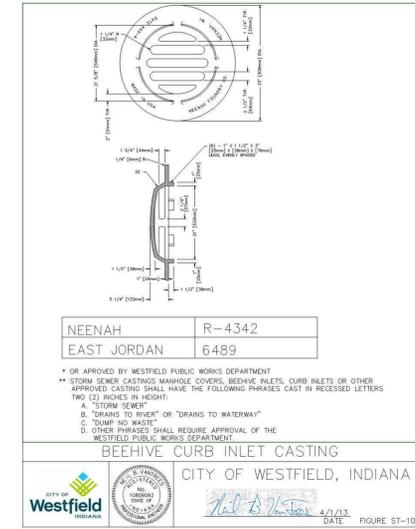
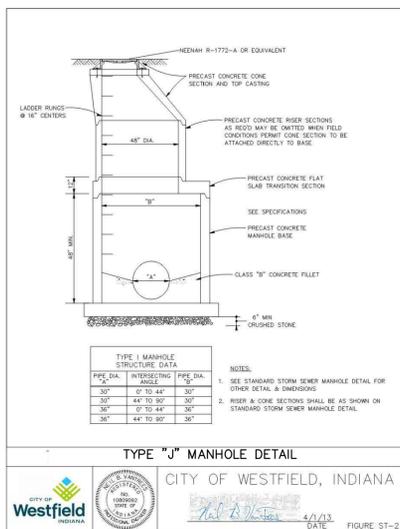
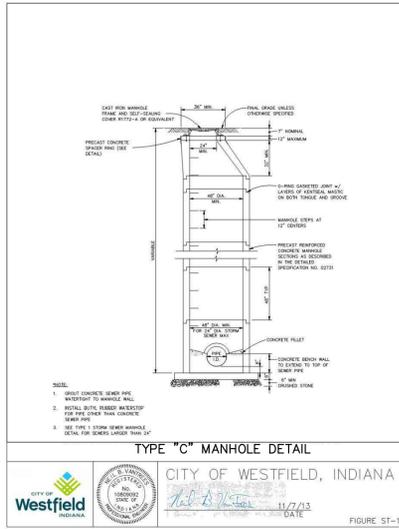
GRAND PARK FIELDHOUSE 186TH ST & KINSEY AVE WESTFIELD, IN

APPROVAL PENDING NOT FOR CONSTRUCTION

CERTIFIED BY ISSUANCE INDEX DATE: 01/30/2015 PROJECT PHASE: DEVELOPMENT PLANS REVISION SCHEDULE TABLE with columns for NO., DESCRIPTION, and DATE.

Project Number 2014.01793 EROSION CONTROL DETAILS C420 02014.01793.CE.C420.ECD.dwg

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GRAND PARK FIELDHOUSE, LLC



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GRAND PARK FIELDHOUSE

186TH ST & KINSEY AVE  
WESTFIELD, IN

APPROVAL PENDING  
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CERTIFIED BY

