



Centennial South

PLANNED UNIT DEVELOPMENT

ORIGINAL ORDINANCE

Ordinance No.: 04-42

Adoption Date: December 13, 2004

Instrument No.: 200500009749



523⁰⁰
(258) 711

200500009749
Filed for Record in
HAMILTON COUNTY, INDIANA
JENNIFER J HAYDEN
02-18-2005 At 11:39 am.
ORDINANCE 523.00

BEST POSSIBLE IMAGE
ALL PAGES

ORDINANCE NO. 04-42

**AN ORDINANCE OF THE TOWN OF WESTFIELD CONCERNING AMENDMENT
TO TITLE 16 - LAND USE CONTROLS**

WHEREAS, The Town of Westfield, Indiana and the Township of Washington, both of Hamilton County, Indiana are subject to the Westfield Washington Township Zoning Ordinance; and

WHEREAS, the Westfield-Washington Township Plan Commission ("Commission") considered a petition (docket 0407-PUD-05) filed with the Commission to rezone certain lands; and

WHEREAS, the Westfield Washington Township Plan Commission did take action to forward the request to the Westfield town Council with a positive recommendation under the provision of IC 36-7-4-605; and

WHEREAS, the Secretary of the Commission certified the action of the commission to the Town Council on November 23, 2004; and

WHEREAS, the Westfield Town Council is subject to the provision of IC 36-7-4-608(g) concerning any action on this request.

**NOW THEREFORE BE IT ORDAINED BY THE WESTFIELD TOWN COUNCIL
THAT TITLE 16 OF THE WESTFIELD CODE OF ORDINANCE BE AMENDED AS
FOLLOWS:**

SECTION 1. WC-16-04.

The Zoning Ordinance and the Zone Map of the Zoning Ordinance are hereby amended as described in the attached "Brookie Property Planned Unit Development Ordinance" document. The real estate property is reclassified from SF-2 to PUD.

12/8/2004

Ordinance 04-42
Brookie Property

SECTION 2. This ordinance shall be in full force and effect from and after its passage.

**ALL OF WHICH IS HEREBY ADOPTED BY THE TOWN COUNCIL OF
WESTFIELD, HAMITON COUNTY, INDIANA THIS 13 DAY OF
Dec, 2004**

WESTFIELD TOWN COUNCIL

Voting For

Teresa Otis Skelton
Teresa Otis Skelton
Jack Hart
Jack Hart

Voting Against

Teresa Otis Skelton
Teresa Otis Skelton
Jack Hart
Jack Hart
David Mikesell
David Mikesell
Bob Smith
Bob Smith
Ron Thomas
Ron Thomas

Abstain

Teresa Otis Skelton
Teresa Otis Skelton
Jack Hart
Jack Hart
David Mikesell
David Mikesell
Bob Smith
Bob Smith
Ron Thomas
Ron Thomas

David Mikesell

Bob Smith
Bob Smith

Ron Thomas

David Mikesell

Bob Smith

Ron Thomas

David Mikesell

Bob Smith

Ron Thomas


Cindy Gossard
Cindy Gossard
This ordinance prepared by
Jerry Rosenberger, Town Manager

12/8/2004

Ordinance 04-42
Brookie Property

**WESTFIELD WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION
CERTIFICATION**

The Westfield Washington Township Advisory Plan Commission met in regular session on Monday, November 22, 2004, to consider an amendment of the Comprehensive Zoning Ordinance of Westfield-Washington Township 1977, as amended. Notice of public hearing on November 22, 2004, was presented to the Plan Commission. Notice was shown to have been published in a newspaper of general circulation in Hamilton County, Indiana. The proposed amendment is as follows:

A change in zoning classification, from SF 2 to PUD,
at the northeast corner of 146th Street and Ditch Road, generally
(WWTAPC petition 0407-PUD-05).

A motion was approved to forward this request to the Westfield Town Council with a recommendation to approve (7-1 (Horkay)-0).

I, Kevin G. Buchheit, AICP, being the Secretary of the Westfield Washington Township Plan Commission, do hereby certify that the above is a true and accurate record of the minutes of the meeting of the Westfield Washington Township Plan Commission held on November 22, 2004.



Kevin G. Buchheit, AICP, Secretary

November 23, 2004

Date

Brookie Property
Planned Unit Development

ORDINANCE NO. 04-42

An ordinance amending the Zoning Ordinance of the Town of Westfield and Washington
Township, Hamilton County, Indiana

Brookie Property Planned Unit Development Ordinance

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SCHEDULE OF EXHIBITS

- A. Real Estate – legal description
- B. Development Plan Review (DPR) provisions of the Zoning Ordinance
- C. Landscaping Standards of the Zoning Ordinance
- D. Lighting Standards of the Zoning Ordinance
- E. Sign Standards of the Zoning Ordinance
- F. Development Standards
- G. Architectural Standards
- H. Concept Plan
- I. Elevations for Meridian Collection Homes
- J. Elevations for Springmill Collection Homes
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BROOKIE PROPERTY PLANNED UNIT DEVELOPMENT

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA

This PUD Ordinance (the "Brookie Property PUD") amends the Zoning Ordinance of the Town of Westfield and Washington Township, Hamilton County, Indiana (the "Zoning Ordinance"), enacted by the Town of Westfield under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended;

WITNESSETH:

WHEREAS, the Plan Commission of the Town of Westfield and Washington Township (the "Commission") has conducted a public hearing as required by law in regard to the application for a change of zone district designation filed by the Estridge Development Company, Inc. for the real estate containing approximately 69.37 acres more or less, legally described on Exhibit "A" hereto, and located in Washington Township, Hamilton County, Indiana (the "Real Estate");

WHEREAS, the Commission has sent to the Town Council of the Town of Westfield, Indiana (the "Town Council") its recommendation adopted on the _____ day of _____, 2004; and

NOW, THEREFORE, BE IT ORDAINED by the Town Council meeting in regular session, that the Zoning Ordinance and the Zone Map (the "Zone Map") of the Zoning Ordinance are hereby amended as follows:

SECTION 1. LEGISLATIVE INTENT. Having given reasonable regard to (i) the Comprehensive Plan, (ii) current conditions and the character of current structures and uses in the Real Estate, (iii) the most desirable use for which the Real Estate is adapted, (iv) conservation of property values throughout the Town of Westfield and Washington Township, and (v) responsible development and growth, it is the intent of the Council in adopting, to:

- A. Encourage flexibility in the development of land in order to promote its most appropriate use;
- B. Improve the design, character, and quality of new development;
- C. Encourage a harmonious and appropriate mixture of uses;
- D. Facilitate the adequate and economic provisions of streets, utilities, and municipal services;
- E. Preserve the natural environmental and scenic features of the Real Estate;
- F. Encourage and provide a mechanism for arranging improvements on-site so as to preserve desirable features; and
- G. Mitigate the problems that may be presented by specific site conditions.

SECTION 2. EFFECT. The development standards created by this Brookie Property PUD supersede the development standards of the Zoning Ordinance. Unless otherwise specified herein, the owner(s) of the Real Estate shall otherwise comply with the terms, conditions, and procedures of PUD Ordinance 02-01 (WC 16.04.190).

SECTION 3. RECLASSIFICATION OF ZONING. The zoning classification of the Real Estate is reclassified on the Zone Map to the Planned Unit Development District classification – Brookie Property PUD, the underlying zoning classification of which shall be the

SF-3 District of the Zoning Ordinance in force at the time of the enactment of this Brookie Property PUD. Permitted uses shall be restricted to single family dwellings.

SECTION 4. APPLICABILITY OF ZONING ORDINANCE. Subject only to the following changes and modifications set forth herein and contained in the plans and drawings which are attached hereto as exhibits, all of the provisions of the Zoning Ordinance in force and effect at the time of the enactment of this Brookie Property PUD including, without limitation, the DP Provisions, the Landscaping Standards, the Lighting Standards, and the Sign Standards, shall apply to the Real Estate.

SECTION 5. DEVELOPMENT STANDARDS. The applicable development standards for Area A and Area B and Area C are specified in what is attached hereto and incorporated herein by reference as Exhibit F.

SECTION 6. ARCHITECTURAL STANDARDS. The applicable architectural standards for Area A and Area B and Area C are specified in what is attached hereto and incorporated herein by reference as Exhibit G.

SECTION 7. CONCEPT PLAN AND DEVELOPMENT OF REAL ESTATE. The Development Plan for the Real Estate shall be submitted approved in one (1) phase pursuant to the Concept Plan. The Development Plan for the Real Estate may be submitted at any time within three (3) years from the enactment of this Brookie Property PUD, without the need for an extension of time from the Plan Commission; however, a Development Plan for the Real Estate may not be submitted more than three (3) years after the date of the enactment of this PUD Ordinance, without an extension of time from the Plan Commission.

SECTION 8. DEFINITIONS. The following definitions shall apply in this Brookie

Property PUD:

- A. **Concept Plan:** Attached hereto and incorporated herein by reference as Exhibit "H" is the Concept Plan for Area A and Area B and Area C.
- B. **DPR Provisions:** Attached hereto and incorporated herein by reference as Exhibit "B" are the Development Plan Review provisions (the "DPR Provisions") of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Brookie Property PUD.
- C. **Landscape Standards:** Attached hereto and incorporated herein by reference as Exhibit "C" are the Landscape Standards (the "Landscape Standards") of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Brookie Property PUD.
- D. **Lighting Standards:** Attached hereto and incorporated herein by reference as Exhibit "D" are the Lighting Standards (the "Lighting Standards") of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Brookie Property PUD.
- E. **Sign Standards:** Attached hereto and incorporated herein by reference as Exhibit "E" are the Sign Standards (the "Sign Standards") of the Zoning Ordinance that were in full force and effect at the time of the enactment of the Brookie Property PUD.

ALL OF WHICH IS RESOLVED THIS _____ DAY OF _____ 2004 BY THE TOWN COUNCIL OF THE TOWN OF WESTFIELD, INDIANA.

WESTFIELD TOWN COUNCIL

Voting For

Voting Against

Abstain

Teresa Otis Skelton

Teresa Otis Skelton

Teresa Otis Skelton

Jack Hart

Jack Hart

Jack Hart

David Mikesell

David Mikesell

David Mikesell

Bob Smith

Bob Smith

Bob Smith

Ron Thomas

Ron Thomas

Ron Thomas

ATTEST:

Cindy Gossard, Clerk Treasurer

EXHIBIT A

REAL ESTATE - LEGAL DESCRIPTION

SURVEY LAND DESCRIPTION

A part of the Southwest Quarter of Section 15, Township 18 North, Range 3 East, in Hamilton County, Indiana, being more particularly described as follows:

Commencing at the southwest corner of said Quarter Section; thence North 00 degrees 11 minutes 49 seconds West (assumed bearing) along the west line thereof a distance of 657.00 feet to a mag nail, being the Point of Beginning; thence continuing North 00 degrees 11 minutes 49 seconds West along said west line a distance of 660.93 feet to the northwest corner of the South Half of said Quarter; thence North 88 degrees 52 minutes 54 seconds East along the north line of said Half Quarter Section a distance of 656.61 feet to the southwest corner of a 14.00-acre tract of land as described in Deed Record 142, page 494 in the Office of the Recorder of Hamilton County, Indiana, said corner also being the southwest corner of the East Half of the Northwest Quarter of said Southwest Quarter; thence North 00 degrees 10 minutes 45 seconds West along the west line of said land and the west line of said Half Quarter Quarter Section a distance of 464.34 feet to the northwest corner of said land; thence North 88 degrees 52 minutes 54 seconds East along the north line of said land a distance of 1313.50 feet to the northeast corner thereof and the east line of the West Half of the Northeast Quarter of said Southwest Quarter; thence South 00 degrees 08 minutes 36 seconds East along the east line of said land and the east line of said Half Quarter Quarter a distance of 464.35 feet to the southeast corner of said land and the southeast corner of said Half Quarter Quarter Section; thence North 88 degrees 52 minutes 54 seconds East along the north line of the South Half of said Southwest Quarter a distance of 656.61 feet to the east line of said Southwest Quarter; thence South 00 degrees 07 minutes 31 seconds East along said east line a distance of 1315.73 feet to the southeast corner thereof; thence South 88 degrees 50 minutes 00 seconds West along the south line of said Southwest Quarter a distance of 1033.81 feet to a mag nail; thence North 00 degrees 11 minutes 49 seconds West a distance of 657.00 feet to a 5/8" rebar with cap stamped "Schneider Firm #0001"; thence South 88 degrees 50 minutes 00 seconds West a distance of 1591.00 feet to the Point of Beginning, containing 69.37 acres, more or less.

EXHIBIT B

DEVELOPMENT PLAN REVIEW (DPR) PROVISIONS

WC § 16.04.165 Development Plan Review.

Purpose: A Development Plan Review process is hereby established for the Town of Westfield and Washington Township, Hamilton County, Indiana. The purpose of the Development Plan Review process is to: (i) promote innovation and creativity in the design of the built environment; and, (ii) assure the compatibility of new development or major additions to existing development with the surrounding community. The Development Plan Review Process shall be applicable to all zoning districts. The Development Plan Review Process shall be applicable to any: (i) new construction; (ii) building additions; (iii) new or expanded surface parking areas; (iv) new or expanded surface loading areas; (v) exterior building renovations that require a building permit; or, (vi) permanent signs that require a permit pursuant to WC 16.08 et seq., located within the planning and zoning jurisdiction of the Westfield – Washington Township Plan Commission. The approval or disapproval of a Development Plan is hereby delegated to the Plan Commission, or, in certain limited situations as set forth below, to the Director.

A. Districts Designated for Development Plan Review.

The approval of a Development Plan shall be a prerequisite for any: (i) new construction; (ii) building additions; (iii) new or expanded surface parking areas; (iv) new or expanded surface loading areas; (v) exterior building renovations that require a building permit; or, (vi) permanent signs that require a permit pursuant to WC 16.08 et seq., in all zoning districts contained in this Ordinance.

B. Development Plan Authority.

1. Development Plan Authority Delegated to the Plan Commission.

The authority to approve or disapprove a Development Plan for the following developments is hereby delegated to the Plan Commission:

- a. any development for a use *other than* a Single Family Residential Use in a Residential District (AG-SF1, AG-SF-I, SF2, SF3, SF4, SF5);
- b. any proposed development in any Multi-Family District (MF-1, MF-2);
- c. any proposed development in any Business District (GO, GO-PD, LB, LB-H, LB-PD, GB, GB-PD, SB, SB-PD);
- d. any proposed development in any Industrial District (EI, EI-PD, OI, OI-PD);
- e. any proposed development of a Single Family Subdivision (AG-SF1, AG-SF-I, SF2, SF3, SF4, SF5); and,
- f. any proposed permanent signs, in any district, that require a permit pursuant to WC 16.08 et seq.

2. Development Plan Authority Delegated to the Director.

The authority to approve or disapprove a Development Plan for any proposed development of or addition to a single family dwelling or accessory residential structure on *an individual lot* within a Residential District is hereby delegated to the Director.

C. Development Requirements - General.

Each Development Plan shall demonstrate compliance with the Development Requirements specific to each District as well as the following Development Requirements:

1. Compliance with all applicable development standards of the zoning district in which the real estate is located;
2. Compliance with all applicable provisions of any Overlay District in which the real estate is located;
3. Compliance with all applicable provisions of the Subdivision Control Ordinance (unless a waiver has been granted, in which case compliance with the terms and conditions of the waiver grant shall be required);
4. Compliance with all applicable provisions of this Chapter WC16.04.165 (unless a waiver has been granted, in which case compliance with the terms and conditions of the waiver grant shall be required);
5. The proposed development shall be appropriate to the site and its surroundings based upon the recommendations contained in the Westfield - Washington Township Comprehensive Plan;
6. The design and location of proposed street and highway access points shall minimize safety hazards and congestion;
7. The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development;
8. The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development; and,
9. The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.

D. Development Requirements for Each District.

1. Any development for a use other than a Single Family Residential Use in a Residential District (AG-SF1, AG-SF-I, SF2, SF3, SF4, SF5).

a. Site Access and Site Circulation:

- (1) All proposed site access locations shall comply with the requirements of the Indiana Department of Transportation, Driveway Permit Manual (1996 Version) and any amendments thereto, which is hereby incorporated into and made a part of this Ordinance by this reference;
- (2) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development; and,
- (3) Site circulation patterns shall be designed to minimize conflicts between vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the site.

Where site access has been officially approved by an agency other than the Town of Westfield, the Westfield - Washington Township Plan Commission shall not be compelled to include such approved access in the approval of the Development Plan.

b. Landscaping - See WC 16.06 et seq.

c. Lighting - See WC 16.07 et seq.

d. Signs - See WC 16.08 et seq.

e. Building Orientation.

- (1) No loading spaces or loading docks shall be permitted to face a public street.
- (2) Loading spaces or loading docks facing or oriented to a side or rear lot line of an adjoining Residential District shall be screened from view from such Residential District by the use of: (i) evergreen trees; or, (ii) a combination of overstory, understory, or evergreen trees and a solid wall or fence, which creates a dense visual barrier to a minimum height of six (6) feet.

f. Building Materials.

In order to insure compatibility of non-residential uses with surrounding residential uses in Residential Districts, all nonresidential uses shall use exterior

building materials, roofline treatments and roofing materials that are compatible with and consistent with residential construction methods and materials.

2. Any Multi-Family District (MF-1, MF-2).

a. Site Access and Site Circulation:

- (1) All proposed site access locations shall comply with the requirements of the Indiana Department of Transportation, Driveway Permit Manual (1996 Version) and any amendments thereto, which is hereby incorporated into and made a part of this Ordinance by this reference;
- (2) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development; and,
- (3) Site circulation patterns shall be designed to minimize conflicts between vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the project. Multi-family projects shall be provided with internal sidewalks or pathways along all internal streets as well as sidewalks or pathways along perimeter streets. All sidewalk or pathway systems shall be designed so as to connect to an existing or proposed sidewalk or pathway network.

Where site access has been officially approved by an agency other than the Town of Westfield, the Westfield - Washington Township Plan Commission shall not be compelled to include such approved access in the approval of the Development Plan.

- b. Landscaping - See WC 16.06 et seq.
- c. Green Space Areas - See WC 16.04.040 Multi-Family Districts.
- d. Lighting - See WC 16.07 et seq.
- e. Signs - See WC 16.08 et seq.
- f. Building Materials.

All new buildings or building additions located in any Multi-Family District shall utilize two (2) or more exterior building materials (excluding window, door, and roofing materials). The primary exterior building material used on each facade shall be either brick or Exterior Insulation and Finish System (E.I.F.S.) and shall constitute a minimum of seventy-five (75) percent of each facade.

3. Any Business District (GO, GO-PD, LB, LB-H, LB-PD, GB, GB-PD, SB, SB-PD),

a. Site Access and Site Circulation:

- (1) All proposed site access locations shall comply with the requirements of the Indiana Department of Transportation, Driveway Permit Manual (1996 Version) and any amendments thereto, which is hereby incorporated into and made a part of this Ordinance by this reference;
- (2) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development; and,
- (3) Site circulation patterns shall be designed to minimize conflicts between vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the site.

Where site access has been officially approved by an agency other than the Town of Westfield, the Westfield - Washington Township Plan Commission shall not be compelled to include such approved access in the approval of the Development Plan.

b. Landscaping - See WC 16.06 et seq.

c. Lighting - See WC 16.07 et seq.

d. Signs - See WC 16.08 et seq.

e. Building Orientation.

- (1) Each building façade visible from a public street or oriented to an adjoining Residential District shall be a finished façade.
- (2) No loading spaces or loading docks shall be permitted to face a public street or an adjoining Residential District.
- (3) No outside storage shall be permitted between an established building line and the right-of-way of a public street or an adjoining Residential District.
- (4) All roof or ground mounted mechanical equipment shall be completely enclosed. Ground-mounted enclosures for mechanical equipment shall be landscaped on all sides not facing the building served.

f. Building Materials.

In order to create variation and interest in the built environment, all new buildings or building additions located within any Business District shall use the exterior building materials specified below on each facade visible from a public street or an adjoining Residential District:

- (1) All brick (excluding window, display window, door, roofing, fascia and soffit materials); or,
- (2) Two (2) or more building materials (excluding window, display window, door and roofing materials), provided, however, that the primary building material shall be either brick or Exterior Insulation and Finish System (E.I.F.S.) and shall constitute a minimum of sixty (60) percent of each facade visible from a public street or an adjoining Residential District.

The exterior building material selection shall be supplemented with the use of multiple colors, multiple textures (e.g., rough, smooth, striated, etc.) or the addition of architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.) on each facade visible from a public street or an adjoining Residential District:

4. Any Industrial District (EI, EI-PD, OI, OI-PD).

a. Site Access and Site Circulation:

- (1) All proposed site access locations shall comply with the requirements of the Indiana Department of Transportation, Driveway Permit Manual (1996 Version) and any amendments thereto, which is hereby incorporated into and made a part of this Ordinance by this reference;
- (2) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development; and,
- (3) Site circulation patterns shall be designed to minimize conflicts between vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the site.

Where site access has been officially approved by an agency other than the Town of Westfield, the Westfield - Washington Township Plan Commission shall not be compelled to include such approved access in the approval of the Development Plan.

b. Landscaping - See WC 16.06 et seq.

c. Lighting - See WC 16.07 et seq.

d. Signs – See WC 16.08 et seq.

e. Building Orientation.

- (1) Each building façade visible from a public street or oriented to an adjoining Residential District shall be a finished façade.
- (2) No loading spaces shall be permitted to face a public street or an adjoining Residential District.
- (3) No outside storage shall be permitted between an established building line and the right-of-way of a public street or an adjoining Residential District.
- (4) All roof or ground mounted mechanical equipment shall be completely enclosed. Ground-mounted enclosures for mechanical equipment shall be landscaped on all sides not facing the building served.

f. Building Materials.

In order to create variation and interest in the built environment, all new buildings or building additions located within any Industrial District shall use the exterior building materials specified below on each facade visible from a public street or an adjoining Residential District:

- (1) Brick or other masonry material. Other masonry materials shall include:
 - a. Architectural concrete, if the surface of the architectural concrete simulates brick or stone (e.g., limestone, marble, or, granite);
 - b. Pre-cast concrete, if the surface of the pre-cast concrete is painted, textured (e.g. rough, striated, imprinted with a pattern or form), or designed to simulate brick or stone (e.g., limestone, marble, or, granite);
 - c. External Insulation and Finish System (E.I.F.S.); or,
 - d. Stone.
- (2) If a masonry material other than brick is utilized, it shall be supplemented with the use of multiple colors, multiple textures (e.g., rough, smooth, striated, etc.) or the addition of architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.) on each facade visible from a public street or an adjoining Residential District.
- (3) The primary exterior building material shall constitute a minimum of sixty (60) percent of the available wall area (exclusive of window and doors) of each facade visible from a public street or an adjoining Residential District.

5. Any Single Family Subdivision Development in a Residential District (AG-SF1, AG-SF-I, SF2, SF3, SF4, SF5).

a. Site Access and Site Circulation:

- (1) All proposed site access locations shall comply with the requirements of the Indiana Department of Transportation, Driveway Permit Manual (1996 Version) and any amendments thereto, which is hereby incorporated into and made a part of this Ordinance by this reference;
- (2) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development; and,
- (3) Site circulation patterns shall be designed to minimize conflicts between, vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the subdivision. Subdivisions shall be provided with internal sidewalks or pathways along all internal streets as well as sidewalks or pathways along perimeter streets. All sidewalk or pathway systems shall be designed so as to connect to an existing or proposed sidewalk or pathway network.

Where site access has been officially approved by an agency other than the Town of Westfield, the Westfield - Washington Township Plan Commission shall not be compelled to include such approved access in the approval of the Development Plan.

b. Landscaping - See WC 16.06 et seq.

c. Lighting - See WC 16.07 et seq.

d. Signs - See WC 16.08 et seq.

e. Building Orientation.

In order to create variation and interest in the built environment, all new single family subdivisions shall utilize appropriate techniques (e.g., plat restrictions, building setback lines, or other method as approved by the Plan Commission) to accomplish the design objectives as set forth below:

At least one (1) of the following two (2) design objectives:

- (1) Development of single family subdivisions in which single family lots are so laid out that dwellings are located with the front of the dwelling oriented toward the perimeter street of the subdivision. This design objective may be accomplished through the utilization of frontage road in

those instances where the classification of the perimeter street would prohibit individual lots from gaining direct access to the perimeter street; or,

- (2) Single family dwellings located on lots adjacent to a perimeter street of a subdivision and located so as to have a rear or side façade oriented to said perimeter street shall utilize multiple textures (e.g., rough, smooth, striated, etc.) or multiple architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.) on each façade visible from the perimeter street; and,

At least two (2) of the following three (3) design objectives:

- (1) Development of single family subdivisions in which the front façade of an attached or detached front load garages are stepped back from the front building line by at least one-half of the depth of the single family dwelling on the lot;
- (2) Development of single family subdivisions in which the building setback line varies within each block face to eliminate monotonous building placement; or,
- (3) Development of single-family subdivisions in which no two single-family dwellings may be located on side to side adjacent lots with the same combination or proportion of roofing or siding materials on each façade visible from a public street. This design objective may be accomplished through the use of different combinations or proportions of roofing or siding materials on each front façade, like-oriented façade and facing façade of single-family dwellings located on adjacent lots and visible from a public street. Simple variation in color scheme shall not be deemed sufficient.

f. Building Materials.