ISSUANCE INDEX

DATE: 01/30/2015  
PROJECT PHASE: DEVELOPMENT PLANS

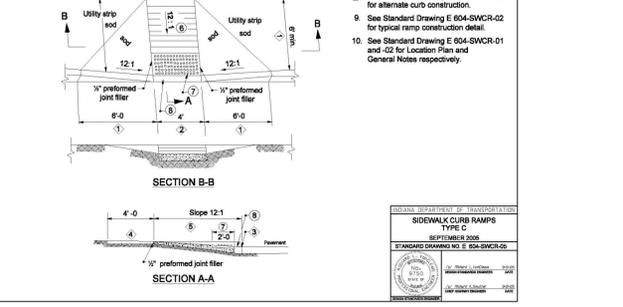
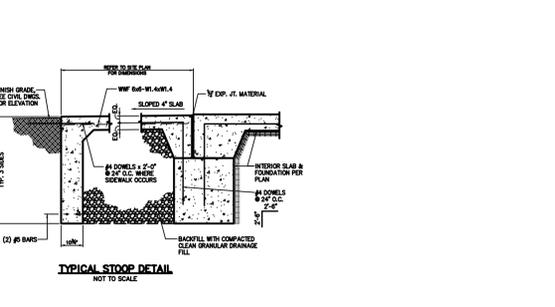
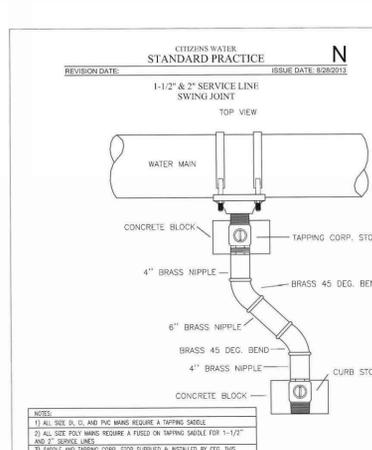
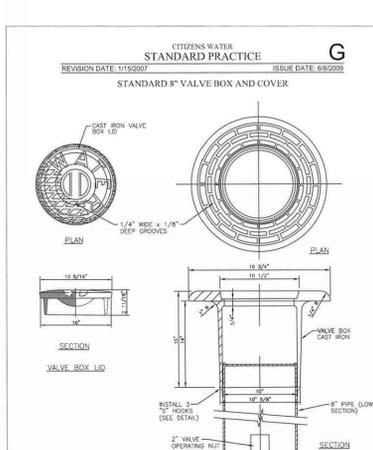
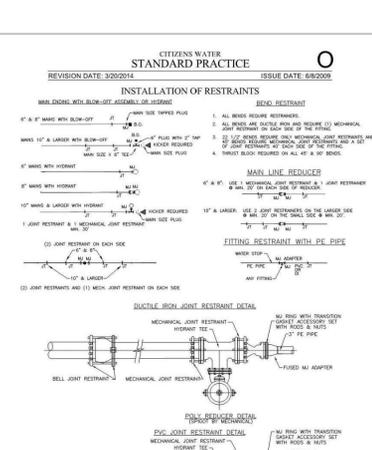
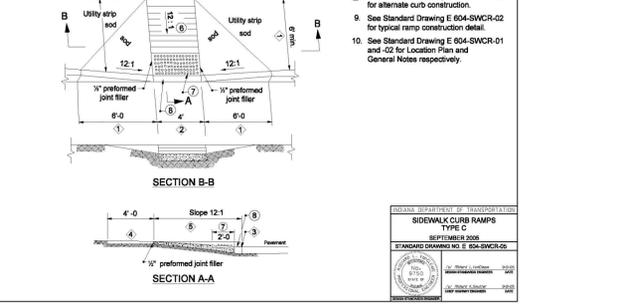