In order to create variation and interest in the built environment, all single family dwellings built in a single family subdivision in a Residential District (AG-SF1, AG-SF 1 I, SF2, SF3, SF4 and SF5) shall be restricted in the use of roofing and siding materials on all façades as follows:

- (1) No single family dwelling shall utilize rolled roofing or tar paper as the visible final layer of roofing materials.
- (2) No single family dwelling shall utilize vinyl siding or aluminum siding, individually or in combination, on more than twenty-five (25) percent (exclusive of window or door areas) of any façade.

g. Development Plan as Requirement for Primary Plat Approval.

Approval shall not be granted to any primary plat unless a development plan shall have been approved prior to or contemporaneous with the primary plat.

E. Findings Required for Approval of a Development Plan.

The Plan Commission or Director may approve a Development Plan upon finding that:

1. The proposed development is consistent with the intent and purpose of the Westfield – Washington Township Comprehensive Plan; and,
2. The proposed development plan satisfies the development requirements specified in this Ordinance.

F. Development Requirements Which May Be Waived.

In order to encourage innovative building and site designs capable of enhancing the quality of the built environment of Westfield – Washington Township, the Plan Commission may, pursuant to IC 36-7-4-1402(b)(4), waive Development Requirements related to: Site Access and Site Circulation; Building Orientation; or, Building Materials, for the approval of a Development Plan upon making findings as specified in WC 16.04.165, G., below. The Plan Commission may not waive any other Development Requirements. Any other Development Requirement must be complied with unless a variance of such Development Requirement is obtained from the Board of Zoning Appeals.

If a Site Access waiver is requested, the Plan Commission may not grant such waiver unless a favorable review comment or letter regarding the site access waiver is received from the Town, County or State agency having jurisdiction over access to and from the applicable street.

G. Conditions for Waiver of Development Requirements.

The Plan Commission may approve a waiver of Development Requirements only upon finding that:

1. The proposed development represents an innovative use of site design / site access design / site circulation design / building orientation / building materials / landscaping which will enhance the use or value of area properties;
2. The proposed development will not be injurious to the public health, safety, morals or general welfare of Westfield – Washington Township;
3. The strict application of the Development Requirements of the Westfield – Washington Township Zoning Ordinance will result in a development of the real estate which is undesirable when compared with the proposed development;
4. The proposed development is consistent with and compatible with other development located in the area; and,

5. The proposed development is consistent with the intent and purpose of the Westfield - Washington Township Comprehensive Plan.

H. Plan Documentation and Supporting Information.

All requests for Development Plan approval shall include the following plans, as set forth Subsection J., below:

1. Site Plan. *
 2. Site Plan (for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).
 3. Overall Plan. *
 4. Landscape Plan. *
 5. Building Elevations.
 6. Lighting Plan. *
 7. Sign Plan. *
 8. Site Access and Site Circulation Plan. *
 9. A Traffic Impact Study (when a proposed development meets or exceeds the warrants of the INDOT Traffic Impact Study Guidelines (i.e., (i) 150 or more dwelling units; (ii) 15,000 square feet or more of retail space; (iii) 35,000 or more square feet of office space; (iv) 70,000 square feet or more square feet of industrial space; (v) 30,000 square feet or more of educational space; (vi) 120 or more occupied rooms; (vii) 46,000 or more square feet of medical space; or, (viii) any mixed use development which generates 100 or more peak hour trips in the peak direction).
 10. Statement of Development Build-out. *
 11. Green Space Provisions. *
- * Items not required for an individual single family dwelling or accessory residential structure on an individual lot in a Residential District.

I. Procedures.

1. Application for Development Plan Approval by the Plan Commission shall be in compliance with the following procedures:
 - a. Pre-Filing Conference.

A pre-filing conference with Staff is required prior to the filing of any Development Plan for public hearing before the Plan Commission. At the pre-filing conference, the petitioner shall provide three (3) copies of a preliminary sketch plan capable of depicting the proposed development. Staff may take up to ten (10) business days to review the proposed sketch plan and provide comments back to the petitioner. The petitioner is encouraged to incorporate the comments received from Staff into the design of the project prior to filing for Development Plan approval.

Notwithstanding anything contained in this Ordinance to the contrary, neither the Staff's conceptual review of the sketch plan nor Staff's comments to the petitioner relating thereto shall be considered a denial, approval or decision concerning the proposed Development Plan.

b. Who May File.

Development Plans may be initiated by a petition signed by the owners of the land involved in the petition, or the owner's authorized agent. If an authorized agent files a petition, a signed and notarized consent form must accompany the application.

c. Filing Deadline.

All Development Plans shall be filed at least forty (40) days prior to the initial public meeting at which they are to be considered by the Plan Commission.

d. Forms of Filing.

All Development Plans for public hearing by the Plan Commission shall be on forms provided by Community Services Department. In addition, Site Plans, Overall Plans, Landscape Plans, Building Elevations, Lighting Plans, Sign Plans, Site Access and Site Circulation Plans, surveys, legal descriptions, proposed commitments and any other relevant supporting documentation shall be of a usable scale and quality. The number of copies of all petitions and supporting documentation required to be filed shall be as established by the Community Services Department.

e. Findings of Fact.

The petitioner shall, at the time of filing of the petition, file proposed detailed written findings of fact.

f. Specifying Request.

All Development Plans shall specify the approvals or waivers requested. Any items, even if indicated on the proposed Site Plan, Overall Plan, Building Elevations or Site Access and Site Circulation Plan, shall not be considered a part of the request presented to the Plan Commission for its consideration unless specified in the Development Plan.

g. Docketing by Community Services Department.

Each Development Plan filed shall be reviewed for completeness. All Development Plans which are determined to be in proper form pursuant to

the guidelines established by the Community Services Department shall, within ten (10) days of filing, be numbered and docketed by the Staff for an initial hearing by the Plan Commission.

h. Investigation of Petitions.

Upon assignment of a number and hearing date, a copy of the Development Plan and relevant supporting documentation shall be distributed to members of Staff and the members of the Technical Advisory Committee for review and comment.

The Director may submit a written report to the Plan Commission stating any facts concerning the physical characteristics of the area involved in the Development Plan, together with a recital of surrounding land use and public facilities available to service the area, or other pertinent facts. The written report may also contain opinions of the Staff concerning the proposal contained in the Development Plan and a report from members of the Technical Advisory Committee. A copy of such statement shall be made available to the Petitioner and all remonstrators of record, if any.

i. Notice Requirements.

All notices for public hearings regarding a Development Plan Approval before the Plan Commission shall be provided in accordance with the following requirements:

- (1) Due and proper notice shall be served according to the provisions of Indiana law IC 5-3-1-2.
- (2) Petitioners shall notify all contiguous property owners of public hearings via certified mail, which shall be received by the contiguous property owners at least ten (10) days prior to the date of public hearing.
- (3) The petitioner must present a copy of public notice, proof of publication, and copies of certified mail receipts to the Community Services Department Staff at least five (5) days prior to the time of public hearing as proof of fulfilling due and proper notice requirements.

Any Development Plan, which has been delegated to Director for approval, may occur without public notice and without a public hearing.

j. **Conduct of Public Hearings.**

In order to provide all interested parties with a fair hearing, Petitioners and remonstrators shall be afforded a reasonable amount of time for the presentation of evidence, statements and argument at the public hearing of every Petition before the Plan Commission. The order of the presentation of evidence, statements and arguments shall be as follows:

- (1) Staff of the Plan Commission shall be given a reasonable time to introduce the matter being considered and for the presentation of evidence or statements regarding the petition being considered.
- (2) Petitioners shall be allotted a reasonable time to present evidence, statements and arguments in support of the petition being considered.
- (3) Plan Commission members shall be afforded the opportunity to ask questions about the petition of either Staff or the Petitioner.
- (4) Members of the public interested in the petition, whether for or against the petition, shall be allotted a reasonable time to present evidence, statements and arguments related to the petition being considered.
- (5) The Petitioner shall have a reasonable opportunity for rebuttal, which shall include only evidence, statements and argument in rebuttal of or in response to comments of Staff, the Plan Commission or members of the public, and a brief closing statement.

At the conclusion of remarks by any party, the Plan Commission shall have the right to ask questions pertaining to the evidence, statements and argument presented

The presiding officer shall have authority to cut off repetitious and irrelevant testimony and shall make reasonable efforts to allow equal time for Petitioners and remonstrators.

All persons appearing at a public hearing shall act in an orderly and courteous manner. Discourteous, disorderly or contemptuous conduct shall be regarded as a breach of the privileges extended by the Plan Commission and shall be dealt with by the presiding officer as is deemed fair and proper.

2. Application for Development Plan Approval by the Director shall be accomplished in compliance with the following procedures:

- a. All Development Plans for approval by the Director shall be on forms provided by Community Services Department. In addition, Site Plans, Building Elevations, surveys, legal descriptions, proposed commitments and any other relevant supporting documentation shall be of a usable scale and quality. The number of copies of a Development Plan and supporting documentation required to be filed shall be as established by the Community Services Department.
- b. Contact the Director to make an appointment to deliver the Development Plan and provide a brief explanation of the proposed development.
- c. Director shall have a period of not more than fifteen (15) days in which to review the proposed Development Plan and either make a decision concerning the Development Plan or request, in writing, additional information from the applicant.
- d. Director may seek the advice and comment of members of Staff or the Technical Advisory Committee prior to making a decision.
- e. Any Development Plan, which has been delegated to the Director, may occur without public notice and without a public hearing.
- f. Appeals of Determinations by Director.

Any determination of the Director made under the authority of this Chapter may be appealed by any interested party to the Plan Commission within five (5) business days of such decision by filing a letter with the Plan Commission. Such letter shall request a hearing on the matter by the Plan Commission at the Plan Commission's next regularly scheduled meeting for which published notice of the appeal pursuant to I.C. 5-3-1 can be provided.

2. Fees.

In order to defray administrative costs, the following fees shall be applicable:

- a. Development Plans filed for Plan Commission approval - \$330.00 plus \$15 per acre or portion thereof; or,
- b. Development Plans filed for Director's approval - included in the building permit fee.

The applicant shall pay all fees at the time of filing of a Development Plan.

3. Hearings.

All public hearing regarding a Development Plan before the Plan Commission shall be conducted in accordance with the procedures set forth in the Rules of Procedure of the Plan Commission and in this Subsection I.

4. Amendments.

a. Amendments to Development Plans pending determination by the Plan Commission.

(1) Amendments Proposed At A Public Hearing.

The applicant may make amendments to Development Plans pending determination by the Plan Commission at any time prior to a vote being called for by the Plan Commission. If, in the sole discretion of the Plan Commission, the proposed amendment is of such a nature that additional time is needed for review, the Plan Commission may continue the consideration of such amended Development Plan to the next meeting of the Plan Commission.

The Plan Commission, in its sole discretion, may assign a continued Development Plan to a committee of the Plan Commission for further review and evaluation prior to the next meeting of the Plan Commission.

If amendments are presented by the Petitioner and agreed to by the Plan Commission at the public hearing, revised plans indicating all amendments, as approved by the Plan Commission, shall be filed with the Community Services Department within thirty (30) days of the Plan Commission hearing or prior to the issuance of an Improvement Location Permit, whichever is earlier.

(2) Amendments To Development Plans Prior To Preparation Of A Staff Report.

In order for the written Staff Report regarding a Development Plan to include comments and recommendations related to plans amended in response to comments provided by Staff or members of the Technical Advisory Committee, any such amendments must be received by Staff at least two (2) weeks prior to the scheduled public hearing by the Plan Commission.

If the Director determines that additional changes have been made to the Development Plan beyond those necessary to comply with the recommendations of Staff or members of the Technical

Advisory Committee, the Director may continue the public hearing of the Development Plan before the Westfield – Washington Township Plan Commission and require the re-submittal of the amended plans for review by Staff and members of the Technical Advisory Committee.

b. Amendments To Development Plans Pending Determination By The Director.

The applicant may make amendments to Development Plans pending determination by the Director at any time prior to a determination being made by the Director. If, in the sole discretion of the Director, the proposed amendment is of such a nature that additional time is needed for review, the amended Development Plan shall be deemed a new filing and shall be reviewed within the time frames set forth in WC 16.04.165, I., 2., above for the initial review of Development Plans by the Director.

c. Amendments to Approved Development Plans.

Minor amendments to Development Plans which have already received approval from the Plan Commission or the Director and which do not involve: (a) an increase in height, area, bulk or intensity of land uses; (b) the designation of additional land uses; (c) the reduction in perimeter yards; (d) the addition of driveways or access points; or, (e) reduction in the amount of parking for any use, may be authorized by the Director without a public hearing in its continuing administration of the Development Plan if, in the determination of the Director, the requested minor amendments do not adversely impact the purpose or intent of the overall development.

Such minor amendments authorized by the Director shall be reported, in writing, to the Plan Commission at the next regular meeting of the Plan Commission.

If the Director determines that the proposed minor modification is of such a nature as to adversely impact the purpose or intent of the overall development, or if the proposed modification includes an increase in intensity of any land use or if the proposed modification includes the designation of an additional land use(s), petitioner shall be required to file a new petition for Development Plan Approval.

Any decision of the Director regarding the amendment of Development Plan may be appealed by any interested party to the Plan Commission within thirty (30) days of such determination.

5. Signature for Findings.

All findings specified above for the approval of a Development Plan shall be reduced to writing and signed by the Director of the Community Services Department in the case of a determination by the Director, or by the President of the Plan Commission in the case of a determination by the Plan Commission, and retained as a part of the permanent record of the determination.

J. Plan Documentation.

1. Site Plan (For Site Plan requirements for individual single family dwellings or accessory residential structure on an individual lot in a Residential District, see WC 16.040165, J., 2.).

A site plan (indicates the nature of the proposed development) filed in connection with the submission of a Development Plan shall be drawn to scale of not more than 1"=100' and shall include the following items:

- a. North arrow;
- b. Graphic scale;
- c. Address of the site;
- d. Proposed name of the development;
- e. Area map insert showing the general location of the site referenced to major streets, section lines and Alternative Transportation System, as well as the zoning and land use of adjacent property;
- f. Legal description of the site;
- g. Boundary lines of the site including all dimensions of the site;
- h. Names, centerlines and right-of-way widths of all streets, alleys and easements;
- i. Layout, number, dimension and area (in square feet and acres) of all lots and out lots with zoning setback lines or building setback lines;
- j. Location and dimensions of all existing structures, including paved areas;
- k. Location and dimensions of all proposed structures, including paved areas, and indicated by cross-hatching;
- l. Location and name of all existing and proposed public or private streets, access easements, Alternative Transportation System, and rights-of-way within two-hundred (200) feet of the site;
- m. Location of all floodway and floodway fringe areas within the boundaries of the site;
- n. Location of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable;
- o. Use of each structure by labeling including approximate density or size of all proposed uses and structures on the site (e.g. parking - # of parking spaces required and provided, residence - # of dwelling units per net acre, office - gross floor area);

- p. Structures proposed for demolition should be indicated as such;
- q. Distance of all structures from front, rear and side lot lines. (This distance is measured as a line from the point where the structure is closest to the lot line. This line is perpendicular to the lot line.);
- r. Location of any proposed or existing driveway and its width at the lot line. (Any connection to an alley must also be indicated);
- s. All improvements to street system on-site and off-site;
- t. Plan for sidewalks or Alternate Transportation System;
- u. Measurement of curb radius and/or taper;
- v. Names of legal ditches and streams on or adjacent to the site;
- w. Location and type (e.g. ground, pole, wall) of all signs on the site;
- x. Areas reserved for park, recreation, conservation, wetland, common area, lake, trails or other similar uses;
- y. Existing zoning and land use of all adjoining real estate; and,
- z. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Site Plan requirements listed above, which are not necessary to support a thorough review of the project.

2. Site Plan (Required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).

A site plan (indicates the nature of the proposed development) filed in connection with the submission of a Development Plan shall be drawn to scale of not more than 1"=100' and shall include the following items:

- a. North arrow;
- b. Graphic scale;
- c. Address of the site;
- d. Legal description of the site;
- e. Boundary lines of the site including all dimensions of the site;
- f. Names, centerlines and right-of-way widths of all streets, alleys and easements;
- g. Location and dimensions of all existing structures, including paved areas;
- h. Location and dimensions of all proposed structures, including paved areas, and indicated by cross-hatching;
- i. Location of all floodway and floodway fringe areas within the boundaries of the site;
- j. Location of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable;
- k. Use of each structure by labeling and size (e.g. one story house - 1,200 sq. ft., detached garage - 576 sq. ft., storage shed - 120 sq. ft.);
- l. Structures proposed for demolition should be indicated as such;

- m. Distance of all structures from front, rear and side lot lines. (This distance is measured as a line from the point where the structure is closest to the lot line. This line is perpendicular to the lot line.);
- n. Location of any proposed or existing driveway and its width at the lot line. (Any connection to an alley must also be indicated);
- o. Measurement of curb radius and/or taper;
- p. Names of legal ditches and streams on or adjacent to the site; and,
- q. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Site Plan requirements listed above, which are not necessary to support a thorough review of the project.

3. Overall Plan (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).

An Overall Plan (if applicable, indicates the nature of the subject project and its relationship to the major features of the larger integrated center of which the project is a part) filed in connection with the submission of a Development Plan shall be drawn to scale of not more than 1"=100' and shall include the following items:

- a. North arrow;
- b. Graphic scale;
- c. Address of the site;
- d. Proposed name of the development;
- e. Area map insert showing the general location of the site referenced to major streets, section lines and Alternative Transportation System, as well as the zoning and land use of adjacent property;
- f. Legal description of the site;
- g. Boundary lines of the site including all dimensions of the site;
- h. Names, centerlines and right-of-way widths of all streets, alleys and easements;
- i. Layout, number, dimension and area (in square feet and acres) of all lots and out lots with zoning setback lines and/or building setback lines;
- j. Location and name of all existing and proposed public or private streets, access easements, Alternative Transportation System, and rights-of-way within two-hundred (200) feet of the site;
- k. Location of all floodway and floodway fringe areas within the boundaries of the site;
- l. Location of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable;
- m. All improvements to street system on-site and off-site;
- n. Plan for sidewalks or Alternate Transportation System;

- o. Location, dimensions, and type (e.g. ground, pole, wall) of all signs on the site. Include separate elevations of proposed sign structures with all dimensions drawn to scale;
- p. Areas reserved for park, recreation, conservation, wetland, common area, lake or other similar uses;
- q. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Overall Plan requirements listed above, which are not necessary to support a thorough review of the project.

- 4. Landscape Plan (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).

Landscape Plans filed in connection with the submission of a Development Plan shall: indicate compliance with the requirements of WC 16.06, *et seq.* - Landscaping Standards; be drawn to scale of not more than 1"=100'; and, include the following items:

- a. Names and addresses of owners, developers, plan preparers, plan preparation dates, graphic scale of drawings, and north arrow;
- b. Address of the site;
- c. Proposed name of the development;
- d. Locations and dimensions of all existing and proposed structures, parking lots, driveways, roadways, rights-of-way, sidewalks, pedestrian pathways, bicycle pathways, ground signs, refuse disposal areas bicycle parking areas, freestanding electrical equipment, recreation facilities, utility lines, easements, freestanding structural features, landscape improvements, earth berms, walls, fences, screens, sculptures, fountains, street furniture, lights, courts, paved areas, buffer yards, primary and secondary green space areas, and green belt space;
- e. Locations, quantities, sizes and names (botanical names and common names) - of planting materials;
- f. Existing and proposed grading plans, indicating contours at not more than two-foot intervals;
- g. Locations of barriers to be placed at or beyond the driplines of trees to be preserved and types of materials to be used for barriers;
- h. Planting and installation details as necessary to ensure conformance with required standards;
- i. Details indicating specific grading measures or protective devices to be utilized where trees are to be preserved in areas of cut and fill;
- j. Tables clearly displaying relevant statistical information, including numbers of existing trees, numbers of trees to be preserved, etc.;
- k. Overlay sheets at the same scale as landscape plans that display locations, sizes, and common names of individual trees that measure eight (8) inches

or more in caliper, areas of dense trees or shrubs, and other natural areas which are to be preserved or removed; and,

1. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Landscape Plan requirements listed above, which are not necessary to support a thorough review of the project.

5. **Building Elevations.**

Building Elevations filed in connection with the submission of a Development Plan shall be drawn to scale and shall include the following items:

- a. Address of the site;
- b. Proposed name of the development;
- c. Graphic scale;
- d. Elevations for each facade of the building;
- e. Specification or sample of the type and color of building materials to be used for all wall, window, roof and other architectural features;
- f. A separate true color rendering of the proposed building, including any proposed wall sign; *
- g. Placement, size, color and illumination details for any proposed wall sign; *
- h. Details of any exterior architectural lighting proposed on or around the building; *
- i. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Building Elevation requirements listed above, which are not necessary to support a thorough review of the project.

* Items not required for an individual single family dwelling or accessory residential structure on an individual lot in a Residential District.

6. **Lighting Plan (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).**

Lighting Plans filed in connection with the submission of a Development Plan shall indicate compliance with the requirements of WC 16.07 et seq. - Lighting Standards, be drawn to scale of not more than 1"=100', and, include the following items:

- a. North arrow;
- b. Graphic scale;

- c. Address of the site;
- d. Proposed name of the development;
- e. Boundary lines of the site including all dimensions of the site;
- f. Location and dimensions of all existing structures, parking areas and walkways;
- g. Type and location of all exterior of lighting fixtures, including, wattage and type of light;
- h. Intensity of lighting at base of light structure and at the lot line measured in foot candles;
- i. If architectural building lighting is proposed, indicate the location, type and intensity of lighting on each building façade. (If architectural building lighting is proposed, the photometric plan required in item h. above, shall include the architectural building lighting in the measurement of overall light intensity at the lot line.);
- j. Timing of lighting and method of control of lighting; and,
- k. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion, may, in writing, waive or relax any of the Lighting Plan requirements listed above, which are not necessary to support a thorough review of the project:

7. Sign Plan (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).

Sign Plans filed in connection with the submission of a Development Plan shall indicate compliance with the requirements of WC 16.08 et seq. - Sign Standards; be drawn to scale; and, include the following items:

- a. Address of the site;
- b. Proposed name of the development;
- c. Graphic scale;
- d. A site plan indicating the location of any existing or proposed freestanding signs;
- e. A site plan indicating the location of any building upon which a sign is to be mounted, with the location of the signs indicated;
- f. Elevation of proposed signs including size, materials and color;
- g. A true color rendering of the proposed signs;
- h. Illumination details for proposed signs, including the timing of sign illumination and method of control of such illumination; and,
- i. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

Director, in its sole discretion; may, in writing, waive or relax any of the Sign Plan requirements listed above, which are not necessary to support a thorough review of the project.

8. **Site Access and Site Circulation Plan (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).**

A Site Access and Site Circulation Plan shall be required all development, except individual single family homes. The Site Access and Site Circulation Plan shall be drawn to scale of not more than 1"=100' and shall include the following items:

- a. North arrow;
- b. Graphic scale;
- c. Address of site;
- d. Proposed name of the development;
- e. Area map insert showing the general location of the site referenced to major streets, section lines and Alternate Transportation System;
- f. Names, centerlines and right-of-way widths of all streets, alleys and easements;
- g. Location and name of all existing and proposed public or private streets, access easements and rights-of-way within two-hundred (200) feet of the site;
- h. Location of any proposed or existing driveway onto a street or alley and its width at the lot line;
- i. Depictions of all travel lanes, turning movements, vehicle storage areas and tapers, including dimensions, at all driveways;
- j. All improvements to the street system on-site and off site;
- k. Centerline measurements between all existing and proposed driveways within two-hundred (200) feet of the site;
- l. Measurement of curb radius and/or taper;
- m. Location and dimensions of primary vehicular ways in and around the proposed development;
- n. Location of any proposed or existing sidewalk or pathway;
- j. Any other information necessary to support a thorough review of the project and as requested in writing by the Plan Commission or Director.

The Site Access and Site Circulation Plan requirements listed above may be incorporated into the required Site Plan.

Director, in its sole discretion, may, in writing, waive or relax any of the Site Access and Site Circulation Plan requirements listed above, which are not necessary to support a thorough review of the project.

9. **Traffic Impact Study (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).**

A Traffic Impact Study shall be required when a proposed development will meet or exceed the warrants of the INDOT Traffic Impact Study Guidelines (i.e., (i) 150 or more dwelling units; (ii) 15,000 square feet or more of retail space; (iii) 35,000 or more square feet of office space; (iv) 70,000 square feet or more square feet of industrial space; (v) 30,000 square feet or more of educational space; (vi) 120 or more occupied rooms; (vii) 46,000 or more square feet of medical space; or, (viii) any mixed use development which generates 100 or more peak hour trips in the peak direction). A registered professional engineer shall prepare the Traffic Impact Study. The Traffic Impact Study shall evaluate the impact of present and future traffic generated by the proposed development on the adjacent roadway system. Prior to commencement, an applicant shall meet with the Staff of the Community Development Department to determine an appropriate scope for the Traffic Impact Study.