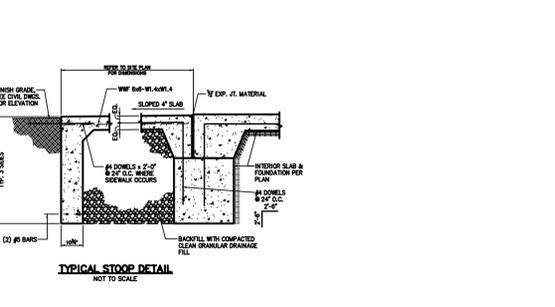
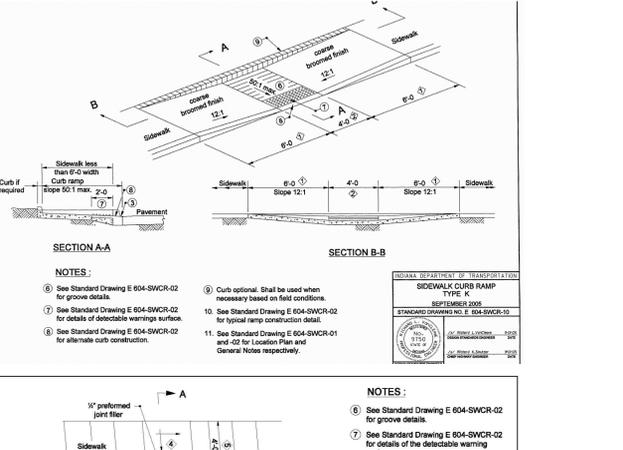
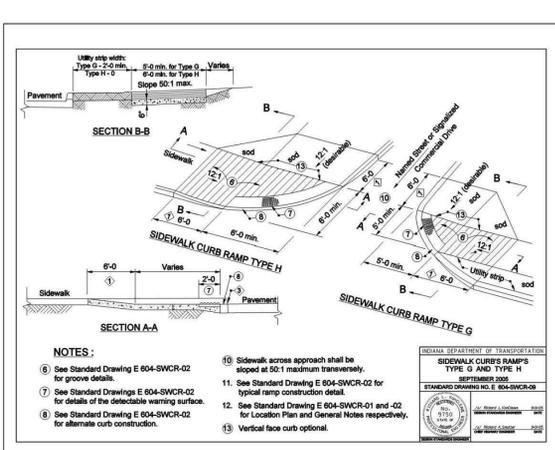
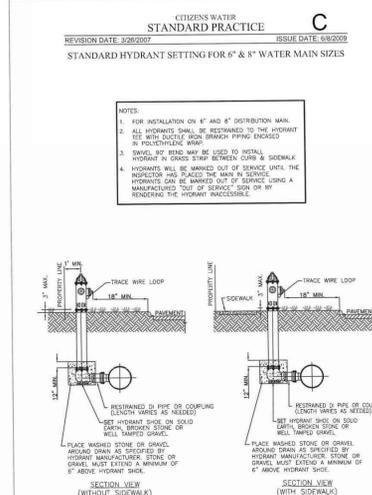
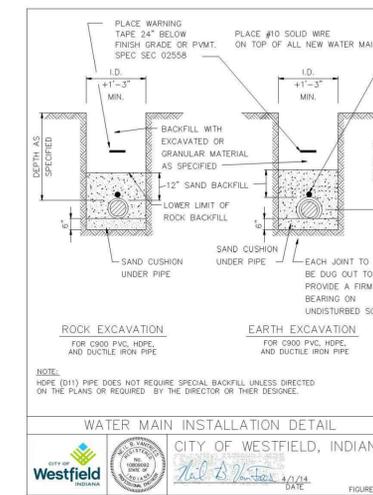
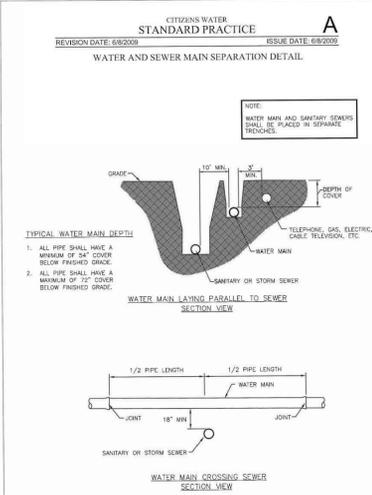
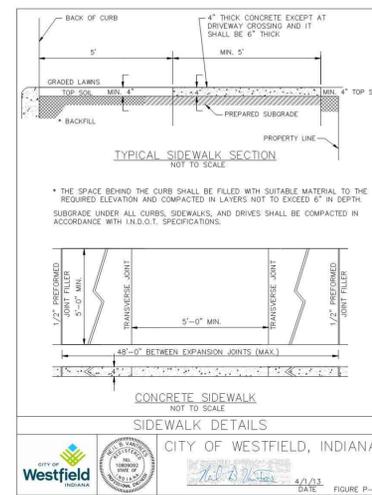
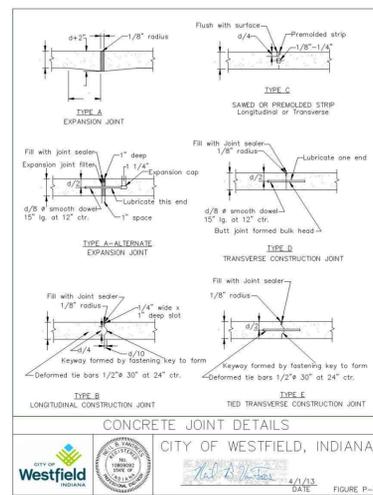