10. **Statement of Development Build-Out (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).**

Petitioner shall indicate, either on the submitted site plan, overall plan or in writing, a statement of: (i) the order of development of the major infrastructure elements of the project; (ii) project phase boundaries, if any; (iii) the order and content of each phase; and, (iv) an estimate the time frame for build-out of the project.

11. **Green Space Provisions (Not required for individual single family dwellings or accessory residential structure on an individual lot in a Residential District).**

Petitioner shall indicate, either on the submitted landscape plan or in writing, along with any necessary explanatory materials or graphics, a statement of the nature and extent of all existing and proposed green space on the real estate.

K. Transitional Rules.

Any application for Development Plan or Improvement Location Permit which has been filed with the Community Development Department of Westfield – Washington Township and which application is full and complete under the provisions of the Westfield – Washington Township Zoning Ordinance prior to the effective date of this Ordinance shall continue to be processed to completion pursuant to the terms and conditions of the Westfield – Washington Township Zoning Ordinance in effect at the time of making such application.

In the case of a Development Plan subject to these Transitional Rules, substantial completion shall occur within two (2) years of the date of approval by the Plan

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Commission. The Director may, for good cause shown, grant a one-time extension of up to one (1) year in duration to obtain substantial completion. If substantial completion has not occurred within two (2) years of the date of approval, or by the end of the one (1) year extension period if granted by the Director, the developer shall present a Special Request before the Plan Commission for an extension of time in which to achieve substantial completion. If an extension of time is either: not requested; or, denied by either the Director or the Plan Commission, the prior Development Plan approval shall be deemed null and void and any further development of the site shall require the approval of a new Development Plan in compliance with the terms and provisions of the Westfield - Washington Township Zoning Ordinance in effect at the time of filing of the new Development Plan.

Substantial completion shall mean, by way of example, the completion of infrastructure or structural improvements which are essential to: (i) the safe and efficient development of eighty (80) percent or more of the lots in a subdivision; or, (ii) the safe habitability, use or function of a structure.

EXHIBIT C
LANDSCAPING STANDARDS

Medium Shrubs (6½ to 12 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Hamamelis vernalis</i> Vernal Witchhazel	N	8' to 12'	Moderate	Moderate	Rounded to Spreading	Partial Shade to full sun	Moderate	Yellow-red flowers February. Yellow fall foliage.
<i>Hibiscus syriacus</i> Rose-of-Sharon	N	8' to 15'	Moderate	Moderate	Upright	Full sun	Moderate	Susceptible to Japanese beetles and other diseases.
<i>Hydrangea quercifolia</i> Oak Leaf Hydrangea	N	4' to 8'	Slow to Moderate	Moderate	Upright to Irregular	Full shade to full sun	Wet to Moderate	White flowers June-July. Orange, red, or purple fall foliage.
<i>Ilex verticillata</i> Winterberry	N	6' to 10'	Slow to Moderate	Dense	Rounded	Partial shade to full sun	Wet to Moderate	Very high wildlife value. Numerous species eat the fruit.
<i>Kolkwitzia amabilis</i> Beautybush	N	9' to 12'	Moderate to Fast	Dense	Upright to Rounded	Full sun	Moderate	Pink flowers May-June. Pinkish brown fruit.
<i>Philadelphus coronarius</i> Sweet Mockorange	N	10' to 12'	Fast	Dense	Rounded	Partial shade to full sun	Moderate	White, extremely fragrant flowers May-June.
<i>Prunus x cistena</i> Purpleleaf Sand Cherry	N	10' to 15'	Moderate	Dense	Rounded	Full sun	Moderate	Susceptible to Japanese beetles.
<i>Spiraea prunifolia</i> Bridalwreath Spiraea	N	6' to 8'	Fast	Moderate	Upright to Spreading	Full sun	Moderate	White flowers in early summer.
<i>Syringa vulgaris</i> Common Lilac	N	10' to 20'	Moderate	Moderate	Upright to Spreading	Full sun	Moderate	Susceptible to borers and mildew.

Medicinal Shrubs (6 1/2 to 12 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Viburnum x burkwoodii</i> Burkwood Viburnum	N	5' to 7'	Slow to Moderate	Dense	Rounded	Full shade to full sun	Moderate	Susceptible to Japanese beetles. White, fragrant flowers in spring. Red fruit.
<i>Viburnum dentatum</i> Arrowwood	N	8' to 10'	Slow to Moderate	Dense	Rounded to Spreading	Full shade to full sun	Moderate	White flowers May-June. Blue-black berries. Purple fall foliage.
<i>Viburnum dilatatum</i> Linden Viburnum	N	6' to 10'	Slow to Moderate	Dense	Upright to Rounded	Partial shade to full sun	Moderate	White flowers May. Red fruit. Yellow, orange, red fall foliage.
<i>Viburnum ferreri</i> Fragrant Viburnum	N	8' to 12'	Moderate	Dense	Upright to Irregular	Full sun	Moderate	White, fragrant flowers April. Yellow fruit.
<i>Viburnum x juddii</i> Judd Viburnum	N	6' to 8'	Slow to Moderate	Dense	Rounded	Partial shade to full sun	Moderate	White flowers. Red fruit.
<i>Viburnum opulus</i> European Cranberry Bush	N	10' to 15'	Moderate	Dense	Upright to Rounded	Partial shade to full sun	Moderate	White flowers. Red fruit.
<i>Viburnum plicatum</i> Doublefile Viburnum	N	9' to 12'	Moderate	Dense	Upright to Rounded	Partial shade to full sun	Moderate	White flowers in spring. Red to black fruit. Purple red fall foliage.
<i>Viburnum x rhtidophylloides</i> Lantanaphyllum Viburnum	N	8' to 10'	Moderate	Moderate	Upright to Rounded	Partial shade	Moderate	"Willowwood" White flowers May. Red to black fruit. Purple fall foliage.

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Abelia x grandiflora</i> Glossy Abelia	N	3' to 4'	Moderate	Moderate	Rounded	Partial shade to full sun	Moderate	"Sherwood" is a serviceable dwarf cultivar. White flowers July-October.
<i>Abeliophyllum distichum</i> White Forsythia	N	3' to 4'	Moderate	Moderate	Rounded to Irregular	Partial shade to full sun	Moderate	White flowers March-April.
<i>Berberis thunbergii</i> Japanese Barberry	N	4' to 7'	Moderate	Moderate	Rounded to Spreading	Full sun	Moderate	Good barrier plant; however, thorniness makes clean up difficult. Traps leaves and litter.
<i>Buddleia davidii</i> Orange-eye Butterfly Bush	N	5' to 10'	Fast	Moderate	Upright to Spreading	Partial shade to full sun	Moderate	May be killed to the ground during very cold winters. It will, however, return in the spring.
<i>Callicarpa japonica</i> Japanese Beautyberry	N	4' to 6'	Fast	Moderate	Rounded to Spreading	Partial shade to full sun	Moderate	Pink-white flowers July. Violet fruit. <i>C. americana</i> is native species.
<i>Caryopteris x clandonensis</i> Bluebeard	N	3' to 5'	Fast	Moderate	Rounded	Full sun	Moderate to Dry	May be susceptible to winter dieback in severe winters. Blue flowers late summer.
<i>Chaenomeles spectosa</i> Flowering Quince	N	3' to 5'	Fast	Moderate	Rounded to Spreading	Full sun	Moderate	White, pink, or scarlet flowers early spring. Large yellow-green fruit.
<i>Daphne x burkwoodii</i> Burkwood Daphne	Y	2' to 4'	Slow	Dense	Rounded	Partial shade to full sun	Moderate to Dry	"Carol Mackie" is variegated with pink flowers in May.

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Deutzia gracilis</i> Slender deutzia	N	5' to 7'	Slow to Medium	Dense	Rounded	Partial shade to full sun	Moderate	Pure white flowers May-June. Burgundy fall foliage.
<i>Ilex x meserveae</i> Meserveae Holly	Y	5' to 15'	Moderate	Dense	Rounded to Upright	Partial shade to full sun	Moderate	Bluish green foliage. Red fruits on female plants.
<i>Kerria japonica</i> Japanese Kerria	N	6' to 9'	Moderate	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	Yellow flowers May. Yellow- green stems.
<i>Ligustrum obtusifolium</i> Border Privet	N	5' to 8'	Fast	Dense	Spreading	Partial shade to full sun	Moderate	White flowers April. Small blue-black fruit. Purplish fall foliage.
<i>Ligustrum x vicaryi</i> Golden Privet	N	5' to 8'	Fast	Dense	Spreading	Partial shade to full sun	Moderate	White flowers April. Small blue-black fruit. Purplish fall foliage.
<i>Myrica pensylvanica</i> Bayberry	N	5' to 12'	Moderate	Dense	Upright to Rounded	Partial shade to Full Sun	Moderate to Dry	Tolerates road salt.
<i>Picea glauca</i> 'conica' Dwarf Alberta Spruce	Y	3' to 5'	Slow	Very Dense	Pyramidal	Full sun	Moderate	
<i>Pinus mugo</i> Mugo Pine	Y	4' to 6'	Slow	Very Dense	Rounded to Spreading	Full sun	Moderate to Dry	Susceptible to mites and scale.
<i>Prunus glandulosa</i> Dwarf Flowering Almond	N	2' to 5'	Moderate	Open to Dense	Rounded	Full sun	Moderate to Dry	Pink flowers early spring.

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Vitex agnus-castus</i> Chaste Tree	N	3' to 5'	Fast	Moderate	Upright	Partial shade to full sun	Moderate	Grows tree-sized in the south. Our winter, however, keeps the plant shrub-sized. Large, fragrant, lilac flowers in summer.
<i>Weigela florida</i> Old-Fashioned Weigela	N	9' to 12'	Slow to Moderate	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	Deep rose pink flowers May- June. Needs pruning to remain attractive.

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Rhododendron PJM</i> hybrids PJM Rhododendrons	Y	3' to 5'	Moderate	Moderate	Rounded	Partial shade	Moderate	Scarlet-purple flowers in April.
<i>Rhodotypos</i> <i>scandens</i> Jetbead	N	4' to 9'	Moderate to Fast	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	White flowers in spring. Black fruit.
<i>Rhus aromatica</i> 'Gro Lo' Gro Lo Fragrant Sumac	N	6' to 10'	Slow to Moderate	Dense	Spreading to Irregular	Full sun	Moderate	Reliably low growing and maintenance free. Bronze-orange purple fall foliage.
<i>Syringa patula</i> Miss Kim Lilac	N	8' to 12'	Moderate	Dense	Rounded to Upright	Full sun	Moderate	Fragrant lilac flowers May-June. Mauve-purple fall foliage.
<i>Taxus canadensis</i> Canada Yews	Y	3' to 5'	Slow	Dense	Rounded to Spreading	Partial shade to Full Sun	Moderate	
<i>Thuja occidentalis</i> "Woodwardi" Globe Arborvitae	Y	3' to 5'	Slow	Dense	Rounded	Full sun to Partial Shade	Moderate	
<i>Viburnum opulus</i> "Nanum" Dwarf Cranberrybush	N	3' to 5'	Moderate	Dense	Rounded	Partial shade to full sun	Moderate	White flowers May. Red fruit.

Dwarf Shrubs (Under 3 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Buxus microphylla</i> Littleleaf Boxwood	Y	3' to 4'	Slow	Very Dense	Rounded	Partial shade to full sun	Moderate	
<i>Chamaecyparis obtusa</i> "Nana" Hinoki False Cypress	Y	3' to 4'	Slow	Very Dense	Rounded	Partial shade to full sun	Moderate	Protect from the wind.
<i>Cotoneaster apticulatus</i> Cranberry Cotoneaster	N	3' to 6'	Slow to Moderate	Moderate	Spreading	Full sun	Moderate	Light pink flowers in spring. Large red berries. Orange to scarlet fall foliage.
<i>Cotoneaster horizontalis</i> Rockspray Cotoneaster	N	5' to 8'	Slow to Moderate	Moderate	Spreading	Full sun	Moderate	Light pink flowers in spring. Large red berries. Orange to scarlet fall foliage.
<i>Fothergilla gardenii</i> Dwarf Fothergilla	N	3' to 4'	Slow	Moderate	Rounded	Partial shade to full sun	Moderate	Cream colored flowers in April. Yellow, orange, and crimson fall foliage.
<i>Ilex glabra</i> "Compacta" Compact Inkberry Holly	Y	4' to 6'	Slow	Very Dense	Spreading	Partial shade to full sun	Moderate	
<i>Juniperus chinensis</i> "Pfitzerana "Compacta" Nick's Compact Juniper	Y	6' to 10'	Slow to Moderate	Very Dense	Spreading	Full sun	Moderate to dry	

Dwarf Shrubs (Under 3 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Juniperus chinensis</i> "San Jose" San Jose Juniper	Y	6' to 8'	Slow to Moderate	Very Dense	Spreading	Full sun	Moderate to dry	
<i>Juniperus communis</i> Common Juniper	Y	4' to 6'	Slow	Very Dense	Spreading	Full sun	Moderate to dry	
<i>Juniperus conferta</i> Shore Juniper	Y	5' to 9'	Slow	Very Dense	Spreading	Full sun	Moderate to dry	Salt tolerant
<i>Juniperus procumbens</i> Japanese Garden Juniper	Y	10' to 15'	Slow	Very Dense	Spreading	Full sun	Moderate to dry	Cultivars: "Greenmound" "Nana" "Variegata"
<i>Juniperus sabina</i> Savin Juniper	Y	5' to 9'	Slow	Very Dense	Spreading	Full sun	Moderate to dry	Cultivars: "Arcadia" "Broadmoor" "Skandia" "Tamariscifolia"
<i>Potentilla fruticosa</i> Bush Cinquefoil	N	2' to 5'	Slow	Moderate	Upright to Rounded	Full sun	Moderate	Cultivars: "Abbotswood" "Goldfinger" "Moonlight" "Primrose Beauty" "Red Ace" "Tangerine"
<i>Spiraea x bumalda</i> "Anthony Waterer" Anthony Waterer Spirea	N	4' to 5'	Fast	Moderate	Rounded	Full sun	Moderate	Pink flowers June-August. Yellowish fall foliage.

Dwarf Shrubs (Under 3 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Symphoricarpos x chenaultii</i> Chenault Coralberry	N	3' to 6'	Fast	Moderate	Rounded to Spreading	Partial shade to full sun	Moderate	Pinkish-white flowers June-July. Pink fruit.
<i>Taxus baccata</i> "Repandens" Dwarf English Yew	Y	10' to 12'	Slow	Very Dense	Spreading	Partial shade	Moderate	
<i>Tsuga canadensis</i> dwarf cultivars Dwarf Canada Hemlock	Y	5' to 8'	Slow	Dense	Spreading	Partial shade	Moderate	Cultivars: "Nana" "Brandley"
<i>Yucca filamentosa</i> Yucca or Adam's Needle	Y	2' to 5'	Moderate	Open	Upright	Full sun	Moderate to dry	6' high white flower stalks in summer. Foliage resembles that of Iris.

Ground Covers (Less Than 1½ Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Aegopodium podagraria</i> Bishop's Weed or Gout Weed	N	2' to 4'	Fast	Dense	Spreading	Full sun to full shade	Moderate to dry	Invasive, use on difficult sites where nothing else will grow.
<i>Ajuga reptans</i> Bugleweed	Y	6'+	Moderate to Fast	Dense	Spreading	Full to partial shade	Moderate	Invasive
<i>Arundinaria variegata</i> Dwarf Whitestripe Bamboo or Gardener's Garters	N	3' to 6'	Fast	Dense	Upright to Spreading	Full sun to full shade	Moderate	
<i>Comptonia peregrina</i> Sweet Fern	N	4' to 8'	Slow to Moderate	Moderate	Spreading	Partial shade to full sun	Moderate	Prefers slightly acid soils. Small shrub to 3' tall.
<i>Convallaria majalis</i> Lily of the Valley	N	2' to 4'	Moderate	Moderate	Spreading	Full to partial shade	Wet to Moderate	All parts of this plant are poisonous.
<i>Cotoneaster dammeri</i> Bearberry Cotoneaster	N	4' to 6'	Fast	Moderate	Spreading	Full sun	Moderate	Small, pinkish white flowers. Red fruit.
<i>Epimedium</i> hybrids, cultivars and species Barrenwort	N	2' to 5'	Fast	Dense	Spreading	Full to partial shade	Moderate	
<i>Galium odoratum</i> Sweet Woodruff	N	3' to 5'	Fast	Dense	Spreading	Full shade	Moderate	

Ground Covers (Less Than 1½ Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Hedera helix</i> "Thorndale" Baltic or Thorndale English Ivy	Y	3' to 7'	Fast	Dense	Spreading	Partial shade to full shade	Moderate	
<i>Hasta spp and</i> <i>cultivars</i> Plantain Lily	N	1' to 5'	Fast	Moderate	Spreading	Partial Shade	Moderate	
<i>Hypericum</i> <i>calycinum</i> Aaronsbeard St. John's Wort	N	1' to 4'	Slow to Moderate	Dense	Spreading	Partial shade to full sun	Moderate	Tolerates dry soils. Bright yellow flowers in summer.
<i>Juniperus</i> <i>horizontalis</i> Creeping Juniper	Y	4' to 8'	Slow to Moderate	Very Dense	Spreading	Full sun	Moderate to Dry	Cultivars: "Bar Harbor" "Douglasii" "Emerald Spreader" "Hughes" "Prince of Wales"
<i>Litrope spicata</i> Creeping Lilyturf of Litrope	Y	1' to 3'	Fast	Dense	Spreading	Full shade to full sun	Moderate	Purplish-white flowers.
<i>Pachysandra</i> <i>terminalis</i> Japanese Spurge	Y	1' to 3'	Slow	Dense	Spreading	Full to partial shade	Moderate	White flowers in spring.
<i>Rosa Wichuriana</i> Memorial Rose	N	3' to 7'	Fast	Dense	Spreading	Full sun	Moderate	
<i>Vinca minor</i> Common Pebblevine	Y	1' to 3'	Moderate to Fast	Dense	Spreading	Full to partial shade	Moderate	Subject to fungal diseases if air circulation is poor.

Vines and Climbers

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Actinidia arguta</i> Bower Actinidia	N		Fast	Moderate	Climbing Vine	Partial shade to full sun	Moderate	
<i>Akebia quinata</i> Fiveleaf Akebia	N		Fast	Dense	Climbing Vine	Partial shade to full sun	Moderate	
<i>Campsis radicans</i> Trumpet Creeper or Trumpetvine	N		Fast	Dense	Climbing Vine	Full sun	Moderate	Best for large scale situations where there is plenty of room for this plant to grow.
<i>Celastrus scandens</i> American Bittersweet	N		Fast	Dense	Climbing Vine	Full shade to full sun	Moderate	Best for large scale situations where there is plenty of room for this plant to grow.
<i>Clematis</i> Clematis	N		Fast	Moderate	Climbing Vine	Partial shade to full sun	Moderate	Scores of cultivars. Select only those that will survive in hardiness zone 5a.
<i>Hedera helix</i> English Ivy	Y		Fast	Dense	Climbing Vine	Full shade to full sun	Moderate	
<i>Hydrangea anomala</i> Climbing Hydrangea	N		Slow to Moderate	Moderate	Climbing Vine	Full shade to full sun	Moderate	White flowers in summer.
<i>Lonicera</i> Spp., hybrids and cultivars Vine Honeysuckle	N		Fast	Dense	Climbing Vine	Partial shade to full sun	Moderate	All Loniceras are very invasive.
<i>Parthenocissus quinquefolia</i> Virginia Creeper	N		Fast	Moderate	Climbing Vine	Full shade to full sun	Moderate	Best for large scale situations where there is plenty of room for this plant to grow.
<i>Parthenocissus tricuspidata</i> Boston Ivy	N		Fast	Moderate	Climbing Vine	Full shade to full sun	Moderate	Best for large scale situations where there is plenty of room for this plant to grow.

Vines and Climbers

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Polygonum aubertii</i> China or silver Fleecevine	N		Fast	Dense	Climbing Vine	Full sun	Moderate to dry	
<i>Wisteria</i> Japanese or Chinese Wisteria	N		Fast	Dense	Climbing Vine	Full sun	Moderate	Best for large-scale situations where there is plenty of room for this plant to grow. Large clusters of lilac flowers.

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Plant Use Tables

The tables are arranged by plant size, (largest to smallest), and they indicate recommendations for the following uses:

- Screen – includes categories for screening plants up to 6' in height and over 6' in height.
- Parking Area – includes plant recommendations for both perimeter and interior parking area landscaping.
- Intersections – useful for choosing plants that will not interfere with traffic visibility at intersections.
- Under Utility Lines – denotes which plants are most appropriate for planting near overhead utility lines. Generally less than 25' tall.
- Street Tree – denotes which trees are most appropriate for planting along street frontages.
- Shade Tree – includes those trees which will produce the most shade.
- Specimen Tree – Tree species with unique qualities that make them suitable for individual viewing.

Plant Uses in the Landscape

Large Trees (Over 40 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Acer platanoides</i> Norway Maple			4	4		4	4	4
<i>Acer rubrum</i> Red or Swamp Maple			4	4		4	4	4
<i>Acer saccharum</i> Sugar Maple			4			4	4	4
<i>Catalpa speciosa</i> Northern Catalpa							4	4
<i>Celtis occidentalis</i> Common Hackberry			4	4			4	4
<i>Celtis laevigata</i> Sugar Hackberry			4	4			4	4
<i>Cercidiphyllum</i> <i>japonicum</i> Katsura Tree			4	4			4	4
<i>Chamaecyparis pisifera</i> Sawara False Cypress		4						4
<i>Fagus spp.</i> Beech							4	4
<i>Fraxinus spp.</i> Ash			4	4		4	4	4
<i>Ginkgo biloba</i> Ginkgo or Maidenhair Tree			4	4		4	4	4
<i>Gleditsia triacanthos</i> Honeylocust			4	4		4	4	4

Lar. Trees (Over 40 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (Interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Gymnocladus dioica</i> Kentucky Coffeetree			4	4			4	4
<i>Larix</i> spp. Larch			4	4			4	4
<i>Liquidambar styraciflua</i> Sweet Gum							4	4
<i>Nyssa sylvatica</i> Sour Gum or Black Gum			4	4			4	4
<i>Picea abies</i> Norway Spruce		4						4
<i>Platanus occidentalis</i> Planetree or Sycamore							4	4
<i>Pseudotsuga menziesii</i> Douglas Fir		4						4
<i>Quercus</i> spp. Oak						4	4	4
<i>Taxodium distichum</i> Bald Cypress		4				4		4
<i>Tilia</i> spp. Linden			4	4		4	4	4
<i>Zelkova serrata</i> Japanese Zelkova			4	4		4	4	4

Medium Trees (26 to 40 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Abies concolor</i> White Fir		4						4
<i>Acer campestre</i> Hedge Maple		4	4		4	4	4	4
<i>Aesculus x carnea</i> Red Horse Chestnut			4	4		4	4	4
<i>Aesculus glabra</i> Ohio Buckeye					4		4	4
<i>Aesculus hippocastanum</i> Common Horse chestnut			4	4		4	4	4
<i>Betula</i> Birch			4					4
<i>Carpinus betulus</i> European Hornbeam			4	4		4	4	4
<i>Carpinus caroliniana</i> American Hornbeam or Ironwood			4		4		4	4
<i>Chamaecyparis lawsoniana</i> Lawson False Cypress		4				4		4
<i>Chamaecyparis obtusa</i> Hinoki False Cypress		4						4
<i>Chionanthus virginicus</i> Fringetree			4		4		4	4
<i>Cladrastis lutea</i> Yellowwood			4				4	4

Medium Trees (26 to 40 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Diospyros virginiana</i> Common Persimmon							4	4
<i>Koelreuteria paniculata</i> Golden Rain Tree			4		4		4	4
<i>Maackia amurensis</i> Amur Maackia			4			4	4	4
<i>Ostrya virginiana</i> Hop Hornbeam or Ironwood			4	4			4	4
<i>Phellodendron amurense</i> Amur Corktree			4		4		4	4
<i>Picea armarika</i> Serbian Spruce		4						4
<i>Picea pungens</i> Colorado Spruce		4						4
<i>Pinus sylvestris</i> Scotch Pine		4						4
<i>Pyrus calleryana</i> Callery Pear			4	4		4	4	4
<i>Sophora japonica</i> Japanese Pagoda or Chinese Scholar Tree			4	4			4	4
<i>Tsuga canadensis</i> Canada Hemlock		4						4
<i>Ulmus parvifolia</i> Chinese Elm			4	4		4	4	4

Small Trees (13 to 25 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Acer ginnala</i> Amur Maple			4	4	4			4
<i>Acer palmatum</i> Japanese Maple								4
<i>Acer tataricum</i> Tatarian Maple			4	4	4	4		4
<i>Alnus glutinosa</i> European or Black Alder			4	4			4	4
<i>Amenlanchier</i> Serviceberry, Juneberry or Shadbloow			4					4
<i>Cercis canadensis</i> Eastern Redbud					4			4
<i>Cornus florida</i> Flowering Dogwood					4			4
<i>Cotinus coggygria</i> Smoke Tree					4			4
<i>Crataegus crus-galli</i> Cockspur Hawthorn		4			4			4
<i>Crataegus phaenopyrum</i> Washington Hawthorn			4		4			4
<i>Crataegus viridis</i> Green Hawthorn			4	4	4			4

Small Trees (13 to 25 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Magnolia X loebneri</i> Lebner Magnolia								4
<i>Magnolia X soulangiana</i> Saucer Magnolia					4			4
<i>Magnolia stellata</i> Star Magnolia					4			4
<i>Malus cultears</i> Crabapple					4			4
<i>Malus sargentii</i> Sargent Crabapple					4			4
<i>Prunus x hibridana</i> Purple-leaved Plum		4	4		4			
<i>Prunus serrulata</i> Japanese Flowering Cherry			4		4			4
<i>Syringa reticulata</i> Japanese Tree Lilac			4	4	4	4		4

Large Shrubs (Over 13 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (Interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Hamamelis</i> Witchhazel		4	4		4			4
<i>Juniperus scopulorum</i> Rocky Mountain Juniper		4	4		4			
<i>Juniperus communis</i> Common Juniper		4	4	4	4			
<i>Lindera benzoin</i> Spicebush		4	4		4			
<i>Taxus cuspidata</i> Japanese Yew		4	4	4				
<i>Taxus x media</i> Anglo-Japanese Yew		4	4	4				
<i>Thuja occidentalis</i> American or Eastern Arborvitae, White Cedar		4	4					
<i>Viburnum lentana</i> Wayfaring Tree		4	4		4	4		
<i>Viburnum prunifolium</i> Black Haw		4	4		4	4		
<i>Viburnum sieboldii</i> Siebold Viburnum		4	4		4			

Medium Shrubs (6 1/2 to 12 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Acanthopanax stebolianus</i> Fiveleaf Aralia		4	4	4	4			
<i>Calycanthus floridus</i> Carolina allspice		4	4		4			4
<i>Cornus alba</i> Tatarian Dogwood		4	4		4			
<i>Cornus mas</i> Cornelian Cherry		4	4		4			4
<i>Cornus sericea</i> Red Osier Dogwood	4		4		4			
<i>Elaeagnus umbellata</i> Autumn Olive		4	4		4			
<i>Forsythia x intermedia</i> Border Forsythia	4		4		4			4
<i>Hamamelis vernalis</i> Vernal Witchhazel		4	4		4			4
<i>Hibiscus syriacus</i> Rose-of-Sharon		4	4		4			
<i>Hydrangea quercifolia</i> Oak Leaf Hydrangea	4		4		4			4
<i>Ilex verticillata</i> Winterberry		4	4	4	4			
<i>Kolkwitzia amabilis</i> Beautybush		4	4		4			4
<i>Philadelphus</i> Mockorange		4	4		4			4
<i>Prunus x cistena</i> Purpleleaf Sand Cherry		4	4	4	4			

Medium Shrubs (6 1/2 to 12 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Spirea prunifolia</i> Bridalwreath Spirea	4		4		4			4
<i>Syringa</i> Lilac		4	4		4			4
<i>Viburnum x burkwoodii</i> Burkwood Viburnum	4		4	4	4			4
<i>Viburnum dentatum</i> Arrowwood	4		4	4	4			
<i>Viburnum dilatatum</i> Linden Viburnum	4		4	4	4			
<i>Viburnum opulus</i> European Cranberrybush		4	4		4			
<i>Viburnum plicatum</i> Doublefile Viburnum		4	4		4			4
<i>Viburnum x rhytidophylloides</i> Lauraphyllum Viburnum		4	4		4			
<i>Abelia x grandiflora</i> Glossy Abelia	4		4	4	4			4
<i>Prunus x cistena</i> Purpleleaf Sand Cherry			4		4			

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Berberis thunbergii</i> Japanese Barberry	4		4	4	4			
<i>Buddleia davidii</i> Orange-Eye Butterfly Bush	4				4			4
<i>Chaenomeles speciosa</i> Flowering Quince	4		4	4	4			
<i>Deutzia gracilis</i> Slender Deutzia	4		4	4	4			4
<i>Euonymus alata</i> <i>compactus</i> Dwarf Burning Bush	4		4	4	4			
<i>Ilex x meserveae</i> Meserveae Holly	4		4	4	4			4
<i>Kerria japonica</i> Japanese Kerria	4		4	4	4			
<i>Ligustrum obtusifolium</i> Border privet	4		4	4	4			
<i>Ligustrum x vicaryi</i> Golden Privet	4		4		4			

Small Shrubs (3 to 6 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Myrica pensylvanica</i> Bayberry	4		4	4	4			
<i>Picea glauca</i> "conica" Dwarf Alberta Spruce					4			4
<i>Pinus mugo</i> Mugho Pine	4		4	4	4			
<i>Prunus glandulosa</i> Dwarf Flowering Almond					4			
<i>Rhododendron PJM</i> <i>hybrids</i> PJM Rhododendrons			4		4			4
<i>Rhus aromatica</i> Gro-Lo Gro-Lo Fragrant Sumac	4		4		4			
<i>Syringa patula</i> Miss Kim Lilac	4		4		4			
<i>Taxus</i> Yews	4	4	4	4	4			
<i>Thuja occidentalis</i> "Woodwardii" Globe Arborvitae	4		4		4			
<i>Viburnum opulus</i> "Nanus" Dwarf Cranberrybush	4		4	4	4			
<i>Vitis agnus-castus</i> Chaste Tree			4		4			4

Dwarf Shrubs (1 1/2 to 3 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (Interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Buxus microphylla</i> Littleleaf Boxwood	4		4	4	4			
<i>Chamaecyparis obtusa</i> Dwarf Cultivars	4		4	4	4			4
<i>Chamaecyparis pisifera</i> Dwarf cultivars	4		4	4	4			4
<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster			4	4	4			
<i>Cotoneaster horizontalis</i> Rockspray Cotoneaster			4	4	4			
<i>Deutzia gracilis</i> Slender Deutzia	4		4	4	4			
<i>Fothergilla gardenii</i> Dwarf Fothergilla			4	4	4			4
<i>Hemerocallis</i> cultivars Daylily			4	4	4			
<i>Ilex glabra "compacta"</i> Compact holly	4		4	4	4			
<i>Juniperus chinensis</i> Nick's Compact Juniper	4		4	4	4			
<i>Juniperus chinensis "San Jose"</i> San Jose Juniper			4	4	4			

Dwarf Shrubs (1 1/2 to 3 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Juniperus communis</i> Common Juniper			4	4	4			
<i>Juniperus conferta</i> Shore Juniper			4	4	4			
<i>Juniperus procumbens</i> Japanese Garden Juniper			4	4	4			
<i>Juniperus sabina</i> "Broadleaf" Savin Juniper	4		4	4	4			
<i>Polygonum cuspidatum</i> Low Japanese Fleece Flower					4			
<i>Potentilla fruticosa</i> Bush Cinquefoil	4		4	4	4			
<i>Rosa floribunda</i> Floribunda Roses			4	4	4			
<i>Spiraea x bumalda</i> "Anthony Waterer" Anthony Waterer Spirea			4	4	4			
<i>Symphoricarpos x chenaultii</i> Chenault Cornberry	4		4	4	4			
<i>Taxus baccata</i> Dwarf English Yew	4		4	4	4			4
<i>Tsuga canadensis</i> Dwarf Canada Hemlock	4		4	4	4			4
<i>Yucca filamentosa</i> Yucca or Adam's Needle			4	4	4			

Ground Covers (Less than 1 1/2 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (Interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Aegopodium podagraria</i> Bishops weed or Gout weed			4	4	4			
<i>Ajuga</i> Carpet Bugle/Bugleweed			4	4	4			
<i>Arundinaria variegata</i> Dwarf Whitestripe Bamboo			4		4			
<i>Comptonia peregrina</i> Sweet Fern			4		4			
<i>Convallaria majalis</i> Lily of the Valley			4		4			
<i>Cotoneaster dammeri</i> Bearberry cotoneaster			4	4	4			
<i>Eptimedum</i> Barewort			4		4			
<i>Galium odoratum</i> Sweet Woodruff			4		4			
<i>Hedera helix</i> "Thoroldae" Baltic or Thorndale English Ivy			4	4	4			
<i>Hostas</i> Plantain Lily			4		4			
<i>Hypericum calycinum</i> Aaron'sbeard St. John's Wort			4	4	4			

Ground Covers (Less than 1 1/2 Feet Tall)

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Juniperus horizontalis</i> Blue Rug Juniper			4	4	4			
<i>Liriope spicata</i> Creeping Lilyturf or Liriope			4	4	4			
<i>Pachysandra terminalis</i> Japanese Spurge			4		4			
<i>Rosa Wichmaniana</i> Memorial Rose			4	4	4			
<i>Vinca minor</i> Common Periwinkle			4		4			

Vines and Climbers

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Actinidia arguta</i> Bower Actinidia		4						
<i>Akebia quinata</i> Fiveleaf Akebia		4						
<i>Campsis radicans</i> Trumpet Creeper or Trumpetvine		4						
<i>Celastrus scandens</i> American Bittersweet		4						
<i>Clematis</i> Clematis		4						
<i>Hedera helix</i> English Ivy		4						
<i>Hydrangea anomala</i> Climbing Hydrangea		4						
<i>Lonicera</i> Vine Honeysuckle		4						
<i>Parthenocissus quinquefolia</i> Virginia Creeper		4						
<i>Parthenocissus tricuspidata</i> Boston Ivy		4						

Plant Characteristics Tables

The physical and environmental characteristics for a number of landscape plants are given here. Unless otherwise noted, plants on this list are hardy in Central Indiana, tolerant of the built environment, easily maintained, and commercially available. Other suitable plants may be commercially available as new cultivars are developed.

The tables are arranged by plant size (largest to smallest), and they specify the following characteristics:

- **Evergreen Plant** – useful if you want year-round interest or if you need a screen to block a view.
- **Average Spread** – denotes the average diameter of a plant's foliage so that you will have some idea of the mature size of a plant.
- **Growth Rate** – denotes the speed at which a plant will grow given typical growing conditions. (Slow = 12" or less in one year. Moderate = 12"-24" in one year. Fast = more than 24" in one year.)
- **Density** – denotes how easy it is to see through a plant's foliage.
- **Form** – denotes the shape of the plant's foliage and limbs.
- **Sunlight Requirement** – denotes the amount of sunlight required by a plant.
- **Soil Moisture Requirement** – denotes the amount of soil moisture required by a plant. (Wet = 9"-12" of water available in the soil. Moderate = 6"-9" of water available in the soil. Dry = 3"-6" of water available in the soil.)
- **Comments** – lists any special attributes and/or requirements for a plant. It also lists available and proven cultivars.

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- c. Trees required to be planted in perimeter parking lot landscape areas may be counted toward meeting total on-site landscaping requirements as set forth in Table 16.06.050-01.
2. Requirements - Perimeter parking lot landscape areas shall include the following landscape improvements:
 - a. There shall be one tree per thirty (30) linear feet of parking lot length. Trees may be clustered.
 - b. There shall be one shrub per three (3) feet of parking lot length. Shrubs may be clustered.
 - c. Perimeter parking lot landscape areas not planted with trees or shrubs shall be covered with grass or other permitted groundcover or mulch.

WC 16.06.080 - Recommended Plant Materials

- A. Table 16.06.080-01, Table of Recommended Plant Materials, lists plant materials recommended for use in fulfilling landscaping requirements.
- B. Table 16.06.080-02, Plant Use Table, suggests appropriate uses for each specie of tree, shrub, ground cover, and vine.
- C. A minimum of three (3) different species of shade trees shall be used per each development site.

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5 to 24	5 %
25 to 49	7.5 %
50 or more	10 %

2. Parking Lot Islands

- a. Parking lot islands shall be dispersed throughout parking lots in a design and configuration that aesthetically corresponds to the size and shape of parking lots. Combining or placing parking lot islands together such that more than one tree may be planted in the island shall be considered when possible.
- b. Parking lot islands shall be constructed at least six (6) inches above the surface of parking lots; they shall be a minimum of one hundred twenty (120) square feet in area; and they shall be a minimum of seven (7) feet in width, measured from back of curb to back of curb.
- c. Interior landscaped areas shall be curbed in a manner that restricts vehicles from driving over landscaped areas.
- d. Interior landscaped areas shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.
- e. Parking lot islands shall include at least one (1) tree and four (4) shrubs per parking lot island. One hundred (100) percent of every parking island shall be covered with permitted groundcover material to achieve complete coverage.
- f. No landscaping within parking lot islands may unreasonably obstruct visibility for vehicles entering, maneuvering in, or exiting parking areas. Such landscaping shall be constructed in compliance with visibility standards set forth in WC 16.04.230 2.v).

B. Perimeter Parking Lot Landscaping

1. Application

- a. Perimeter landscaping is required for parking lots with ten (10) or more spaces where:
 - 1.) the parking lot is located within a required yard; or
 - 2.) the parking lot is located within twenty (20) feet of a lot line or right-of-way line.
- b. Perimeter parking lot landscape areas shall be at least five (5) feet wide and shall extend along the perimeter of parking lots. Plantings should be grouped in an aesthetically pleasing manner.

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- The buffer yard landscaping may be required to be supplemented with a fence or masonry wall to assist in addressing the impact of the proposed use on adjacent existing uses.
No drives or parking areas shall be permitted in the reduced buffer yard area.

- C. Within buffer yards, at least one (1) evergreen tree per thirty (30) linear feet and five (5) evergreen shrubs per thirty (30) linear feet shall be planted. Such plantings should be arranged in a manner that creates a visual barrier between uses without precluding connectivity between uses. In order to create a more effective buffer, the Plan Commission may approve evergreen trees to be substituted in lieu of evergreen shrubbery on a 1:3 basis (tree:shrub). Up to 60% of shrubbery may be substituted for trees. (Staff note: Additional trees may be substituted to lessen required shrubbery planting, but additional shrubbery may not be substituted to reduce required tree plantings).
- D. If woodlands are located within buffer yards, preserved trees may be substituted for required plants in buffer yards (see WC 16.06.030, Selection, Installation, and Maintenance of Plant Materials for substitution guidelines).
- E. In residential districts, plantings required to be placed in buffer yards shall not be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.
- F. In non-residential districts, trees required to be planted in buffer yards shall be credited toward total on-site landscaping requirements set forth in Table 16.06.050-01.
- G. Buffer yards shall not be required between uses within planned developments or within subdivisions.

WC 16.06.070 - Parking Area Landscaping

The following landscape requirements shall be applied to parking lots to screen parking areas from streets, to prevent the creation of large expanses of paving, and to provide shade to paved areas.

A. Interior Parking Lot Landscaping

- 1. Area Required - A portion of vehicular use areas shall be maintained as landscaped area. The total amount of interior parking lot area that must be landscaped shall be based on the total number of proposed parking spaces. Such standards are set forth in Table 16.06.070-01:

Table 16.06.070 - 01 : Percentage of Parking Lot Landscaping

Number of Parking Spaces	Percentage of Total Area to be Landscaped
0 to 4	0%

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Table 16.06.060 - 01 : Minimum Required Buffer Yard

Land Uses	Adjoining									
	AG	SF AG-SF1 AG-SF1-I	SF SF2	SF SF3	SF SF4 SF5	MF	Institutional Churches Schools Gov't Offices	Commercial	Industrial EI	Industrial OI
AG	-	40	40	40	40	40	15	15	15	15
SF AG-SF1 AG-SF1-I	40	-	20	20	20	20	40	40	40	40
SF SF2	40	20	-	20	20	20	40	40	40	40
SF SF3	40	20	20	-	20	20	40	40	40	40
SF SF4 SF5	40	20	20	20	-	20	40	40	40	40
MF	40	20	20	20	20	-	40	40	40	40
Institutional Churches Schools Gov't Offices	15	40	40	40	40	40	-	15	40	40
Commercial	15	40	40	40	40	40	15	-	15	15
Industrial EI	15	40	40	40	40	40	40	15	-	15
Industrial OI	15	40	40	40	40	40	40	15	15	-

1. Institutional uses include, without limitation, schools, churches and government offices.
2. For primary institutional structures on lots of record (as of December 10, 2001, when Ordinance 01-16 was adopted) less than ten (10) acres in size adjacent to residential uses, the Plan Commission may approve a buffer yard width of less than 40 feet (but no less than 15 feet) provided that:
 - The proposed structure shall be finished in a manner that is in character with the adjacent neighborhood.

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4. When evergreen and/or ornamental trees are preserved along road frontage and qualify for preservation credit, they may count 1:1 toward road frontage requirements.

WC 16.06.060 - Buffer Yard Requirements

- A. Plantings in buffer yards should physically separate and visually screen different land uses and/or zoning districts from one another without precluding connectivity between uses. Plants used for screening must reach a minimum height of forty-eight (48) inches within three years of installation, and be at least eighteen (18) inches tall when planted. Plantings in buffer yards shall consist of two (2) or more species of both trees and shrubs.
- B. Buffer sizes shall be determined by adjacent zoning districts and/or land uses in accordance with Table 16.06.060-01. If adjacent properties possess a mix of land uses, then the highest intensity use shall determine the required buffer yard size.

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3. Institutional uses include, without limitation, schools, churches and government offices.
 4. For Institutional uses:
 - o Trees required to be planted in interior parking lot landscaping areas may be counted toward meeting on-site landscaping requirements as set forth in the table above.
 - o Identified acreage for constructed athletic fields and courts (including the adjacent perimeter for coaching and spectator viewing), and constructed playgrounds with equipment may be subtracted from the total acreage before computing on-site requirements.
 5. Trees should be grouped together whenever possible to simulate natural tree stands, versus trees being planted in straight rows.
 6. Required trees and plantings within residential land uses must be planted somewhere within such residential land uses. Required trees and plantings within such land uses are not intended to be requirements per each lot, but are intended to be aggregate requirements per subdivision section or per multi-family development.
 7. Required trees and plantings within non-residential land uses must be planted per each lot requirement. Trees and plantings are not credited to overall development requirements.
 8. Existing trees or woodlands that are preserved may be counted toward minimum planting requirements.
- B. Road Frontage Standards
1. In residential developments, where property abuts primary arterials, secondary arterials, or collector roads not internal to subdivisions, at least one shade tree per thirty (30) linear feet of road frontage shall be planted adjacent to road rights-of-way. Trees planted along road frontage in residential developments may be credited toward overall on-site landscaping requirements set forth in Table 16.06.050-01.
 2. In non-residential developments where property abuts any public right-of-way, at least one shade tree per forty (40) linear feet of road frontage shall be planted adjacent to road rights-of-way. Trees planted along road frontage in non-residential developments may be credited toward overall on-site landscaping requirements set forth in Table 16.06.050-01.
 3. Shade trees required to be planted along road frontage shall be located outside drainage and utility easements, shall be located in a manner that mitigates interference with infrastructure located within such easements and may be clustered or grouped in order to attain creative site design.

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- K. Softening of Walls and Fences - Plant materials other than ground cover shall be placed intermittently (approximately every 40 feet) against long expanses (over 80 feet) of building walls, fences, and other barriers to create a softening effect. However, ground cover plants may supplement the plant materials required by this paragraph.
- L. Detention/Retention Basins and Ponds - Detention/retention basins and ponds shall be landscaped in a manner that replicates the natural form of ponds. Such landscaping shall include shade trees, ornamental trees, evergreens, shrubbery, hedges, and/or other plant materials.

WC 16.06.050 - On-Site and Street Frontage Landscaping Requirements

A. On-Site Standards

- 1. Yards, setback areas, and green space areas within developments shall be landscaped with live vegetation.
- 2. The minimum numbers of shade trees, evergreen trees, ornamental trees, and shrubs required to be planted are set forth in Table 16.06.050-01.

Table 16.06.050-01: Minimum On-Site Requirements

Land Use	Minimum Number of Trees		
	Shade Trees	Ornamental Trees	Shrubs
Residential	4 per dwelling unit	2 per dwelling unit	4 per dwelling unit
Institutional Uses	2 per acre	3 per acre	10 per acre
Business Uses	10 per acre	10 per acre	25 per acre
Industrial Uses	5 per acre	5 per acre	25 per acre

A proportional decrease in the required number of trees is allowed if larger caliper trees are planted. Trees with caliper measures of four (4) inches may replace two (2) required two (2) inch caliper trees.

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WC 16.06.040 - General Landscape Design Standards

- A. Consultation - A landscape architect, nurseryman, or other professional experienced in the installation and care of plant materials shall be consulted to ensure that proposed plants are appropriate and will survive.
- B. Scale and Nature of Landscaping - The scale and nature of landscaping materials shall be appropriate to the size of proposed structures. Large-scale buildings should be complemented by large-scale plants. Form, texture, color, pattern of growth, and adaptability to local conditions shall be considered when selecting plant materials.
- C. Clearance - Trees shall be planted so that when they reach maturity, there will be a minimum of ten (10) feet of clearance between tree trunks and structures, building overhangs, walls, fences, and other trees.
- D. Materials - Grass and other vegetative ground cover shall be used in all green space areas, including parking lot islands, except for decorative mulch planting beds containing trees and/or shrubs; and inert stabilization in areas subject to severe runoff or erosion.
- E. Lines of Sight - Plantings in landscaped areas shall not obstruct sight lines as per WC 16.04.230 2.v).
- F. Energy Conservation - Plantings shall be arranged to promote energy conservation wherever practical. This includes using deciduous trees on the south and west sides of buildings to provide shade from summer sun and planting evergreens on the north of buildings to insulate against winter winds.
- G. Noise Reduction - Properties adjacent to highly trafficked roads or businesses shall arrange landscaping to reduce the intensity of noise by reflecting, deflecting, or absorbing sound. Some techniques to accomplish this include using earth berms, walls, fences, or plantings to provide physical separation and to absorb noise. When a berm is used to form a visual screen in lieu of or in conjunction with a hedge or wall, it shall not exceed a slope of thirty (30) degrees and shall be completely covered with shrubs, grass, or other living ground cover.
- H. Landscape plans shall clearly identify areas where stone or other inert materials are to be used as ground cover. Areas not so designated shall be required to have grass or other vegetative ground cover.
- I. Trash and Loading Facilities - Trash dumpsters, trash pads, loading areas consisting of two or more loading spaces, loading docks, service areas, and maintenance areas shall be screened from residential uses and public roads. Screening of such facilities shall be achieved by using a six (6) feet high, completely opaque fence or wall, a six (6) feet high berm, or a six (6) feet high evergreen screen planted nine (9) feet on center in a double staggered row.
- J. Heating and Cooling Facilities - Ground-mounted heating and cooling units for nonresidential or multi-family structures shall be completely screened.

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B. Installation

1. Landscaping materials shall be installed in accordance with planting procedures established by the American Association of Nurseryman.
2. Required landscaping of development projects shall be completed prior to the issuance of Certificates of Occupancy for non-residential and multi-family projects, and prior to the issuance of building permits for more than fifty percent (50%) of the lots within each section of residential subdivisions. Landscaping installation may be delayed up to 120 days due to the following:
 - a. Periods of adverse weather, or
 - b. Conflicts between construction scheduling and proper planting conditions.

C. Maintenance

1. All newly planted vegetative material shall meet minimum American Standard for Nursery Stock Standards.
2. Landscaping shall be maintained in healthy growing condition. This includes:
 - a. Regular irrigation, weeding, fertilizing, pruning, mowing, and other maintenance of outside plant materials on the property;
 - b. Mature trees shall not be topped. They shall be pruned according to procedures established in the National Arborist Association Standards, published by the National Arborist Association;
 - c. Treating plant materials that exhibit evidence of insect pest or disease damage;
 - d. Replacement of dead or dying plant materials with specimens in good, healthy, growing condition. Replacement shall be completed using the same plant materials approved on landscape plans.
 - e. Replenishing natural landscape materials such as rock, stone, bark chips and shavings that no longer cover the area in which they were originally deposited.
 - f. Repairing, replacing, or maintaining structural landscaping features including, but not limited to fountains, reflecting pools, outdoor art work, screening walls, retaining walls, fences, benches or other street furniture elements; as necessary to maintain these items in good condition.
 - g. Any other action necessary to maintain landscaping installed in accordance with an approved landscape plan.
3. Plantings and landscaping features required by this Chapter shall be subject to inspection to verify continued compliance with this Chapter.

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inches shall not qualify for credit. Preserved trees between eight (8) and sixteen (16) inches in caliper shall be credited at the rate of two (2) times the caliper measure of such trees. If preserved trees possess caliper measures of sixteen (16) inches or greater, credit shall be calculated at the rate of four (4) times the caliper measure of such trees. A qualifying six (6) inch caliper preserved tree shall be credited as three (3) required two (2) inch caliper trees. A qualifying fourteen (14) inch caliper preserved tree shall be credited as fourteen (14) required two (2) inch caliper trees. And, a qualifying eighteen (18) inch caliper preserved tree shall be credited as thirty-six (36) required two (2) inch caliper trees.