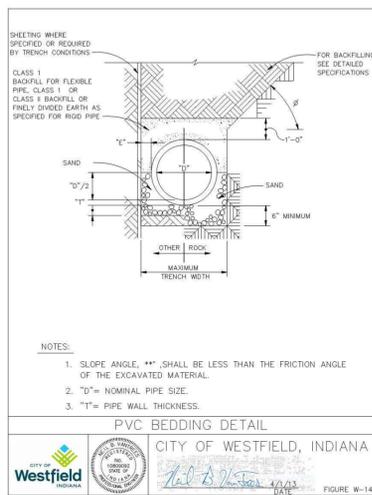
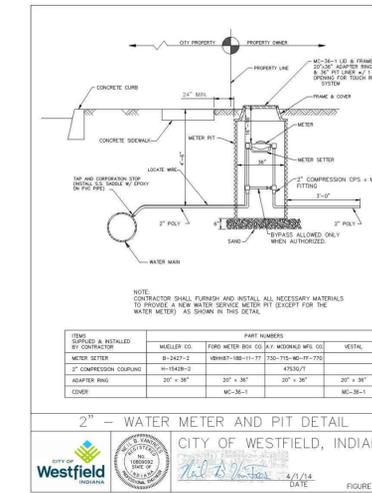
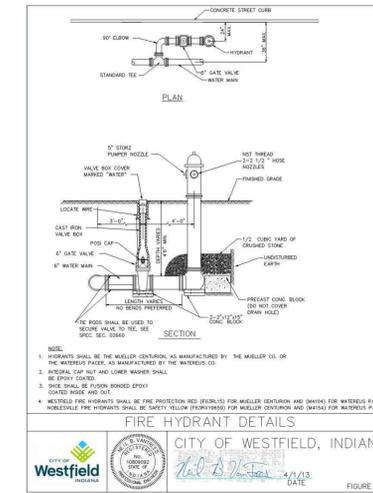
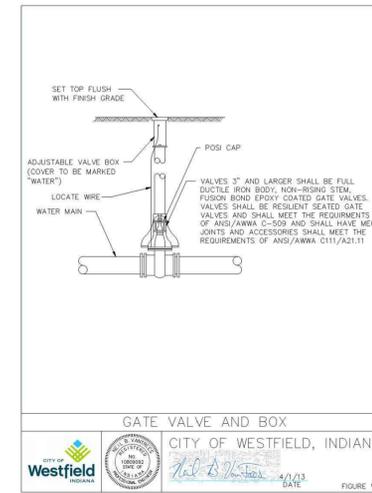
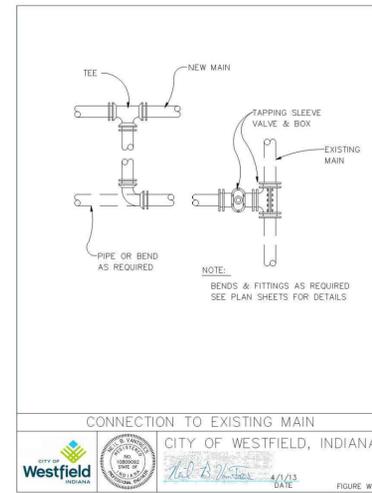
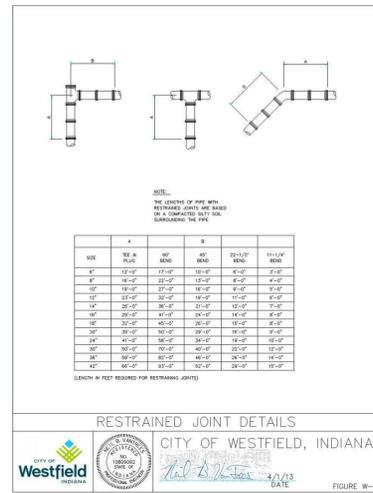
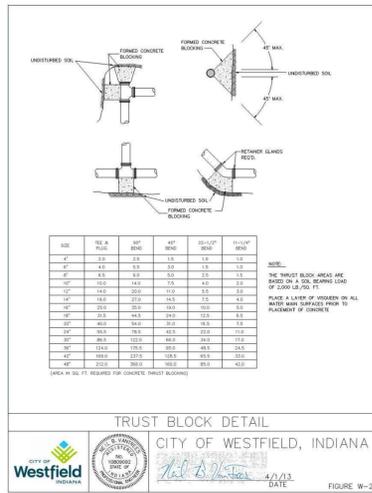
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2014.01793