- G. Barriers shall be used to protect trees during site development. Barriers shall be specified on landscape plans and shall be placed at or beyond the driplines of trees to be preserved. Such barriers shall remain in place during site construction. No vehicles, machinery, tools, chemicals, construction materials, or temporary soil deposits shall be permitted within such barriers. No notices or other objects shall be nailed or stapled to preserved trees.
- H. Grading measures or protective devices, such as tree wells, tree walls, or specialized fill and pavement designs, shall be installed when necessary to preserve identified tree specimens.

WC 16.06.030 - Selection, Installation, and Maintenance of Plant Materials

A. Selection

1. **Shade Trees** - Shade trees shall be a minimum of eight (8) feet in height and have a caliper measure of at least two (2) inches, measured twelve (12) inches above finished grade. Shade trees shall be of a variety that will attain an average mature spread greater than twenty (20) feet.
2. **Evergreen Trees** - Evergreen trees shall be a minimum height of six (6) feet.
3. **Ornamental Trees** - Ornamental trees shall have a minimum trunk size of two (2) inches in caliper, measured six (6) inches above finished grade.
4. **Shrubs** shall possess a minimum height of eighteen (18) inches at the time of planting.
5. **Substitutions** - If plant substitutions become necessary due to seasonal planting problems or a lack of plant availability, revisions to planting plans shall be permitted based on the substitution list below. For on-site requirements only, substitutions may be made for up to one-half (50%) of required plants. If plant substitutions do not fulfill the following criteria, changes to previously-approved plans shall be resubmitted and reviewed for new approval.
 - a. 1 shade tree = 2 ornamental trees = 2 evergreen trees
 - b. 1 ornamental tree = 1 evergreen tree

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WC 16.06.020 - Preservation and Replacement of Trees

- A. Developers shall take reasonable measures to design and locate proposed structures in a manner that minimizes the destruction of significant tree specimens.
- B. Prior to site development plan approval or the issuance of a building permit, developers shall inventory all trees which possess a caliper measure of at least twelve (12) inches. Tree inventories shall depict locations, sizes, and common names of existing trees and individual shrubs; areas containing dense trees or shrubs; and other natural site features. Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees.
- C. The following considerations shall be made in regard to tree preservation efforts:
1. The practicability of arranging site plan components around existing features. Plans for groups of structures should be designed so as to preserve areas of high tree concentrations, desirable individual tree specimens, and desirable stands of trees and shrubs;
 2. The condition of vegetation with respect to continued vitality;
 3. The possibility of preserving vegetation through pruning rather than removal.
 4. The desirability of a particular tree or species by reason of its appearance; historic or ecological significance; botanical characteristics; and the function the vegetation would fulfill as a site plan component;
 5. The practical and economic possibility of designing the location and grades of proposed structures and paving to preserve existing vegetation; and
 6. The potential for interference with utility services along the use of roads and walkways.
- D. Tree preservation plans shall be submitted with site plans that detail locations, sizes, and common names of preserved trees; individual shrubs; areas of dense tree or shrub concentrations, and other natural features which are to be preserved or removed. No disturbance shall be permitted in the critical root zones of preserved trees. Disturbances include trenching, backfilling, driving or parking equipment, and dumping trash, oil, paint, or other materials detrimental to plant health.
- E. Should any tree designated for preservation die within five (5) years of project completion, the owner shall replace such tree with a tree (or trees) of equal tree preservation value within 180 days (see following paragraph for value calculation).
- F. Incentives to Preserve Trees - Existing trees that are preserved shall contribute to required on-site landscaping, based proportionally on their caliper measure. Certain "cull" species and deformed trees may not be permitted to be credited. Preserved trees under eight (8) inches in caliper shall be credited at the rate of one (1) times the caliper measure of such trees. However, trees with a caliper of less than two (2)

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prepared by licensed landscape architects, nurserymen, or other professionals experienced in landscape design, installation, and maintenance. A narrative describing ownership, use, and maintenance responsibilities of these areas should be specified in the submittal.

2. Landscape plans shall show the entire project drawn to scale on standard sized sheets (minimum 24" x 36") and shall contain the following information:
 - a. Names and addresses of owners, developers, plan preparers, plan preparation dates, scale of drawings, and north arrows;
 - b. Locations and dimensions of all existing and proposed structures, parking lots, driveways, roadways, rights-of-way, sidewalks, pedestrian pathways, bicycle pathways, ground signs, refuse disposal areas, bicycle parking areas, freestanding electrical equipment, recreation facilities, utility lines, easements, freestanding structural features, landscape improvements, earth berms, walls, fences, screens, sculptures, fountains, street furniture, lights, courts, paved areas, buffer yards, primary and secondary green space areas, and green belt space;
 - c. Locations, quantities, sizes, and names (botanical names and common names) - of planting materials;
 - d. Existing and proposed grading plans, indicating contours at not more than two-foot intervals;
 - e. Locations of barriers to be placed at or beyond driplines of trees to be preserved and types of materials to be used for barriers;
 - f. Planting and installation details as necessary to ensure conformance with required standards;
 - g. Details indicating specific grading measures or protective devices to be utilized where trees are to be preserved in areas of cut and fill; and
 - h. Tables clearly displaying relevant statistical information, including numbers of existing trees and numbers of trees preserved, for example.
 3. Standard size sheets at the same scale as landscape plans that display locations, sizes, and common names of existing individual trees that measure twelve (12) inches or more in caliper, areas of dense trees or shrubs, and other natural areas.
- D. Modifications - When a change in use occurs, or when modifications that require a building permit are made to existing structures, landscaping shall be required to be installed in a manner that is comparable in nature and extent to the impact of the proposed change or modification.

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Chapter 6. Landscaping Standards

WC 16.06.010 - General Landscaping Provisions

- A. Purpose and Intent - This Chapter establishes regulations for the preservation of natural features and minimum standards for the provision, installation, and maintenance of landscape materials. The regulations specified herein are intended to promote the health, attractiveness, and safety of the community; foster aesthetically pleasing and environmentally sensitive development that protects and preserves the appearance and character of the community; and encourages the preservation of natural areas such as mature tree stands and stream corridors.

This Chapter establishes standards to manage and control drainage and erosion; to increase the compatibility of development with the natural environment and adjacent developments; to encourage connectivity through the use of a pedestrian network; and to maintain and increase the value of land by requiring landscaping to be incorporated into developments. The standards set forth herein promote important physical and psychological benefits through the use of landscaping to reduce noise and lighting; promote innovative and cost conscious approaches to the design, installation, and maintenance of landscaping; and establish procedures and standards for the administration and enforcement of this Chapter.

B. Applicability

1. This Chapter shall apply to all zoning districts and all public, private, and institutional developments, except those approved prior to the enactment of this Chapter and those that have fulfilled filing requirements at the time of the enactment of this Chapter.
2. This Chapter shall apply to nonresidential uses, residential subdivisions, or other residential developments that require site development plan approval or a special exception.
3. This Chapter shall not apply to previously-authorized building permits, a previously-approved site development plans, or previously-approved subdivision plats.
4. This Chapter shall not apply to detached single-family residences not located within subdivisions.

C. Content of Landscape Plan - Landscaping plans shall comply with the following standards:

1. Landscape plans shall be submitted for all required green belt buffer areas, buffer yards, conservation easements, landscape easements, and areas owned in common within proposed developments. It is recommended that landscape plans be

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4. Light pole height shall not exceed twenty-five feet (25'). All parking area light fixtures shall be designed and located to confine emitted light to the parking area; and
5. All lighting fixtures must meet building code requirements for their appropriate construction class;

F. Multi-Family Residential, Commercial and Industrial Standards.

For all multi-family residential, commercial, and industrial uses the following standards shall apply:

1. All light fixtures shall be positioned in such a manner so that no light-emitting surface is visible from a residential area or public right-of-way when viewed at ground level;
2. Light meter readings shall not exceed: one-half (0.5) foot-candles at a single-family residential property line, or one-half a (0.5) foot-candle at a multi-family residential property line or one (1.0) foot-candle at all other non-residential property lines. (It should be understood that, with all of these measurements, light will still be visible at or beyond property lines.)
3. All lights on poles, stands, or mounted on a building shall have a shield, adjustable reflector, and non-protruding diffuser;
4. All canopy structures shall have lights with diffusers which are recessed, and which do not extend below the surface of the canopy as measured on a plane parallel to the earth's surface;
5. Lighting under awnings and canopies shall only illuminate a building front, a sign under an awning or canopy, or the sidewalk, but shall not illuminate the awning or canopy itself;
6. Thirty (30) percent of all parking area lighting shall be turned off within 30 minutes of closing of the last business or no later than 11:00 p.m.; and
7. No outdoor sports or recreational facilities shall be illuminated after 11:00 p.m. except to conclude a scheduled recreational or sporting event in progress prior to 11:00 p.m.

G. Sign Lighting.

1. Lighting fixtures used to illuminate an outdoor advertising sign shall be mounted on top of or above the sign structure and shall comply with the shielding requirements of this chapter;

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5. All underwater lighting used for the illumination of swimming pools and water features shall be exempt from the lamp type and shielding standards of this chapter;
6. All lighting for temporary festivals and carnivals shall be exempt from the requirements of this chapter; and
7. All low wattage residential accent and landscape lighting fixtures having a maximum output of 1600 lumens (equal to one 100 watt incandescent light) per fixture shall be exempt from the requirements of this chapter.

D. Prohibitions.

Prohibitions to the lighting standards of these regulations shall include the following:

1. The installation, sale, lease, or purchase of any mercury vapor lamp shall be prohibited in Westfield-Washington Township;
2. The use of laser source light or other similar high intensity light for outdoor advertising, when projected above the horizontal shall be prohibited in Westfield-Washington Township;
3. The operation of searchlights and floodlights for advertising purposes shall be prohibited in Westfield-Washington Township;
4. The use of any lighting source on towers shall be prohibited except as required by the Federal Aviation Administration; and
5. The illumination of off-site advertising signs shall be prohibited in Westfield-Washington Township.

E. General Lighting Standards.

For all areas located in Westfield-Washington Township the following standards shall apply:

1. All light fixtures shall be fully shielded and direct light downward toward the earth's surface;
2. All lighting sources shall be directed away from reflective surfaces to minimize glare upon adjacent property and public rights-of-way;
3. All lighting sources shall be positioned in such a manner as to direct light away from adjacent property and public rights-of-way;

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**Chapter 7
Outdoor Lighting Standards**

WC 16.07.010 General Provisions

A. Purpose and Intent.

Westfield-Washington Township wishes to enhance the visual environment of the nighttime sky, protect the public health, safety and welfare, provide safe roadway conditions for motorists, cyclists, and pedestrians, and promote energy efficient, cost effective lighting while minimizing light pollution, intrusion and trespass from uncontrolled light sources. It is the intent of this Chapter to minimize the intrusion of lighting across property lines and into the nighttime sky, thereby avoiding a disruption to the quality of life of Washington Township residents.

B. Applicability.

These regulations shall be applicable to all outdoor lighting sources within Westfield-Washington Township, which:

1. Are newly designed, constructed, erected or placed into operation after the effective date of this chapter; and
2. Require the relocation or replacement of existing lighting fixtures commenced after the effective date of this chapter.

C. Exceptions.

Exceptions to these lighting standards shall include the following:

1. All outdoor light fixtures permitted prior to the adoption of these regulations (Ord. 02-39, December 9, 2002) shall be exempt from the shielding requirements of this chapter, except that when an outdoor light fixture becomes inoperable, the replacement light fixture shall comply with the standards of this chapter;
2. All hazard warning lighting required by Federal and State regulatory agencies shall be exempt from the requirements of this chapter;
3. All temporary emergency lighting required by local law enforcement, emergency service and utility department(s), shall be exempt from the requirements of this chapter;
4. All traffic control and directional lighting shall be exempt from the requirements of this chapter;

EXHIBIT D
LIGHTING STANDARDS

Vines and Climbers

Scientific Name Common Name	Screen (3' to 6' high)	Screen (>6' high)	Parking Area (perimeter)	Parking Area (interior)	Under Utility Lines	Street Tree	Shade Tree	Specimen
<i>Polygonum aubertii</i> China or Silver Fleecyvine		4						
<i>Rosa wichuriana</i> Memorial Rose		4						
<i>Wisteria</i> Japanese or Chinese Wisteria		4						

Plant Characteristics

Large Trees (Over 40 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Acer platanoides</i> Norway Maple	N	30' to 40'	Moderate	Dense	Rounded	Partial shade to full sun	Moderate	Dense canopy makes it difficult to establish turfgrass or ground covers underneath. Maples tend to produce surface roots.
<i>Acer Rubrum</i> Red or Swamp Maple	N	40' to 50'	Moderate	Dense	Oval	Partial shade to full sun	Moderate	Good cultivars for Westfield include "October Glory" and "Red Sunset"
<i>Acer Saccharum</i> Sugar Maple	N	50' to 60'	Moderate	Dense	Rounded	Partial shade to full sun	Moderate	Dense canopy makes it difficult to maintain turfgrass. Intolerant of deicing salts. Produces surface roots.
<i>Catalpa Speciosa</i> Northern Catalpa	N	20' to 40'	Moderate	Dense	Rounded	Partial shade to full sun	Moderate	Showy white flower in early summer. Better for large scale situations because of leaf and fruit litter.
<i>Celtis laevigata</i> Sugar Hackberry	N	50' to 60'	Moderate	Moderate	Rounded	Full sun	Moderate to wet	Adapts well to adverse conditions (hot and cold temperatures, dry and alkaline soils). Smaller leaves than <i>C. occidentalis</i> . Adapted to wet sites.
<i>Celtis occidentalis</i> Common Hackberry	N	50' to 60'	Moderate	Moderate	Rounded	Full sun	Moderate	Adapts well to adverse conditions (hot and cold temperatures, dry and alkaline soils). Leaf galls are common but do not damage plant.

Large Trees (Over 40 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Cercidiphyllum japonicum</i> Katsura Tree	N	30' to 50'	Moderate	Moderate	Oval to Columnar	Partial shade to full sun	Moderate	Foliage is reddish purple. In fall, the leaves change to apricot-yellow.
<i>Chamaecyparis pisifera</i> Sawara False Cypress	Y	10' to 20'	Slow To Moderate	Very Dense	Pyramidal	Full sun	Moderate	Protect from wind.
<i>Fagus spp.</i> Beech	N	35' to 45'	Slow	Dense to Moderate	Rounded	Full sun	Moderate	Intolerant of soil disturbance and compaction.
<i>Fraxinus americana</i> White Ash	N	40' to 60'	Fast	Dense	Oval to Rounded	Full sun	Moderate	Dark green foliage that turns yellowish in autumn with a slight purple tint.
<i>Fraxinus quadrangulata</i> Blue Ash	N	30' to 40'	Fast	Dense	Oval to Upright	Full sun	Moderate	Dark green foliage that turns a clear yellow in autumn.
<i>Fraxinus pennsylvanica</i> Green Ash	N	30' to 40'	Fast	Dense	Oval to Upright	Full sun	Moderate	Dark green foliage that turns a clear yellow in autumn.
<i>Ginkgo biloba</i> Ginkgo or Maidenhair Tree	N	30' to 50'	Slow	Moderate	Pyramidal To Rounded	Full sun	Moderate	Beautiful yellow fall color. Select only male cultivars.
<i>Gleditsia triacanthos</i> Honeylocust	N	30' to 40'	Fast	Light	Oval	Full sun	Moderate	Light shade of small leaves enables grass to grow beneath.
<i>Gymnocladus dioica</i> Kentucky coffeetree	N	40' to 50'	Moderate	Moderate	Oval	Full sun	Moderate	Attractive bark. Better for large scale situations because of fruit litter.

Large Trees (Over 40 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Larix spp.</i> Larch	N	25' to 30'	Moderate	Moderate	Pyramidal	Full sun	Moderate	Needle-like foliage turns yellow and falls off in autumn. Susceptible to pests.
<i>Liquidambar styraciflua</i> Sweet Gum	N	40' to 50'	Moderate	Moderate	Pyramidal to Oval	Full sun	Moderate	Star-shaped foliage turns yellow to red to bronze in autumn. Fruit can be a safety hazard.
<i>Liriodendron tulipifera</i> Tulip Tree or Yellow Poplar	N	35' to 50'	Moderate to Fast	Moderate	Oval	Full sun	Moderate	Yellow, green and orange tulip-shaped flowers bloom in mid-spring.
<i>Nyssa sylvatica</i> Sour Gum or Black Gum	N	20' to 30'	Slow to Moderate	Dense	Pyramidal to Oval	Full sun	Wet to Moderate	Beautiful and consistent fall color: yellow to orange to scarlet to purple.
<i>Picea abies</i> Norway Spruce	Y	25' to 30'	Fast	Dense	Pyramidal	Full sun	Moderate	
<i>Platanus occidentalis</i> American planetree or Sycamore	N	60' to 80'	Fast	Dense	Oval to Rounded	Full sun	Moderate	Best for large scale or wet situations. Produces lots of leaf litter.
<i>Pseudotsuga mensiezii</i> Douglas Fir	Y	12' to 20'	Moderate	Very Dense	Pyramidal	Full sun	Moderate	
<i>Quercus alba</i> White Oak	N	40' to 60'	Slow	Dense	Rounded	Full sun	Moderate	

Large Trees (Over 40 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Quercus imbricaria</i> Shingle Oak	N	40' to 60'	Slow	Dense	Oval to Rounded	Full sun	Moderate	
<i>Quercus macrocarpa</i> Bur Oak	N	40' to 60'	Slow	Dense	Oval to Rounded	Full sun	Moderate	Huge tree at maturity.
<i>Quercus montana</i> Chestnut Oak	N	40' to 60'	Slow	Dense	Oval to Rounded	Full sun	Moderate	
<i>Taxodium distichum</i> Baldcypress	N	20' to 30'	Moderate	Moderate	Pyramidal	Full sun	Moderate to Dry	
<i>Tilia americana</i> Basswood or American Linden	N	40' to 60'	Moderate	Dense	Oval	Full sun	Moderate	Sometimes infested with aphids which drop sap on cars.
<i>Tilia tomentosa</i> Silver Linden	N	30' to 50'	Moderate	Dense	Oval to Rounded	Full sun	Moderate	
<i>Zelkova serrata</i> Japanese zelkova	N	40' to 70'	Moderate	Moderate	Vase- shaped	Full sun	Moderate	

Medium Trees (26 to 50 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Abies concolor</i> White Fir	Y	15' to 30'	Slow	Very Dense	Pyramidal	Partial shade to Full sun	Moderate	Needles are bluish or grayish green. Best in large areas to allow plant development.
<i>Acer campestre</i> Hedge Maple	N	25' to 35'	Slow	Dense	Rounded	Partial shade to Full sun	Moderate	
<i>Aesculus x carnea</i> Red Horse Chestnut	N	30' to 40'	Moderate	Dense	Rounded	Full sun	Moderate	Dark green foliage with pink/red flowers in late spring.
<i>Aesculus glabra</i> Ohio Buckeye	N	20' to 30'	Slow to Moderate	Dense	Oval to Rounded	Full sun	Moderate	Subject to leaf spot diseases with a wet spring.
<i>Aesculus hippocastanum</i> Common Horse Chestnut	N	40' to 70'	Moderate	Dense	Rounded	Partial shade to full sun	Moderate	Dark green foliage with white flowers in mid spring

<i>Betula nigra</i> River Birch	N	40' to 60'	Moderate	Moderate	Oval to Rounded	Partial shade to full sun	Wet to moderate	Reddish brown to tan bark that peels off in thin layers; single stem or clump
<i>Carpinus betulus</i> European hornbeam	N	20' to 30'	Slow	Dense	Rounded	Partial shade to full sun	Moderate	Orange to deep red fall foliage.
<i>Carpinus caroliniana</i> American hornbeam or Ironwood	N	20' to 30'	Slow	Dense	Rounded	Partial shade to full sun	Moderate	Orange to deep red fall foliage.
<i>Chamaecyparis lawsoniana</i> Lawson False Cypress	Y	10' to 25'	Slow to Moderate	Very Dense	Pyramidal	Full sun	Moderate	Protect from sweeping winds.

Medium Trees (26 to 50 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Chamaecyparis obtusa</i> Hinoki False Cypress	Y	10' to 20'	Slow	Very Dense	Pyramidal	Full sun	Moderate	Protect from sweeping winds.
<i>Chionanthus virginicus</i> Fringetree	N	12' to 20'	Slow	Moderate	Spreading	Partial shade to full sun	Wet to moderate	White, fringe-like flowers in spring.
<i>Cladrastis lutea (kentukea)</i> Yellowwood	N	40' to 50'	Moderate	Dense	Vase- shaped	Full sun	Moderate	White, fragrant flowers in June.

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<i>Diospyros virginiana</i> Common Persimmon	N	20' to 30'	Slow to Moderate	Dense	Oval	Full sun	Moderate	Fruits edible but messy.
<i>Koeleruteria paniculata</i> Golden Rain Tree	N	30' to 40'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Yellow flowers in 8-14" clusters in summer.
<i>Maackia amurensis</i> Amur maackia	N	20' to 30'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Shiny copper brown bark, peeling with maturity.
<i>Ostrya virginiana</i> Hop Hornbeam or Ironwood	N	20' to 35'	Slow to Moderate	Dense	Oval	Partial shade to Full sun	Moderate	Medium to dark green foliage turns yellow in autumn. Bark attractive year round.
<i>Phellodendron amurense</i> Amur Corktree	N	30' to 45'	Moderate	Moderate	Spreading to Irregular	Full sun	Moderate	Attractive "corky" bark. Open, picturesque branching habit.
<i>Picea omortka</i> Siberian Spruce	Y	20' to 25'	Slow	Very Dense	Pyramidal	Full sun	Moderate	Narrow pyramidal canopy with dark green and light green needles.

Medium Trees (26 to 50 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Picea pungens</i> Colorado Spruce	Y	20' to 25'	Slow	Very Dense	Pyramidal	Full sun	Moderate	Gray-green to blue-green foliage.
<i>Pinus sylvestris</i> Scotch Pine	Y	30' to 40'	Moderate	Moderate	Pyramidal	Full sun	Moderate	
<i>Pyrus Calleryana</i> Callery Pear	N	20' to 35'	Fast	Dense	Oval	Full sun	Moderate	Avoid "Bradford" due to structural flaws. Consider "Aristocrat" or "Cleveland"
<i>Sophora japonica</i> Japanese Pagoda or Chinese Scholar	N	40' to 60'	Moderate	Moderate	Rounded	Full sun	Moderate	
<i>Tsuga canadensis</i> Canada hemlock	Y	25' to 35'	Moderate	Very Dense	Pyramidal	Partial shade to full sun	Moderate	Protect from sweeping winds.
<i>Ulmus parvifolia</i> Lacebark Elm	N	40'	Moderate	Moderate	Rounded	Full sun	Moderate	Beautiful mottled bark.

Small Trees (13 to 25 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Acer ginnala</i> Amur Maple	N	15' to 25'	Slow	Dense	Rounded	Partial shade to Full sun	Moderate	Single stem or clump. Fragrant spring flowers. Scarlet fall foliage.
<i>Acer palmatum</i> Japanese Maple	N	15' to 25'	Slow	Dense	Rounded to Spreading	Partial shade to Full sun	Moderate	Protect from full sun and wind.
<i>Acer Tataricum</i> Tatarian Maple	N	30' to 35'	Slow	Dense	Rounded	Partial shade to Full sun	Moderate	
<i>Alnus glutinosa</i> European or Black Alder	N	20' to 30'	Moderate	Dense	Oval to Pyramidal	Full sun	Wet to Moderate	
<i>Amelanchier sp.</i> Serviceberry, Juneberry or Shadblow	N	15' to 30'	Moderate	Moderate	Rounded to Spreading	Full sun to partial shade	Moderate	Single stem or clump. Orange to red fall foliage.
<i>Cercis canadensis</i> Eastern Redbud	N	25' to 35'	Slow to Moderate	Moderate	Rounded to Irregular	Partial shade to Full sun	Moderate	Pink flowers in April. Good clear yellow fall foliage.
<i>Cornus florida</i> Flowering Dogwood	N	30' to 40'	Slow to Moderate	Dense	Rounded to Irregular	Partial shade	Moderate	Beautiful white/pink red flowers in spring. Does not tolerate dry, exposed, and sunny conditions. Plant in a partially shaded and protected area, and mulch around trunk.

Small Trees (13 to 25 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Cotinus coggygria</i> Smoke Tree	N	10' to 15'	Slow	Dense	Rounded	Full sun	Moderate	Red to purple fall foliage. Weak-wooded. Plant where protected from wind.
<i>Crataegus crus- galli</i> Cockspur Hawthorn	N	20' to 35'	Slow to Moderate	Moderate	Rounded to Spreading	Full sun	Moderate to Dry	Thorns may present a hazard.
<i>Crataegus phaenopyrum</i> Washington Hawthorn	N	20' to 25'	Slow	Moderate	Rounded	Full sun	Moderate to Dry	Thorns may present a hazard.
<i>Crataegus viridis</i> Green Hawthorn	N	20' to 35'	Slow to Moderate	Moderate	Rounded	Full sun	Moderate to Dry	Thorns may present a hazard.
<i>Magnolia x loebneri</i> Loebner Magnolia	N	25' to 35'	Moderate	Moderate	Irregular	Full sun	Moderate	Large, fragrant white flowers in spring.
<i>Magnolia x soulangeana</i> Saucer Magnolia	N	20' to 30'	Moderate	Moderate	Irregular	Full sun	Moderate	Large, fragrant white to pink flowers in spring.
<i>Magnolia stellata</i> Star Magnolia	N	10' to 15'	Moderate	Moderate	Irregular	Full sun	Moderate	Large, fragrant white flowers in spring.

Small Trees (13 to 25 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Malus cultivars</i> Crabapple	N	15' to 25'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Choose disease-resistant varieties.
<i>Malus sargentii</i> Sargent Crabapple	N	6' to 8'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Very small tree. Height rarely exceeds 8'.
<i>Prunus x blireiana</i> Purple-leaved Plum	N	15' to 20'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Susceptible to Japanese beetles and other pests.
<i>Prunus serrulata</i> Japanese Flowering Cherry	N	15' to 20'	Slow to Moderate	Dense	Rounded	Full sun	Moderate	Susceptible to Japanese beetles, borers, and other diseases.
<i>Syringa reticulata</i> Japanese Tree Lilac	N	15' to 25'	Slow	Dense	Rounded to Oval	Full sun	Moderate	Large, lilac-shaped flowers in July. Cherry-like bark.

Large Shrubs (Over 13 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Hamamelis</i> spp. And cultivars Witchhazel	N	15' to 28'	Slow to Moderate	Dense	Rounded	Partial shade to full sun	Moderate	Unusual flowers in February or October. Orange to scarlet fall foliage.
<i>Viburnum lantana</i> Wayfaring Tree	N	10' to 15'	Slow to Moderate	Dense	Rounded to Oval	Full sun	Moderate to Dry	White flowers in May. Red fruits in summer. Little fall color.
<i>Viburnum prunifolium</i> Black Haw	N	8' to 12'	Slow to Moderate	Dense	Rounded to Oval	Partial shade to full sun	Moderate	Plant for which the "Hawpatch" area was named. Single stem or clump form.
<i>Viburnum steboldii</i> Siebold Viburnum	N	10' to 15'	Moderate	Dense	Rounded to Oval	Partial shade to full sun	Moderate	White flowers in spring. Red fruits in summer.
<i>Juniperus communis</i> Common Juniper	Y	8' to 12'	Slow	Very Dense	Spreading to Columnar	Full sun	Moderate to Dry	
<i>Juniperus scopulorum</i> Rocky Mountain Juniper or Western Red Cedar	Y	8' to 15'	Slow	Dense	Pyramidal	Full sun	Moderate to Dry	
<i>Lindera benzoin</i> Spicebush	N	6' to 12'	Slow to Medium	Moderate	Upright to Rounded	Full to partial shade	Moderate to Wet	Small, extremely fragrant flowers in April. Yellow fall foliage.
<i>Taxus cuspidata</i> Japanese Yew	Y	15' to 50'	Slow	Very Dense	Pyramidal to Rounded	Partial Shade	Moderate	
<i>Taxus x media</i> Anglo-Japanese Yew	Y	15' to 30'	Slow	Very Dense	Rounded to Spreading	Partial Shade	Moderate	

Large Shrubs (Over 13 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Thuja occidentalis</i> American or Eastern Arborvitae, White Cedar	Y	10' to 15'	Slow	Very Dense	Pyramidal	Full sun	Moderate	Use "Emerald", "Techny" or "Holmstrup" to limit height without trimming

Medium Shrubs (6 1/2 to 12 Feet Tall)

Scientific Name Common Name	Evergreen?	Average Spread	Growth Rate	Density	Form	Sunlight Requirement	Soil Moisture Requirement	Comments
<i>Acanthopanax sieboldianus</i> Fiveleaf Aralia	N	8' to 10'	Slow to Moderate	Dense	Rounded to Spreading	Full shade to full sun	Moderate to Dry	Greenish-white flowers in June and July. Black berries.
<i>Calycanthus floridus</i> Sweetshrub	N	6' to 12'	Slow to Moderate	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	Red-brown, extremely fragrant flowers throughout summer.
<i>Cornus alba</i> Tatarian Dogwood	N	5' to 10'	Fast	Dense	Upright to Rounded	Partial shade to full sun	Moderate	White flowers May-June.
<i>Cornus mas</i> Cornelian Cherry	N	15' to 20'	Slow	Dense	Rounded	Full sun	Moderate	Small yellow flowers February-March. Large red berries.
<i>Cornus racemosa</i> Grey Dogwood	N	6' to 8'	Moderate to Fast	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	White flowers May-June. Purple fall foliage.
<i>Cornus sericea</i> Red Osier Dogwood	N	10' to 15'	Fast	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	White flowers May-June. Orange to purple fall foliage. Bright red twigs.
<i>Elaeagnus umbellata</i> Autumn Olive	N	12' to 18'	Moderate to Fast	Dense	Spreading	Full sun	Moderate to Dry	Best for sites where nothing else will grow. Can become invasive.
<i>Euonymus alatus</i> Burning Bush	N	15' to 20'	Slow	Dense	Rounded to Spreading	Partial shade to full sun	Moderate	Subject to spider mites when plant is adjacent to asphalt. Compactus™ is slow-growing cultivar.
<i>Forsythia x intermedia</i> Border Forsythia	N	10' to 12'	Fast	Moderate	Upright to Spreading	Partial shade to full sun	Moderate	Yellow flowers in spring.

**Chapter 8
Sign Standards**

WC 16.08.010 General Provisions

A. Purpose and Intent.

Westfield-Washington Township wishes to establish sign regulations for the design, placement, and maintenance of signs in Washington Township which provide a reasonable and impartial means to permit communication, protect the public health, safety, and general welfare, minimize hazards to pedestrians and motorists along thoroughfares and at intersections, enhance the aesthetic environment of Westfield-Washington Township, safeguard property values, minimize possible adverse effects of signs on nearby property, protect public and private investment in buildings and open spaces and implement relevant provisions of the comprehensive plan as updated on an annual basis.

Westfield Washington Township wishes to balance the rights of businesses to identify themselves with the rights of the public to have uncluttered, safe and attractive public rights-of-way. The responsible regulation of signs will foster business opportunities and improve the quality of life in Westfield-Washington Township.

B. Applicability.

These regulations shall be applicable to all signs within Westfield-Washington Township, which:

1. Are newly constructed, erected, or placed into operation after the effective date of this chapter; and
2. Involve relocation or replacement of existing sign structures or supports commenced after the effective date of this chapter.

C. Exceptions.

All signs require a sign permit from the Community Development Department. Exceptions to the sign standards and permit requirements under this chapter shall include:

1. All regulatory, informational, identification, or directional signs required by law or government entity;
2. Scoreboards for public and private recreational facilities and institutions that do not provide for commercial or business advertising displays;
3. Postal signs, historic site markers or plaques, flags of government or noncommercial institutions, gravestones, and address numbers;
4. Structures and/or containers intended for separate use such as phone booths, waste management containers, and point-of-purchase advertising displays;

5. Lettering or symbols placed directly onto a licensed and operable motor vehicle or trailer operating in the normal course of business provided that a vehicle or trailer is not parked or positioned solely for advertising purposes;
6. Private informational signs such as "no trespass," "private," "sale," etc. which do not exceed four (4) square feet in surface area;
7. Signs not more than two (2) square feet in area provided, that no more than one such sign shall be permitted per premises;
8. Signs offering residential property for sale, lease, or rent, provided that such signs shall not exceed eight (8) square feet per face, are placed wholly on the subject property and are limited to a maximum of one (1) sign per street frontage;
9. Signs offering commercial or industrial property for sale, lease, or rent, provided that such signs shall not exceed sixty-four (64) square feet per face, are placed wholly on the subject property, do not exceed ten (10) feet in height, and are limited to a maximum of one (1) sign per street frontage;
10. Signs advertising construction projects, provided that such signs shall not exceed sixty-four (64) square feet per face, are placed wholly on the subject property, do not exceed ten (10) feet in height, are limited to a maximum of one (1) sign per street frontage, and shall be removed at the end of construction;
11. Political signs which do not impair lines of sight for vehicles or pedestrians provided that the signs are removed within seven (7) days following the subject event; and
12. Seasonal decorations within the appropriate holiday season or civic festival season.

D. Prohibitions.

Prohibitions to these sign standards shall include the following:

1. No signs or sign structure shall be similar in coloring, shape, function or location nor resemble, conflict with or be confused with any approved traffic-control sign or device;
2. No sign shall create a safety hazard for vehicles or pedestrians as determined by the Town Engineer or designee;
3. No sign shall be placed in any public right-of-way except publicly owned traffic-control and transit signs, informational, identification, and directional signs;
4. No pole signs shall be permitted within Westfield-Washington Township;
5. No off-premise sign shall be permitted within Westfield-Washington Township;
6. No display of temporary signs such as banners, flags, posters, pennants, ribbons, streamers, spinners, strings of lights, balloons or inflatable signs shall be permitted except on a limited basis pursuant to Section WC 16.08.010 L;
7. No sign shall project into the public right-of-way; except that a business sign mounted on a building may be permitted to project eighteen (18) inches from the face of a building elevation. Relief from this standard may be granted by the Town Council or designee;
8. No sign shall be mounted on a roof or extend above an eave or parapet of a building wall;
9. No sign shall be permitted to revolve, flash, blink, swing or appear to move;
10. No sign shall be affixed to trees, fence posts, utility poles or other support structures; and
11. No sign shall be placed on a personal or commercial vehicle or trailer which is then parked or positioned for the primary purpose of displaying the said sign.

E. General Sign Regulations.

All signs shall conform to the following regulations:

1. Signs must be kept clean, painted, in working operation and free of hazards, such as but not limited to, faulty wiring and loose fastenings, and must be maintained at all times in a safe condition so as not to be detrimental to the public health, safety or general welfare;
2. All monument signs shall be designed and located to maintain clear lines of sight along public rights-of-way;
3. Illumination of signs shall be regulated per Section WC 16.07 of the Westfield-Washington Township Zoning Ordinance;
4. Illuminated signs shall be setback a minimum distance of twenty-five (25) feet from any residential district;
5. Maximum sign height shall be measured from the ground upon which the sign is placed or crown height of the adjacent roadway whichever is higher;
6. Notwithstanding other provisions of these regulations, a single nonresidential use within a commercial or industrial zoning district may not be restricted to less than twenty-five (25) square feet of sign area nor shall any single nonresidential use be permitted to display more than five (500) hundred square feet of sign area;
7. Sign area shall be computed as the smallest continuous regular geometric figure needed to circumscribe a sign display including writing, representations, emblems, logos or other displays, exclusive of the supporting framework, base, or structural bracing clearly incidental to the sign display;
8. Abandoned sign copy shall be removed by the owner or lessee of a site upon which the sign is located within three (3) months after the business or service advertised by the sign ceases operations; and
9. Sign foundations and structures with copy removed may remain upon a site for twenty-four (24) months with the property owner's written consent provide that the foundations and structure are maintained pursuant to WC 16.08.010 E, 1.

F. Residential District Signs.

No sign shall be erected in a residential district except for the following:

1. Residential complexes and subdivisions shall be permitted one (1) monument sign per residential complex or subdivision entrance, which shall not exceed nine (9) feet in height, and shall not exceed thirty-two (32) square feet per sign face;
2. Residential complex or subdivisions entrances shall be permitted a maximum of two (2) separate sign display areas provided that the sign display areas are directly incorporated into an entrance landscape feature, wall, or other decorative feature. In no instance shall the sign display area exceed fifteen (15) feet in height or total more than one hundred (100) square feet of sign area;
3. Home occupations shall be permitted one (1) sign per residence which shall not exceed 4 square feet in total sign area; and
4. Home occupation signs shall only be affixed to a wall or door of a residence.

G. Individual Nonresidential Signs.

1. A maximum of one (1) monument sign shall be permitted for each public street frontage per lot in all zoning districts;
2. Monument signs may have a maximum sign display area of sixty (60) square feet per sign face;
3. Monument sign display area may have a maximum height dimension of six (6) feet and a maximum width dimension of twelve (12) feet;
4. Monument signs may have a maximum sign height of nine (9) feet only when incorporating a sign base and sign cap features;
5. Monument signs incorporating a cap or base shall have a minimum base height of six (6) inches, a maximum base height of twenty-four (24) inches and a minimum cap height of two (2) inches. Total aggregate sign cap and base height shall not exceed three (3) feet;
6. Sign caps and bases shall not be used for sign display or advertising purposes;
7. In all nonresidential zoning districts, total sign area allocation permitted for any commercial or industrial property shall be one (1) square foot of sign area for each one linear foot of building fronting on a public street;
8. The total sign area allocation may then be divided between monument, wall, and awning signs permitted by Chapter 16.08;
9. Walls signs located on a side wall are limited in size to one-half (0.5) square feet of sign area for each one (1) linear foot of building frontage on a public street and shall reduce the overall total sign area allocation by said amount;
10. All signs shall conform to the side and rear yard setback requirements for structures as set forth in Chapter 20.07 of this zoning ordinance; and
11. Signs shall have a minimum front yard or right-of-way setback requirement of five (5) feet from a property line or right-of-way.

H. Downtown Center.

The Local Business Historical District (LB-H) shall be regulated per Section WC 16.08.010, G of the Westfield-Washington Township Zoning Ordinance. In addition to these signs standards the following signs are also permitted within the Downtown Center:

1. Projecting signs which do not exceed sixteen (16) square feet per sign face.

I. Nonresidential Center Signs.

1. Nonresidential centers less than 25,000 square feet in size shall be permitted one monument sign per nonresidential center, which shall be no greater than nine (9) feet in height and have no more than sixty (60) square feet of sign area per face;
2. Nonresidential centers which range in size from 25,000 square feet to one hundred thousand (100,000) square feet shall be permitted one monument sign per nonresidential center, which shall be no greater than fifteen (15) feet in height and have no more than one hundred and twenty (120) square feet of sign area per face;
3. Nonresidential centers greater than one hundred thousand (100,000) square feet shall be permitted one monument sign per nonresidential center, which shall be no greater than

twenty-five (25) feet in height and have no more than two hundred and fifty (250) square feet of sign area per face;

4. Nonresidential center signs shall have a minimum base height of six (6) inches and a minimum cap height of two (2) inches. Total aggregate sign cap and base height shall not exceed six (6) feet;
5. Sign caps and bases shall not be used for display or advertising purposes;
6. In addition to a nonresidential center sign, a nonresidential center shall be permitted one (1) entrance sign per point of ingress;
7. Nonresidential center entrance signs shall be limited to a maximum of six (6) feet in height, a sign area of thirty (30) square feet per sign face;
8. In all nonresidential zoning districts, total sign area allocation permitted for any commercial or industrial property shall be one (1) square foot of sign area for each one (1) linear foot of building on a front elevation;
9. The total sign area allocation may then be divided between monument, wall, and awning signs permitted by Chapter 16.08;
10. Walls signs in nonresidential centers shall be located on front building elevations except that those tenants with corner locations are permitted to place one sign on a side wall;
11. Any side wall sign shall be deducted from the total sign allocation for the tenant space and shall be limited to one-half (0.5) the total sign area permitted for the tenant space;
12. Outlots within a nonresidential center shall not be permitted monument signs; and
13. Outlot wall signs are limited to four (4) square feet of sign area for each one (1) linear foot on the longest building elevation.

SIGN DEVELOPMENT STANDARDS				
Land Use	Maximum Number of Signs per Street Front	Maximum Sign Area per Face	Maximum Sign Height	Total Sign Area Ratio
DISTRICTS				
Residential Complex & Subdivision	1	32	9	—
Individual Nonresidential Use	1	60	9	1:1 + Bonus
Downtown Center				
Small Nonresidential Center	1	60	9	1:1 + Bonus
Medium Nonresidential Center	1	120	15	1:1 + Bonus
Large Nonresidential Center	1	250	25	1:1 + Bonus

- **Sign, real estate.** Real estate sign means a sign announcing the sale, rental, or lease of real property on the lot or within the development site on which the sign is displayed, and identifying the owner, realty agent, telephone numbers or "open house" information.
- **Sign, residential complex or subdivision.** Residential complex or subdivision sign means a sign containing the name of a residential complex or subdivision, with or without its accompanying address.
- **Sign, sandwich board.** Sandwich board sign means a portable sign for display in front of a business for the specific use of advertising that business.
- **Sign, wall.** Wall sign means a sign attached to and/or integral with an exterior wall or window surface of a building, the face of which is parallel to the surface.

perimeter shall not include any structural elements lying outside the limits of the sign which are not part of the information, visual attraction, or symbolism of the sign.

- **Sign awning.** Awning sign means any advertising or display located on any non-rigid material that extends from the exterior wall of a building and is supported by or attached to a frame.
- **Sign center.** Center sign means advertising used to identify a nonresidential center, which may include individual tenant advertising.
- **Sign construction.** Construction sign means a sign directing attention to construction upon a property where the sign is displayed, and bearing the name, address, or other identifier of the contractor, subcontractor, architect and/or development team.
- **Sign direction.** Direction sign means a sign intending to direct the safe flow of vehicular and pedestrian traffic and includes "enter," "exit," and "arrow" signs.
- **Sign entrance.** Entrance sign means those signs located at nonresidential centers which identify points of ingress and egress into a nonresidential center.
- **Sign flashing.** Flashing sign means any illuminated sign which exhibits changing light or color effects.
- **Sign illuminated.** Illuminated sign means a sign which has characters, letters, figures, designs, or outline illuminated by electric lights or luminous tubes as a part of the sign proper, or which is illuminated by reflectors.
- **Sign lawful nonconforming.** Lawful nonconforming sign means any sign lawfully existing at the time of the enactment of any provision of this zoning ordinance, or any amendment thereto, with which the sign does not comply.
- **Sign monument.** Monument sign means a sign which is either supported by a base with an aggregate width of at least seventy-five (75) percent of the total horizontal width of the sign and is in excess of six (6) feet in height.
- **Sign off-premises.** Off-premises sign means a sign directing attention to a specific business, product, service, entertainment, or any other activity offered, sold, or conducted elsewhere than upon the lot where the sign is displayed.
- **Sign pole.** Pole sign means a sign which is supported by one or more poles, posts, or braces upon the ground, in excess of six (6) feet in height, not attached to or supported by any building.
- **Sign projecting.** Projecting sign means any sign attached to a building or wall and extending laterally more than eighteen (18) inches from the face of a wall.

WC 16.04.210 Definitions

- **Banner**. Banner means any hanging sign possessing characters, letters, illustrations or ornamentations which are designed or intended to convey any identification, message or information other than an address number and which are applied to paper, plastic or fabric of any kind. This classification shall not include plastic or fabric signs which are permanently attached within a rigid frame which are intended to be used as a permanent sign. National flags, flags of political subdivisions and symbolic flags of any institution or business shall not be considered banners for the purpose of this chapter.
- **Nonresidential Center, Large**. Large nonresidential center means any building or combination of buildings with more than one occupant or business, in which the total gross square footage of floor area exceeds one hundred thousand (100,000) square feet of gross floor area. A large nonresidential center may include one or more outlots.
- **Nonresidential Center, Medium**. Medium nonresidential center means any building or combination of buildings with more than one occupant or a business, in which the total gross square footage of floor area is equal to or greater than twenty-five thousand (25,000) square feet but does not exceed one hundred (100,000) thousand square feet of gross floor area. A small nonresidential center may include one or more outlots.
- **Nonresidential Center, Small**. Small nonresidential center means any building or combination of buildings with more than one occupant or a business, in which the total gross square footage of floor area is less than twenty-five thousand (25,000) square feet. A small nonresidential center may include one or more outlots.
- **Nonresidential Use, Individual**. Individual nonresidential use means any building or combination of buildings with a single tenant or occupant. An individual nonresidential use shall not be considered a component of a large or small nonresidential center.
- **Outlot**. Outlot means a lot of record in a subdivision, nonresidential center or planned unit development which is adjacent to a (public or private) street, roadway or frontage road and is intended for an additional and separate building or buildings within a development.
- **Premises**. Premises means a lot, parcel, tract or plot of land together with the buildings and structures thereon.
- **Sign**. Sign means any display or device placed on a property in any fashion which is designed, intended, or used to convey any identification, message or information other than an address number.
- **Sign area**. Sign area means the entire area within a single continuous perimeter enclosing the extreme limits of a sign, including all background area figures and letters. However, such

1. Name, address, and telephone number of applicant or business;
2. Site address;
3. Graphic scale;
4. A site plan indicating the location of any building upon which a sign is to be mounted, with the location of the signs indicated;
5. A site plan indicating the location of any existing or proposed monument signs;
6. A square footage calculation of any proposed sign(s), as well as the location and square footage of all existing on-site sign(s);
7. Elevation of proposed signs including size, materials, color and dimensions;
8. A true color rendering of the proposed signs;
9. Illumination details for proposed signs, including the timing of sign illumination and method of control of such illumination;
10. Indication of sign type(s) as defined in this chapter;
11. Written consent of the owner of the building, structure, or land on which the sign is to be erected if the applicant is not the owner; and
12. Temporary and special event sign displays shall provide a schedule for sign displays which indicate the dates and duration of the sign displays.
13. Any other information necessary to support a thorough review of the project and as requested in writing by the Director

All applications for permits shall be accompanied by payment of fees. The fee schedule shall be kept on file in the Community Development Department. If the proposed sign plan is in compliance with all the requirements of this zoning ordinance, a permit shall be issued.

O. Violations and Enforcement.

The Director or designee is authorized to enforce all provisions of this chapter. Violations of this Ordinance shall be subject to the enforcement remedies and penalties provided by this Ordinance, by other Town ordinances, and by state law. Remedies of the Town shall include

1. The Director or designee shall advise the owner of the sign, business, building, structure or premise in writing of a violation of this chapter and specify a date for compliance which shall not exceed thirty (30) days;
2. The written notice shall describe the violation, appeal process, and enforcement provisions including penalties that may be assessed;
3. Issuing a stop work order for any and all work on any signs on a site;
4. Seeking an injunction or other restraint that requires the removal of the sign or correction of the nonconformity;
5. Imposing civil penalties in accordance with the following schedule:
 - a. \$50 for the first day of the violation;
 - b. \$100 for the second day of the violation;
 - c. \$250 for the third day of the violation; and
 - d. \$500 a day each day thereafter that violation continues; and
6. And other remedies provided for or allowed by state law or Town Codes.

8. Sandwich board signs shall have a base support and the base support shall be weighted with a minimum ten (10) pound ballast to ensure sign stability;
9. Sandwich board signs shall not be permanently affixed to any structure or sidewalk, and must be removed at the end of each business day;
10. Signs shall only be placed on sidewalks six (6) feet in width or greater;
11. Placement of sandwich board signs in a public right-of-way shall require approval by the Westfield Town Council, or designee; and
12. More than two (2) sign violations in one calendar year shall result in the termination of the sandwich board sign permit and require removal of the sandwich board for that calendar year.

L. Temporary and Special Event Signs.

Temporary and special event signs shall only be permitted in commercial zoning districts and shall conform to the following regulations.

1. New businesses, seasonal businesses, grand openings or special events may display signs prohibited in subsection 16.08.010 D, 6, after having applied for and received a sign permit;
2. All existing business shall be limited to one (1) temporary sign permit annually;
3. All temporary signs shall be placed on the property on which the commercial or industrial use or business is being conducted;
4. Temporary sign permits shall be limited to fifteen (15) calendar days per quarter; and
5. Temporary sign permits may be issued for a calendar year or renewed on a quarterly basis at the Community Development Department

M. Nonconforming Signs.

All existing signs which do not conform to this section are designated lawfully nonconforming and shall either be removed or brought into compliance with these regulations at such a time when new development or expansion is proposed, or when a change in signage is proposed for the property upon which the sign is located. Lawful nonconforming signs shall not be relocated, expanded, or altered except to permit routine maintenance and repairs. In no case shall the replacement of individual tenant name panels on a non-residential center sign constitute the need to bring the non-residential center sign into compliance with these sign regulations.

N. Permits.

After the effective date of the ordinance codified in this title, and except as otherwise provided, no person shall erect any sign as defined herein without first obtaining a sign permit from the Community Development Department. Signs which shall not require a permit include all signs or displays permitted in Section 16.08.010 C, Exceptions. Application for a permit shall be made in writing, upon forms prescribed and approved by the Director and shall contain the following information:

J. Sign Area Bonus.

The total sign allotment for an individual nonresidential use or a nonresidential center may be increased by a specified percentage for compliance with design criteria listed below. Percentage increases shall be based on the original sign allotment calculation. If more than one criterion is met, then sign area bonuses will be granted cumulatively.