SITE DETAILS

C500



**GRAND PARK FIELDHOUSE, LLC**

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**GRAND PARK FIELDHOUSE**

**186TH ST & KINSEY AVE WESTFIELD, IN**

**APPROVAL PENDING NOT FOR CONSTRUCTION**

**CERTIFIED BY**

**ISSUANCE INDEX**

DATE: 01/30/2015  
PROJECT PHASE: DEVELOPMENT PLANS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2014.01793

**SITE DETAILS**

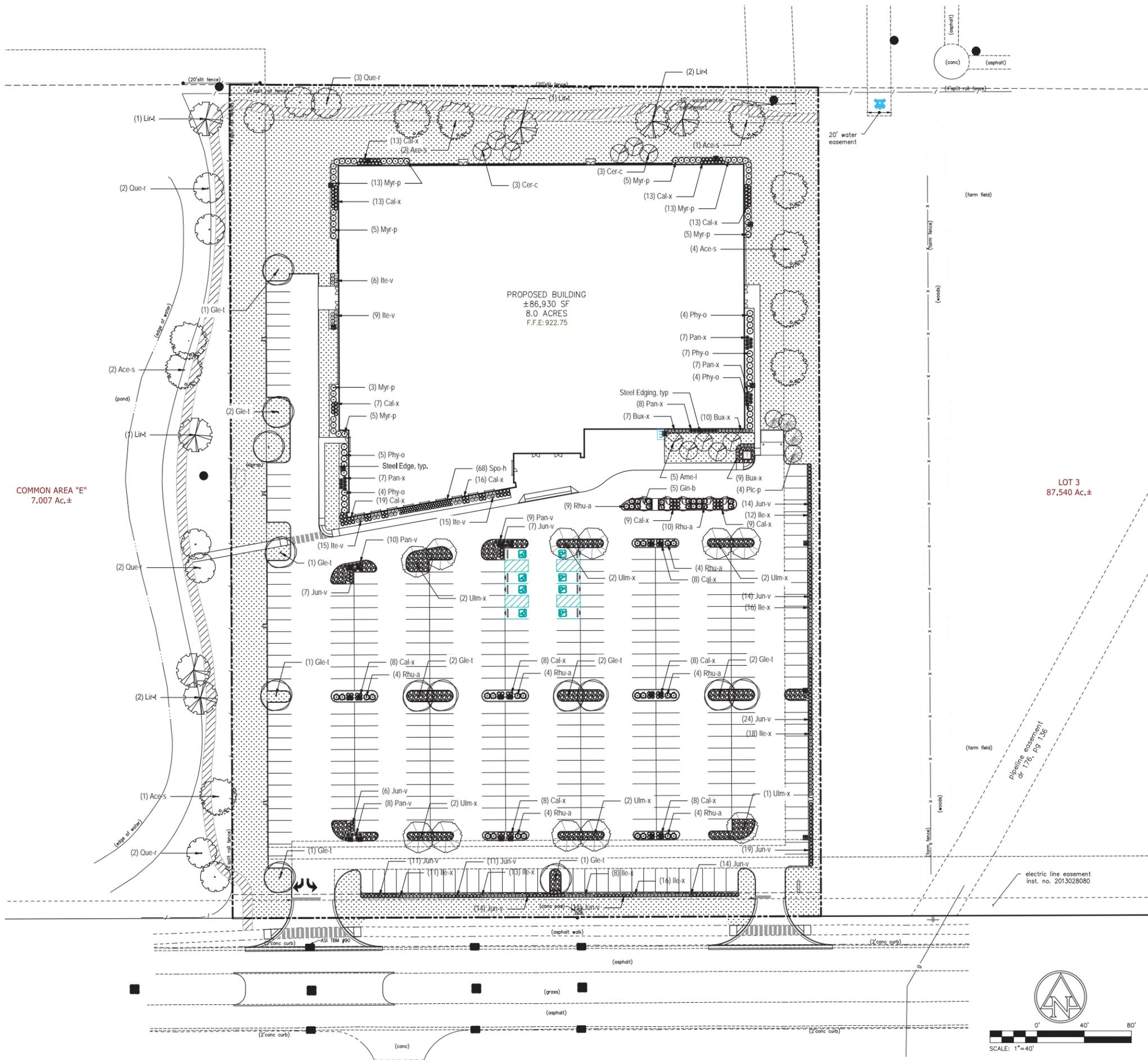
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## GENERAL LANDSCAPE AND PLANTING NOTES