1. **Sign Number.** A five (5%) percent area bonus shall be granted for limiting the total number of signs to three (3) or less;
2. **Individual Letters.** A ten (10%) percent area bonus shall be granted for wall signs which consist of individual letters mounted directly on a building surface;
3. **Wall Signs.** A ten (10%) percent area bonus shall be granted for not having a monument sign;
4. **Monument Signs.** A ten (10%) percent area bonus shall be granted for using brick, stone or equivalent substitute in the construction of a sign base, cap and supporting structure;
5. **Landscaping.** A ten (10%) percent area bonus shall be granted for landscaping the area around a base of a monument sign. Refer to Section 16.06.010 of the Zoning Ordinance for landscaping details;
6. **Alternative Materials.** A ten (10%) percent area bonus shall be granted for wall and ground signs which for using decorative wood, sculpted metal, or equivalent substitutes;
7. **Matching Materials.** A ten (10%) percent area bonus shall be granted if over fifty (50%) percent of the sign base, cap, and supporting structure matches building materials used on a front elevation of a building; and
8. **Nonresidential Centers.** A ten (10%) percent area bonus shall be granted if nonresidential center management mandates a uniform and complimentary sign color scheme so long as the color scheme has been approved by the Planning Director or designee.

K. Sandwich Board Signs.

Sandwich board signs shall only be permitted in commercial zoning districts and shall conform to the following regulations:

1. The placement of sandwich board signs shall not impede pedestrian or vehicular traffic;
2. One (1) sandwich board sign shall be permitted per individual commercial or business use;
3. Sandwich board signs shall count toward the total sign allotment for a commercial use or business;
4. Sandwich board signs shall not exceed six (6) square feet per sign face;
5. Sandwich board sign faces shall be constructed of a chalk board type material or equivalent substitute which permit the application of any identification, message or information with a non-permanent type of text, design or logo;
6. Sandwich board sign width shall not exceed three and one-half (3.5) feet when measured from the outside of a sign support and/or sign face;
7. Sign height shall not exceed five (5) feet when measured from the ground to the top of a sign face or sign support structure;

EXHIBIT E
SIGN STANDARDS

2. Lighting fixtures used to illuminate ground mounted or monument signs may be illuminated with a ground mounted or bottom mounted lighting fixture, provided that the fixture is fully shielded and all light output is directed onto the sign surface.
3. No sign lighting shall pulse, rotate, blink, flash or simulate motion, except a display containing only the time and temperature; and
4. Lamps utilized for the internal illumination of wall signs shall be turned off at 11:00 p.m. or when business closes.

H. Lighting Plans.

The applicant for any permit required by Westfield-Washington Township that proposes outdoor lighting shall submit a lighting plan set which includes:

1. A site plan indicating the location of all lighting structures, supports and fixtures, including those fixtures which presently exist on site and those which are proposed for the site;
2. A graphic and/or textual description of all lighting fixtures, both proposed and existing on-site. The description may include, but is not limited to cut sheets and illustrations by the manufacture, lamp types, wattages, and lumen outputs;
3. A site plan with illuminance levels superimposed on the site plan in the form of an iso foot-candle diagram or point-by-point grid diagram.
4. All plot lighting levels shall be depicted at 10-foot intervals or less.
5. The iso foot-candle diagram shall plot foot-candle increments of one-half (0.5) foot-candle or less;
6. Photometric data depicting the angle of cut off of light emissions; and
7. Any other information that the Planning Director determines necessary to ensure compliance with the provisions of this chapter.

EXHIBIT F

DEVELOPMENT STANDARDS

	Area A	Area B	Area C
Home Collection	Meridian Collection	Springmill Collection	Irvington Collection
Minimum lot width at building line at which building is actually built	90'	80'	60'
Minimum lot depth	130'	130'	130'
Minimum lot frontage on street	50'	50'	50'
Minimum lot area	11,700 s.f.	10,400 s.f.	7,800 s.f.
Minimum front yard setback	25'	25'	20'
Minimum side yard setback	7'	10'	5'
Minimum rear yard setback	25'	25'	15'
Maximum building height* for all residences	35'	35'	35'

* Building Height shall be measured from the average ground level at the foundation of the residence facing the street to the mean height between the eaves and ridges for gable, hip, and gambrel roofs. Chimneys and other similar structures shall not be included in calculating building heights.

DEVELOPMENT STANDARDS THAT RELATE TO THE OVERALL PROJECT

Area size	69.37 acres
Maximum density	2.2 du/acre
Common area open space	21% minimum

1. The developer shall not be required to install street lights as required by WC 16.04.240(I). Dusk to dawn lights on the homes shall be used in place of the street lights.
2. The Estridge Companies shall be the only Builder allowed to construct homes within the community.

EXHIBIT G

ARCHITECTURAL STANDARDS

A. Standards Applicable to Area A – Meridian Collection Homes

1. All lots shall be required to adhere to the Centennial Declaration of Covenants, Conditions, Easements, and Restrictions.
2. All residences shall have a minimum two car attached garage.
3. All residences shall have a minimum roof pitch on the primary structure of 12 horizontal to 6 vertical. Lesser roof pitches down to 12 horizontal to 4 vertical on patios and other auxiliary roofs are permitted.
4. All driveways shall be concrete.
5. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
6. All residences shall have a minimum of an eight inch roof overhang.
7. All residences shall be two-story residences with a minimum of 2,200 square feet of living space exclusive of garages, porches, patios, and basements.
8. Permitted exterior elevations and materials shall match the current materials of the elevations currently being constructed by the Estridge Companies and as illustrated in Exhibit I. Any Meridian Collection elevations submitted for building permit approval that are not included in the elevations contained in Exhibit I shall be substantially similar in character to those included in Exhibit I.
9. Front yards and side yards shall be sodded and back yards shall be hydroseeded.

B. Standards Applicable to Area B – Springmill Collection Homes

1. All lots shall be required to adhere to the Centennial Declaration of Covenants, Conditions, Easements, and Restrictions.
2. All residences shall have a minimum two car attached garage.
3. All residences shall have a minimum roof pitch on the primary structure of 12 horizontal to 6 vertical. Lesser roof pitches down to 12 horizontal to 4 vertical on patios and other auxiliary roofs are permitted.
4. All driveways shall be concrete.
5. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
6. All residences shall have a minimum of an eight inch roof overhang.
7. All residences shall be two-story residences with a minimum of 1,750 square feet of living space exclusive of garages, porches, patios, and basements.
8. Permitted exterior elevations and materials shall match the current materials of the elevations currently being constructed by the Estridge Companies and as illustrated in Exhibit J. Any Springmill Collection elevations submitted for building permit approval that are not included in the elevations contained in Exhibit J shall be substantially similar in character to those included in Exhibit J. All vinyl siding shall have a minimum 0.044 thickness.
9. Front yards and side yards shall be sodded and back yards shall be hydroseeded.

C. Standards Applicable to Area C – Irvington Collection Homes

1. All lots shall be required to adhere to the Centennial Declaration of Covenants, Conditions, Easements, and Restrictions.
2. All residences shall have a minimum two car attached garage.
3. All residences shall have a minimum roof pitch on the primary structure of 12 horizontal to 6 vertical. Lesser roof pitches down to 12 horizontal to 4 vertical on patios and other auxiliary roofs are permitted.
4. All driveways shall be concrete.
5. Identical model elevations shall be separated by at least one lot. No identical model elevations shall be directly across the street from one another.
6. All residences shall have a minimum of an eight inch roof overhang.
7. All residences shall be at least one-story residences with a minimum of 1,600 square feet of living space exclusive of garages, porches, patios, and basements.
8. Permitted exterior elevations and materials shall match the current materials of the elevations currently being constructed by the Estridge Companies and as illustrated in Exhibit K. Any Irvington Collection elevations submitted for building permit approval that are not included in the elevations contained in Exhibit K shall be substantially similar in character to those included in Exhibit K. All vinyl siding shall have a minimum 0.044 thickness.
9. Front yards and side yards shall be sodded and back yards shall be hydroseeded.

EXHIBIT H
CONCEPT PLAN

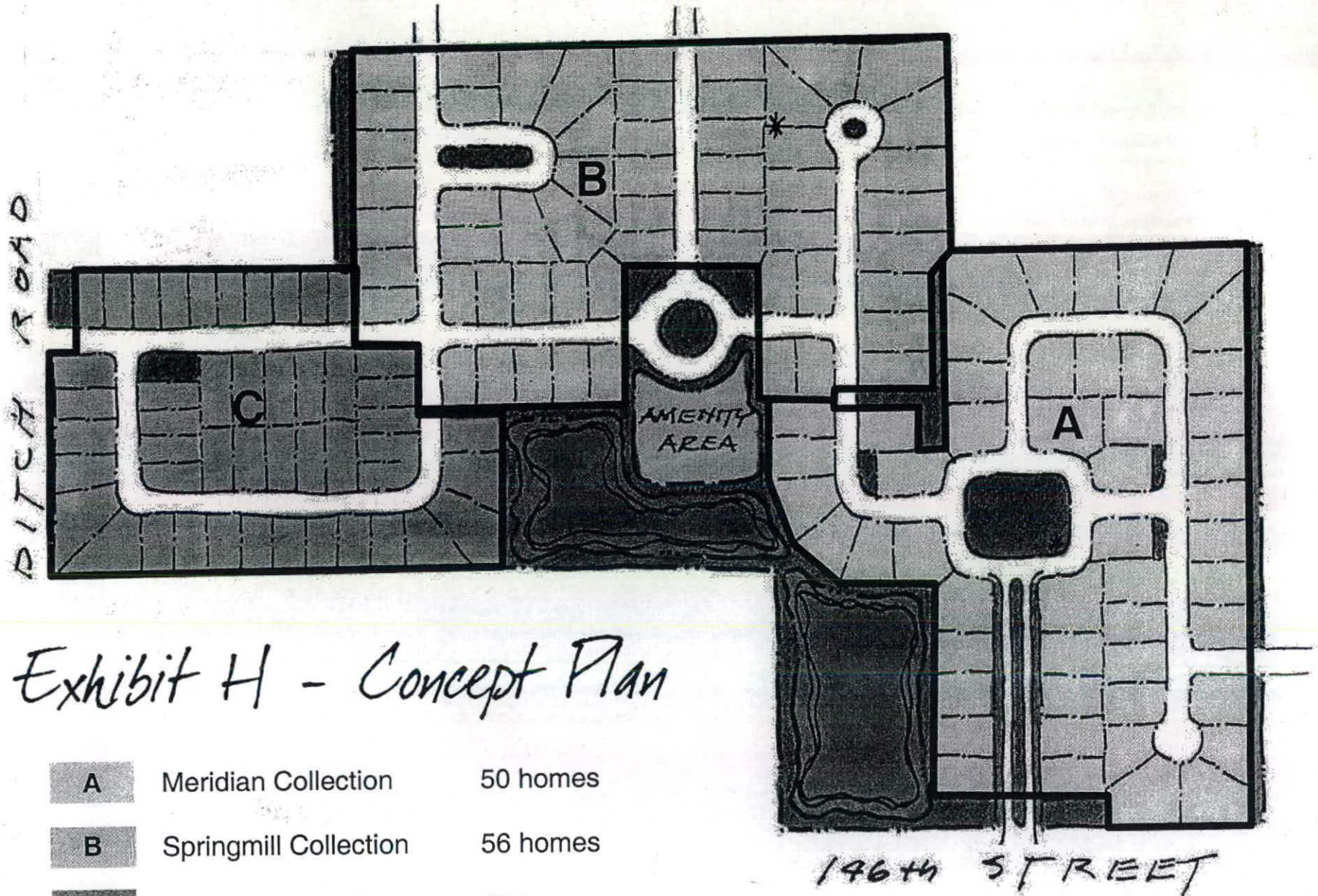
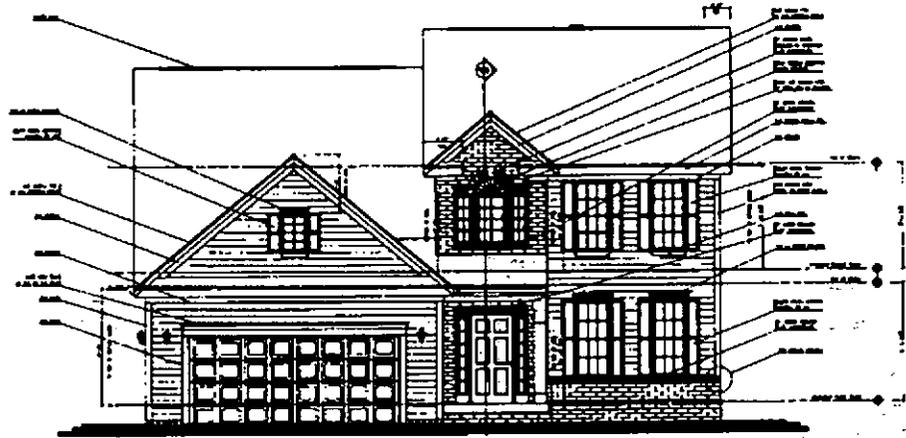
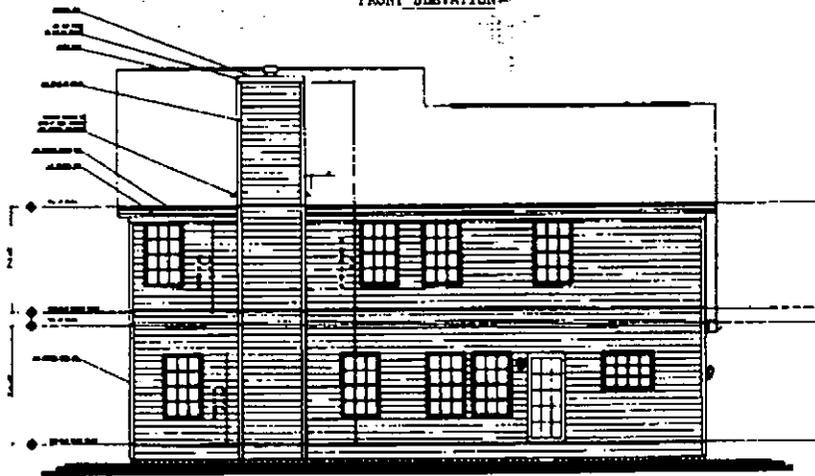


Exhibit H - Concept Plan

A	Meridian Collection	50 homes
B	Springmill Collection	56 homes
C	Irvington Collection	<u>47 homes</u>
	Total	153 homes



FRONT ELEVATION



REAR ELEVATION

THE
 ARCHITECT
 OF
 THE
 DISTRICT OF
 COLUMBIA
 REGISTERED
 ARCHITECT
 NO. 12345
 1234 5th St. N.W.
 WASHINGTON, D.C. 20004
 TEL: 202-555-1234
 FAX: 202-555-5678

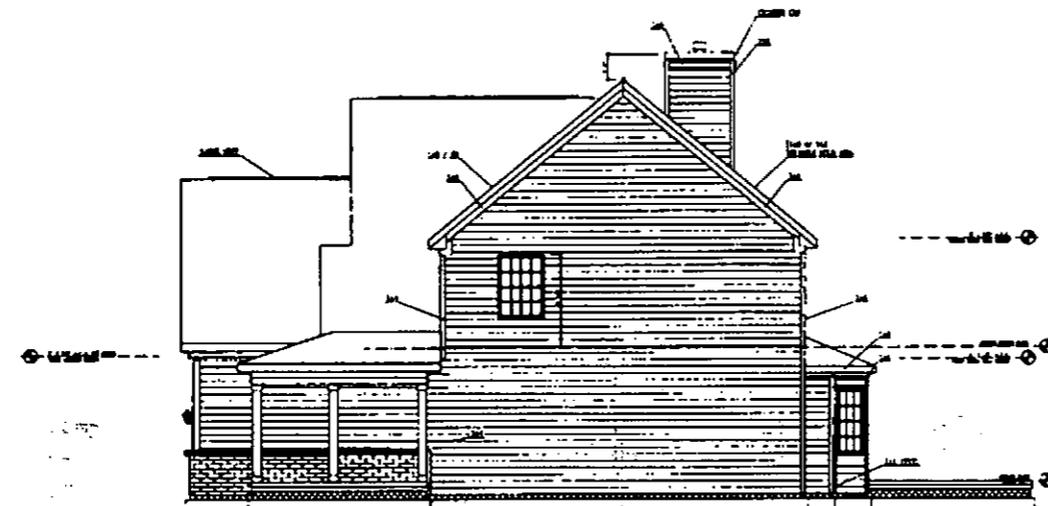
PROJECT NO. 12345
 SHEET NO. 1 OF 1
 DATE: 05/18/01
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 APPROVED BY: K. BROWN

CLIENT: J. SMITH
 ADDRESS: 1234 5th St. N.W.
 WASHINGTON, D.C. 20004
 PHONE: 202-555-1234
 FAX: 202-555-5678

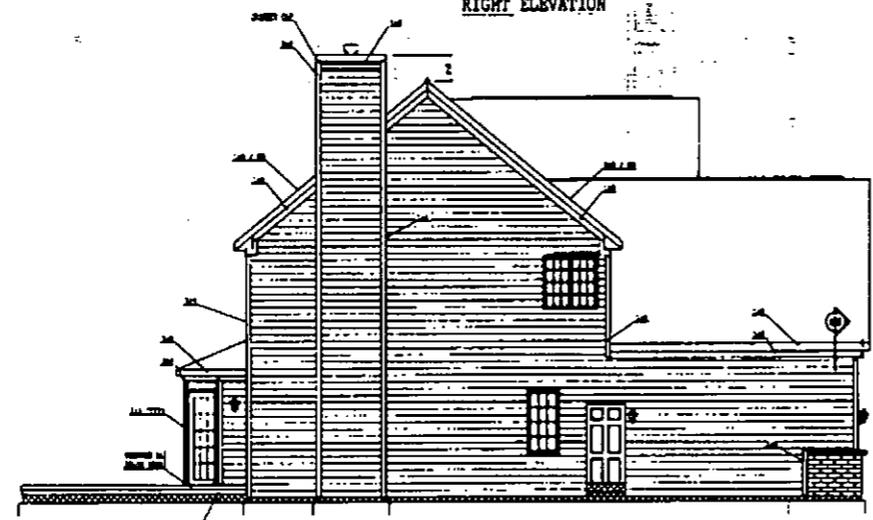
PLAN NO. 1234
 SHEET NO. 1 OF 1
 DATE: 05/18/01
 DRAWN BY: J. SMITH
 CHECKED BY: M. JONES
 APPROVED BY: K. BROWN

DATE: 05/18/01

SCALE - 1/4" = 1'-0"



RIGHT ELEVATION



LEFT ELEVATION

THE
 ARCHITECT
 1000
 1000
 1000

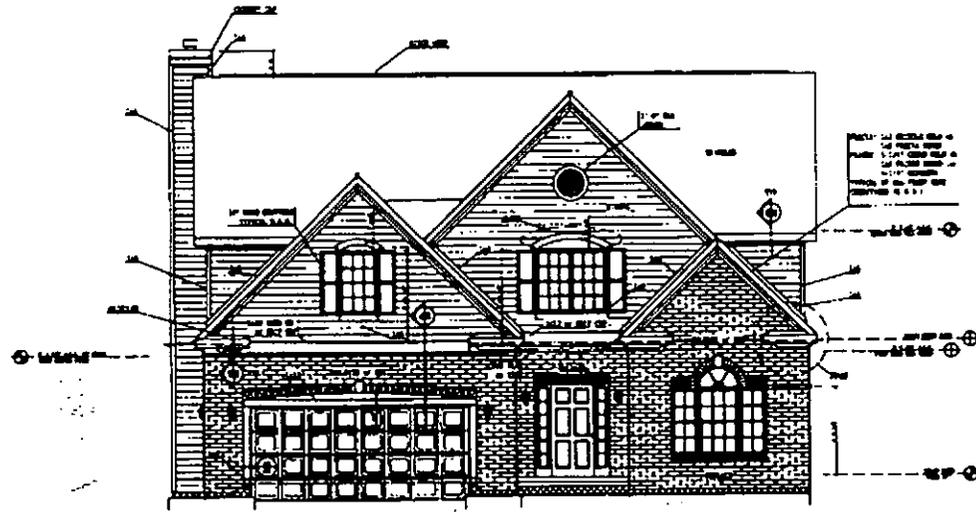
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NO.	DATE
NO.	DATE
NO.	DATE

NO.	DATE
NO.	DATE
NO.	DATE

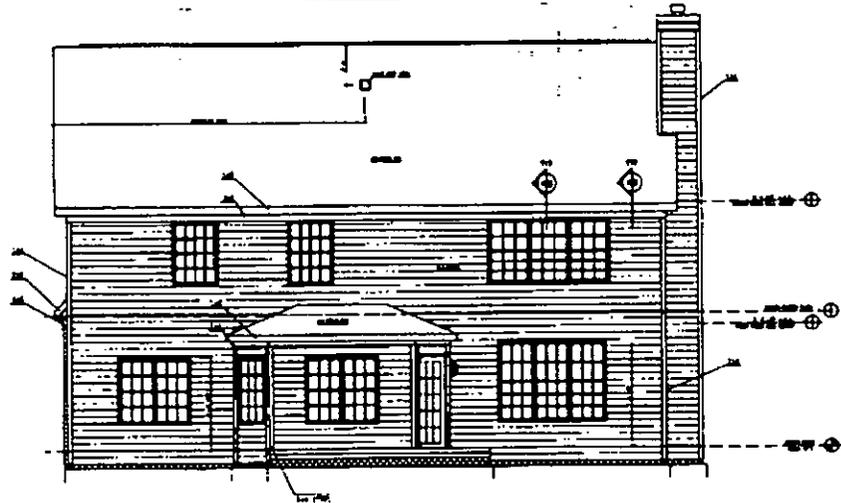
NO.	DATE
NO.	DATE
NO.	DATE

CVR
 DATE
 08/05/93

1000-1000-1000



FRONT ELEVATION



REAR ELEVATION

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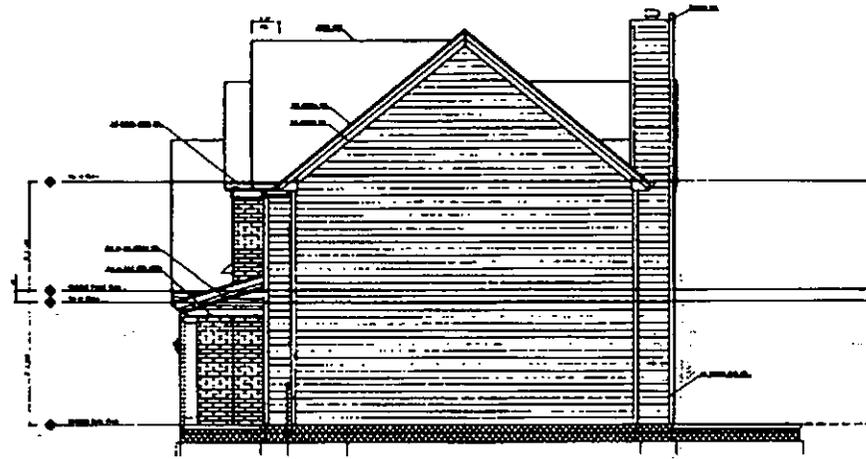
THE
STRONG
 GROUP

OWNER: [REDACTED]
 ARCHITECT: [REDACTED]
 DATE: [REDACTED]

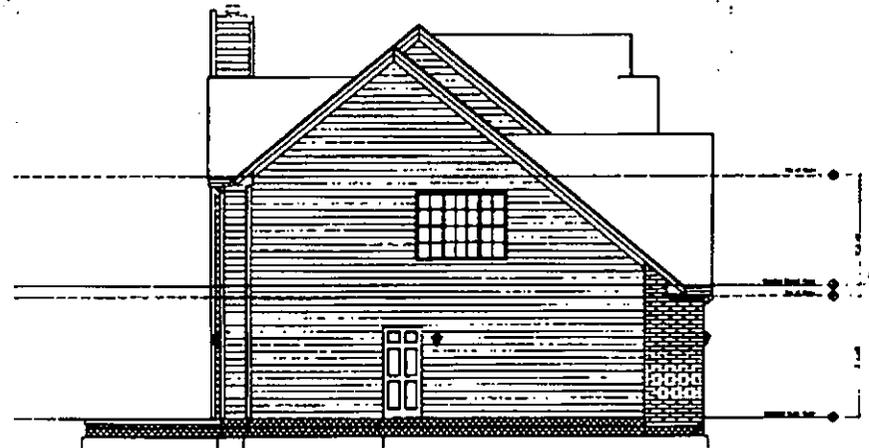
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 SHEET: [REDACTED]

DATE: [REDACTED]
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]

CVR
 DATE: 08/05/97



SIDE ELEVATION



SIDE ELEVATION

THE
STROUSE
 ARCHITECTS
 1010 14th St. N.W.
 WASHINGTON, D.C. 20004
 TEL. 202-331-1100

PROJECT NO. _____
 SHEET NO. _____ OF _____
 DATE: _____

APPROVED FOR CONSTRUCTION:
 ARCHITECT: _____
 DATE: _____

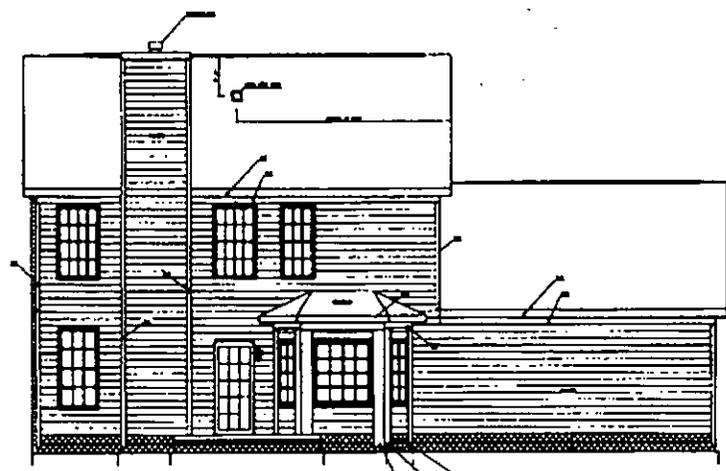
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 CHECKED BY: _____
 DATE: _____