- Plant material to be installed and maintained by a qualified and experienced landscape installer.
- All materials are subject to the approval of the Landscape Architect and Owner at any time. Landscape Architect to inspect all plant locations and plant bed conditions prior to installation. Stake all plant locations for review and approval by the Landscape Architect before planting. On-site adjustments may be required. Plants are to be freshly dug. Transporting of plants shall be done in a manner as to not destroy the natural shape, compromise the health, or alter the characteristics of plant materials.
- Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. **MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.** Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
- Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, specifications, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule.
- All plant beds shall receive 3" minimum of genuine shredded hardwood bark mulch (unless otherwise noted). Apply pre-emergent herbicide as directed by the manufacturer prior to installing mulch. Seed all areas disturbed by construction activities that are not otherwise noted to receive pavement, planting bed, or other treatment.
- The Contractor shall install and/or amend topsoil in all proposed bed areas to meet ASTM D5268 standards. Landscaper shall verify depth and quality of topsoil prior to plant installation. A minimum of 4" of topsoil is required for lawn areas; 12" for plant beds. Topsoil sources shall include the reuse of surface soil stockpiled on site, clean of roots, plants, sod, stones, clay lumps, and other extraneous or foreign materials larger than 1". Supplement with imported topsoil from off-site sources when quantities are insufficient. Do not obtain supplemental topsoil from agricultural land, bogs, or marshes. Inorganic amendments, organic amendments, and fertilizers shall be used to amend topsoil as needed for long-term plant health.
- Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to satisfaction of the Owner and Operating Authority at no additional cost.
- Install all plant material in accordance with all local codes and ordinances. Coordinate with the Owner to obtain any required permits necessary to complete work. All workmanship and materials shall be guaranteed by the Contractor for a period of one (1) calendar year after Final Acceptance.
- Maintain all plant material for a three (3) month period from date of Substantial Completion. Maintenance shall include pruning, cultivating, watering, weeding, fertilizing, restoring plant saucers, spraying for disease and insects, and replacing tree wrappings. Recommended long-term maintenance procedures shall be provided to the Owner before expiration of this period.
- Satisfactory Seeded Lawn: At end of maintenance period, a healthy, uniform, close stand of grass has been established, free of weeds and surface irregularities, with coverage exceeding 90 percent over any 10 sq. ft. (0.92 sq. m) and bare spots not exceeding 3 by 3 inches. Reestablish lawns that do not comply with requirements and continue maintenance until lawns are fully satisfactory to the Owner.

NOTE: All HVAC and dumpster enclosures will be screened per the requirements of the Zoning Ordinance.

GRAND PARK FIELDHOUSE, LLC



GRAND PARK FIELDHOUSE

186TH ST & KINSEY AVE WESTFIELD, IN



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ISSUANCE INDEX	
DATE:	03/11/2015
PROJECT PHASE:	DEVELOPMENT PLANS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2014.01793

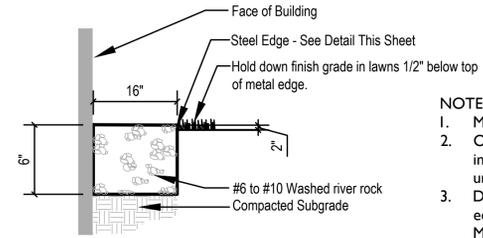
PLANTING PLAN

L100

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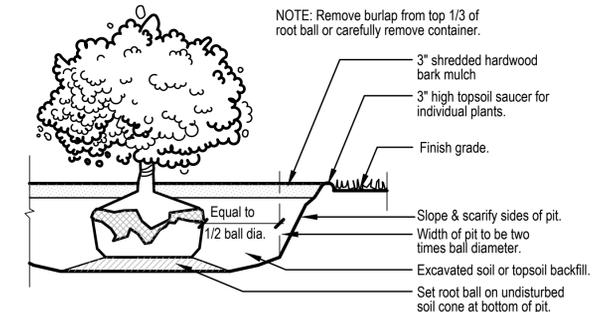
PLANT SCHEDULE					
Symbol	Botanical Name	Common Name	Size	Container	Notes
TREES					
Ace-s	Acer saccharum 'Legacy'	Legacy Sugar Maple	1.5" cal.	B&B	matched
Cer-c	Cercis canadensis	Eastern Redbud	clump form	B&B	3-5 stems
Gin-b	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Sugar Maple	1.5" cal.	B&B	columnar form
Gle-t	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	1.5" cal.	B&B	symmetrical, matched, strong central leader
Que-r	Quercus rubra	Road Oak	1.5" cal.	B&B	dug in spring
Ulm-x	Ulmus x 'Princeton'	Princeton Elm	1.5" cal.	B&B	symmetrical, matched, strong central leader
SHRUBS					
Bux-x	Buxus x koreana 'Green Mountain'	Green Mountain Boxwood	24" ht.	container	space @ 3'-0" o.c.
Ite-v	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	24" ht.	container	space @ 3'-0" o.c., allow to mass
Phy-o	Physocarpus opulifolium 'Seward'	Summer Wine Ninebark	24" ht.	container	space @ 4'-0" o.c., allow to mass
Rh-a	Rhus aromatica 'Gro Low'	Gro Low Sumac	24" spread	container	space @ 4' o.c., allow to mass
GROUNDCOVERS, PERENNIALS AND GRASSES					
Cal-x	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	pot	space @ 3'-0" o.c.
Pan-x	Panicum virgatum 'Cloud Nine'	Cloud Nine Switch Grass	#2	pot	space @ 3'-0" o.c.

 Areas to receive lawn

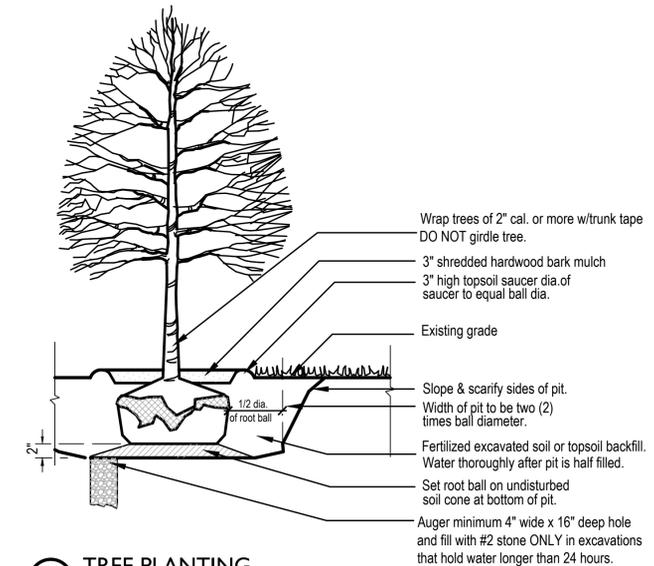


 **MOW STRIP**  
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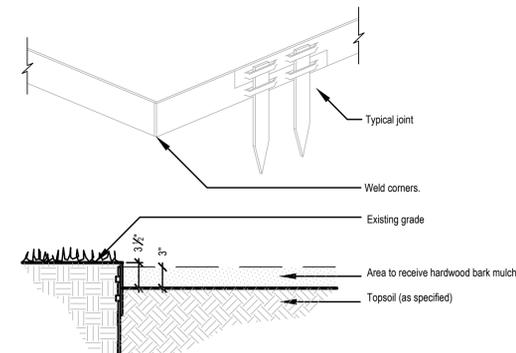
- NOTES:
- Maintain straight and true edge.
  - Outside edge shall not jog back and forth in response to slight building facade undulations and changes.
  - Do not place steel edging along the edge of hard surfaces, such as sidewalks. Mow strip material shall be graded in such a manner that the pavement is able to contain the mow strip aggregate.



 **SHRUB PLANTING**  
 Not to Scale



 **TREE PLANTING**  
 Not to Scale



 **STEEL EDGE**  
 Not to Scale

GRAND PARK  
FIELDHOUSE, LLC



GRAND PARK  
FIELDHOUSE

186TH ST & KINSEY AVE  
WESTFIELD, IN



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ISSUANCE INDEX	
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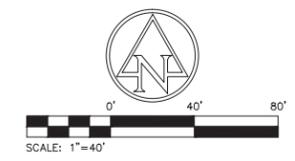
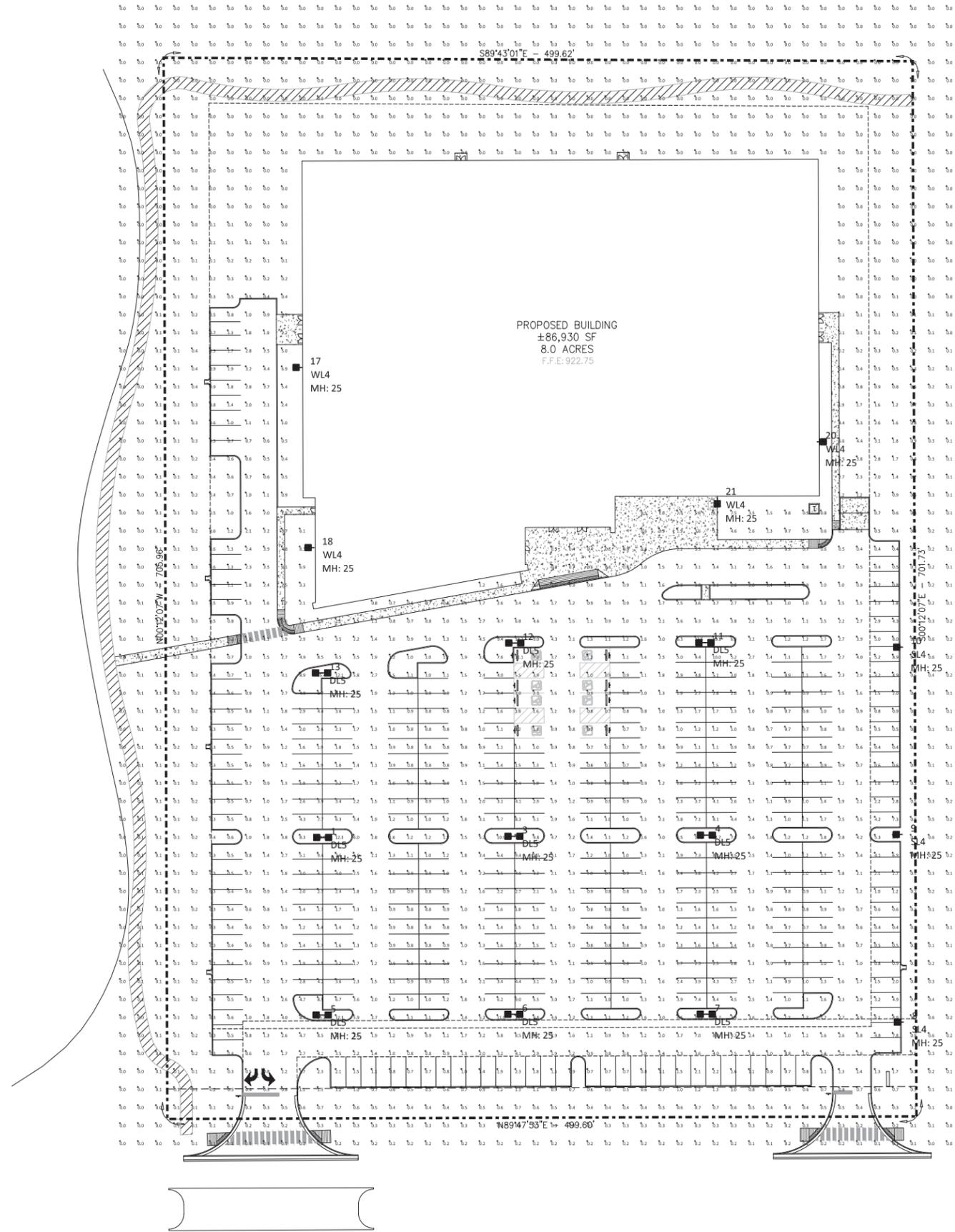
REVISION SCHEDULE		
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**PLANTING  
DETAILS**

**L101**

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- SITE LIGHTING NOTES:**
1. ALL POLES ARE 23' TALL MOUNTED ON BASES 2'-0" A.F.G. POLE HEIGHT TO MATCH PARKING LOT POLE HEIGHTS WITHIN GRAND PARK.
  2. LIGHT LEVELS ARE MAINTAINED WITH A .92 LIGHT LOSS FACTOR.
  3. FOOTCANDLE VALUES ARE SHOWN AT GRADE LEVEL.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BASEBALL	Illuminance	Fc	1.17	15.7	0.0	N.A.	N.A.
DRIVEWAYS ADJACENT BUILDING	Illuminance	Fc	1.15	8.3	0.0	N.A.	N.A.
PARKING AREA	Illuminance	Fc	2.22	15.7	0.4	5.55	39.25

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Lum. Lumens
[Symbol]	9	DLS	D180	0.920	TWIN ASSEMBLY CBMC# SLC-D-23-507G-5BC DUAL 194 WATT LED FIXTURES	193.8	387.6	3488.4	18455
[Symbol]	3	SL4	SINGLE	0.920	SINGLE PERIMETER ASSEMBLY CBMC #SCL-C-23-507G-5BC SINGLE 194 WATT LED FIXTURE	194.5	194.5	583.5	18408
[Symbol]	4	WL4	WALL MOUNT	0.920	WALL MOUNTED CBMC #SCL-C-WMB SINGLE 194 WATT LED FIXTURE	194.5	194.5	778	18408

**CBMC LIGHTING DISTRIBUTION**  
 CB06461-R1  
 5855 KOPETSKY DR | INDIANAPOLIS, IN 46217  
 317-780-8350 | WWW.CBMCINC.COM

GRAND PARK FIELDHOUSE, LLC



GRAND PARK FIELDHOUSE

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**SITE LIGHTING PHOTOMETRY PLAN**  
**C900**