CVR
 DATE: 10/30/00

SCALE: 1/4" = 1'-0"



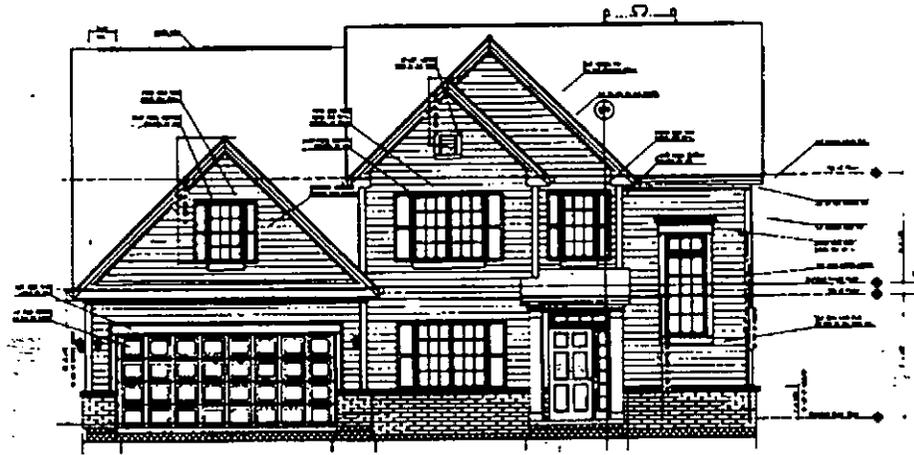
FRONT ELEVATION



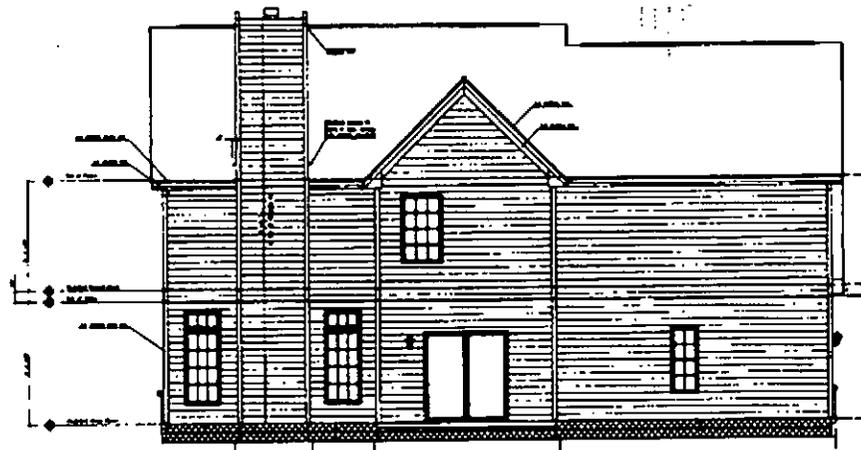
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SCALE - 1/4" = 1'-0"

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PROJECT NAME _____ PROJECT ADDRESS _____ CITY _____ STATE _____ ZIP _____	
CLIENT NAME _____ CLIENT ADDRESS _____ CITY _____ STATE _____ ZIP _____	
CONTRACT NO. _____ CONTRACT DATE _____	
CVR 09/10/97	



FRONT ELEVATION



REAR ELEVATION

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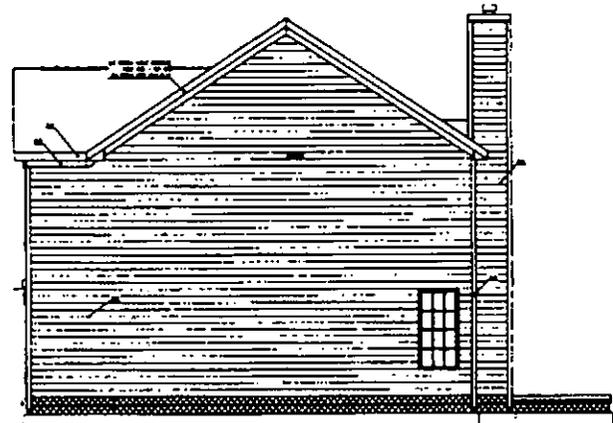
THE
CVR
GROUP

DATE: 10/30/00
BY: [illegible]
CHECKED BY: [illegible]
APPROVED BY: [illegible]

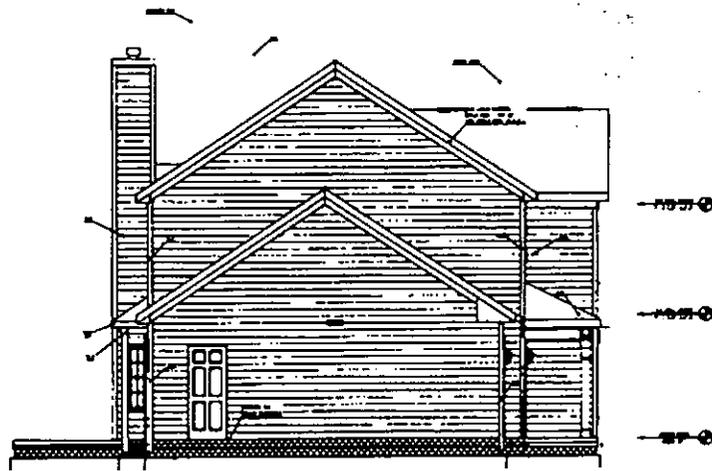
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NO. 50

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NO. 50

CVR
DATE:
10/30/00



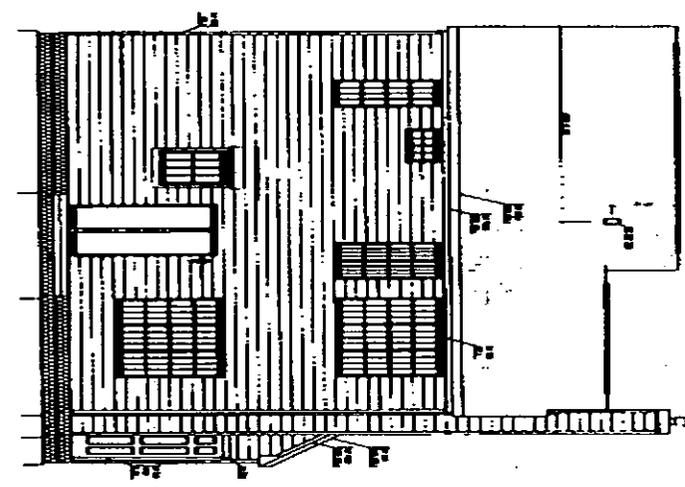
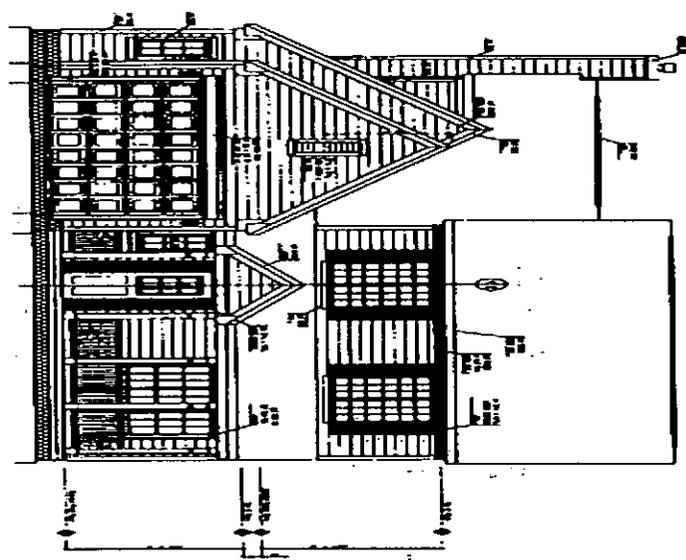
SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

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CVR CONSTRUCTION SERVICES, INC. 29/10/97	



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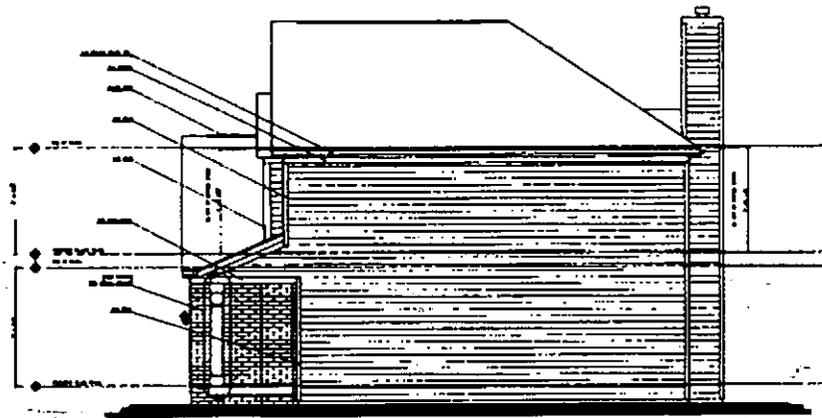
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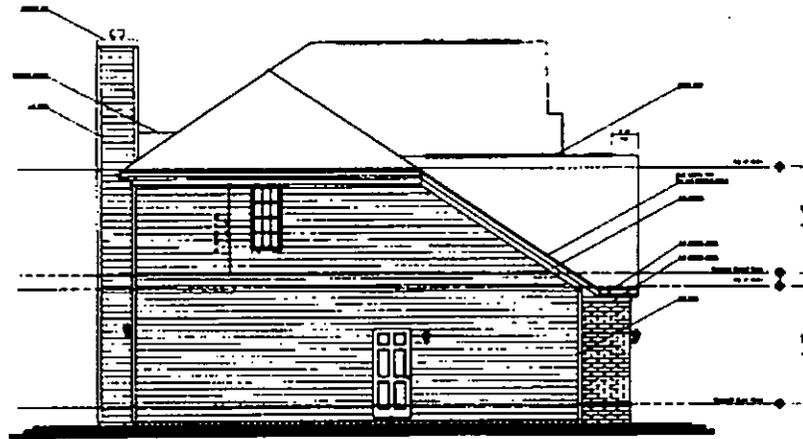
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NO.	DESCRIPTION	DATE

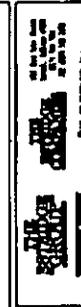
NO.	DESCRIPTION	DATE



SIDE ELEVATION



SIDE ELEVATION



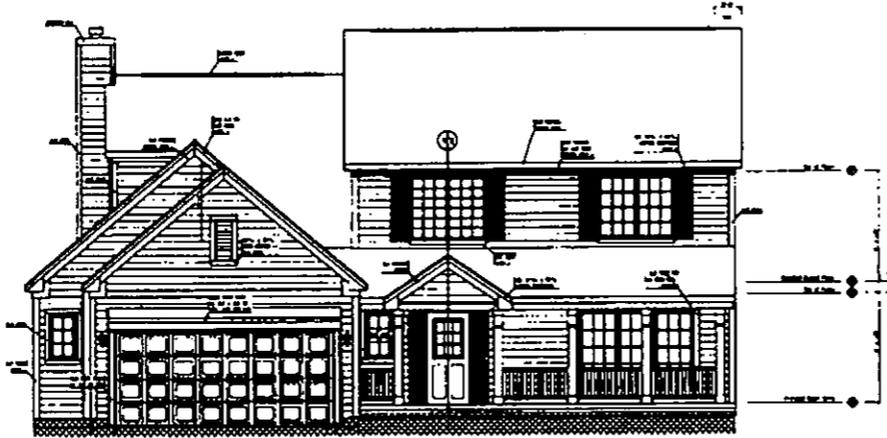
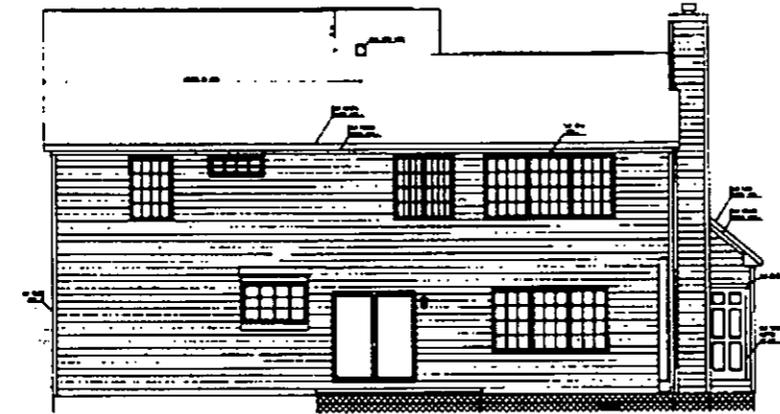
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PROJECT: [illegible]

NO. [illegible]
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PROJECT: [illegible]

DATE: 05/10/61

SCALE - 1/4" = 1'-0"



SCALE - 1/4" = 1'-0"

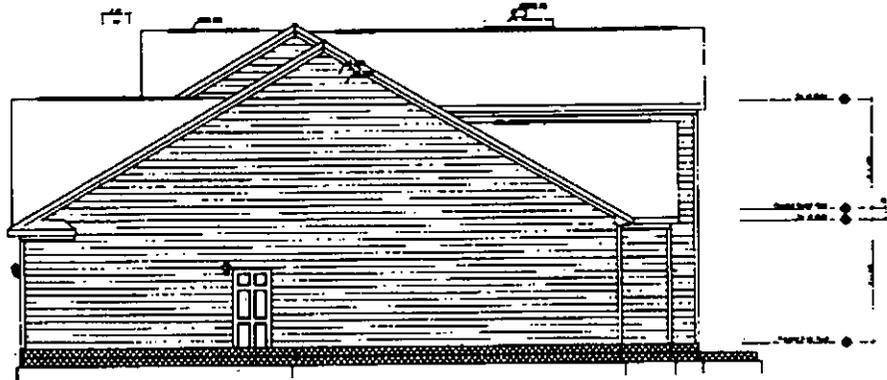
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 01/22/99

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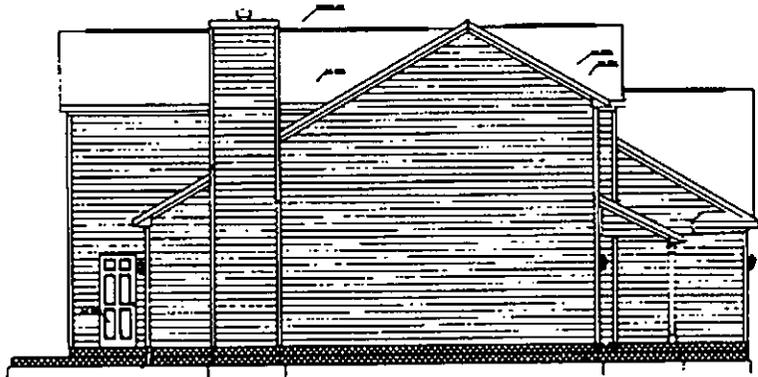
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 TOTAL SHEETS 111-1

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 DATE 1/22/99
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PROJECT NO. 111
 DRAWING NO. 111-1
 DATE 1/22/99
 DRAWN BY: [Name]
 CHECKED BY: [Name]



SIDE ELEVATION



SIDE ELEVATION

2014 - 11' x 11' 6"



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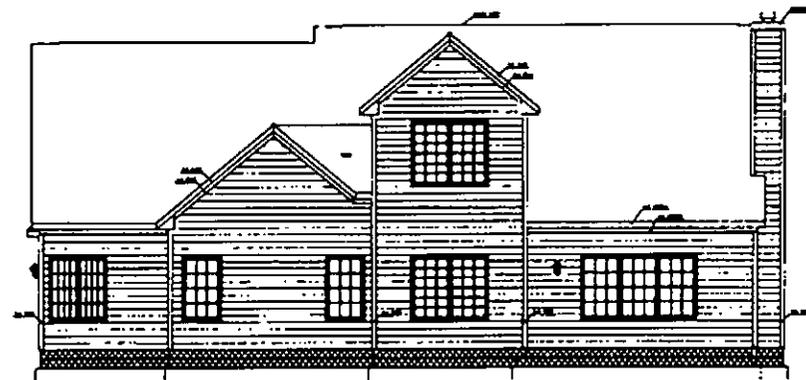
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PROJECT	
DESCRIPTION	
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DATE	

DATE	NO.
PROJECT	
DESCRIPTION	
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DATE	

CVR
DATE: 12/31/95



FRONT ELEVATION



REAR ELEVATION



REVISED AND FOR:

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BY: _____

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DATE: _____

BY: _____

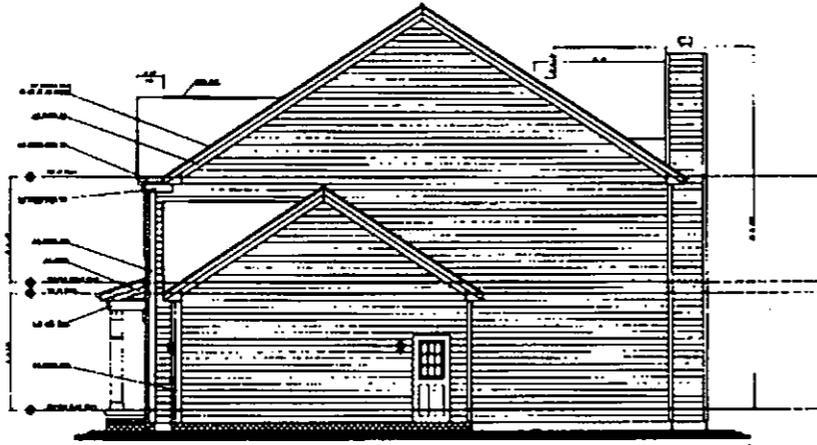
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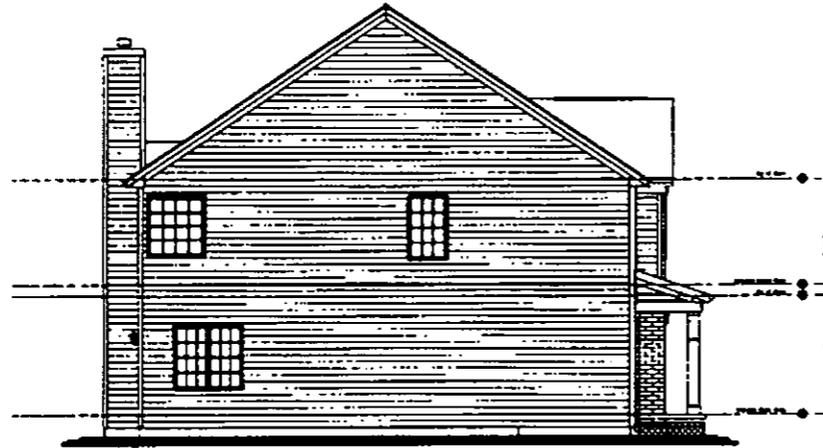
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DATE: 12/31/95

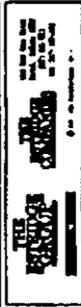
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SIDE ELEVATION



SIDE ELEVATION



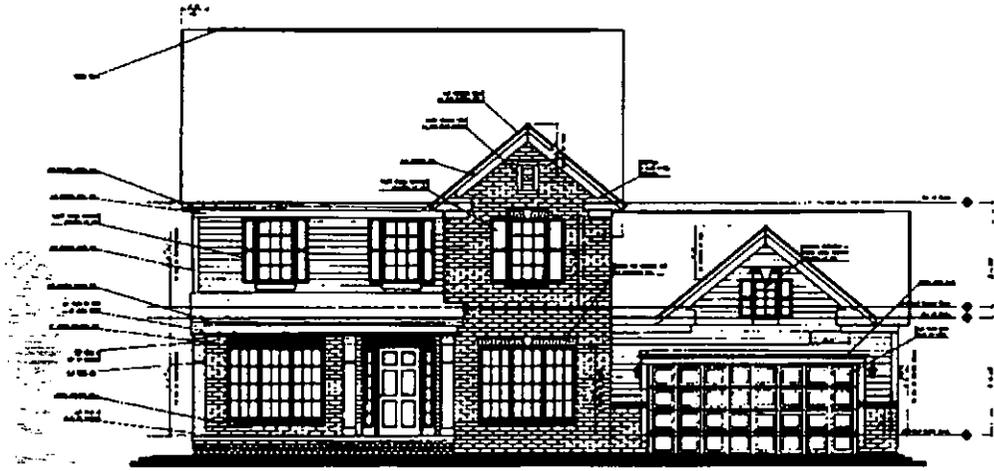
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CLIENT	SCALE
ARCHITECT	DATE

NO.	DATE
DESCRIPTION	SCALE

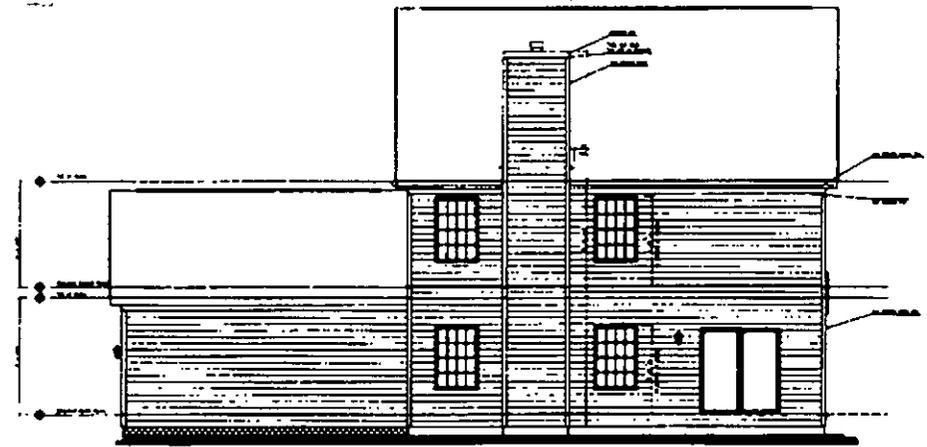
NO.	DATE
DESCRIPTION	SCALE

DATE: 05/10/21

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FRONT ELEVATION



REAR ELEVATION

THE
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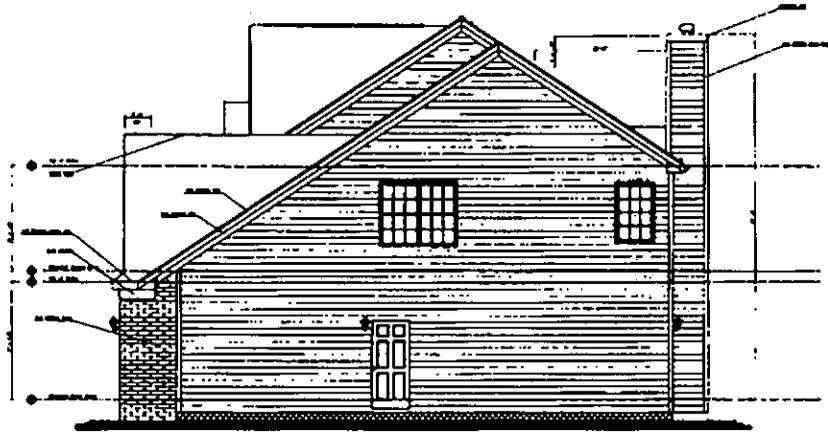
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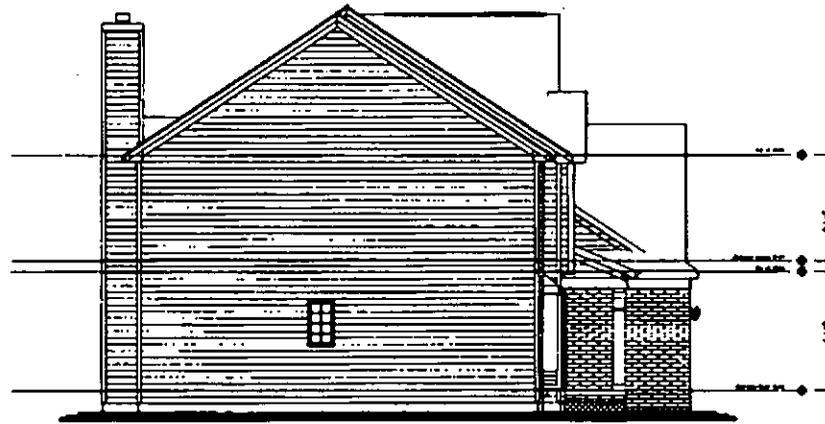
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SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

THE
BRUNNEN
 ARCHITECTURE
 INC.

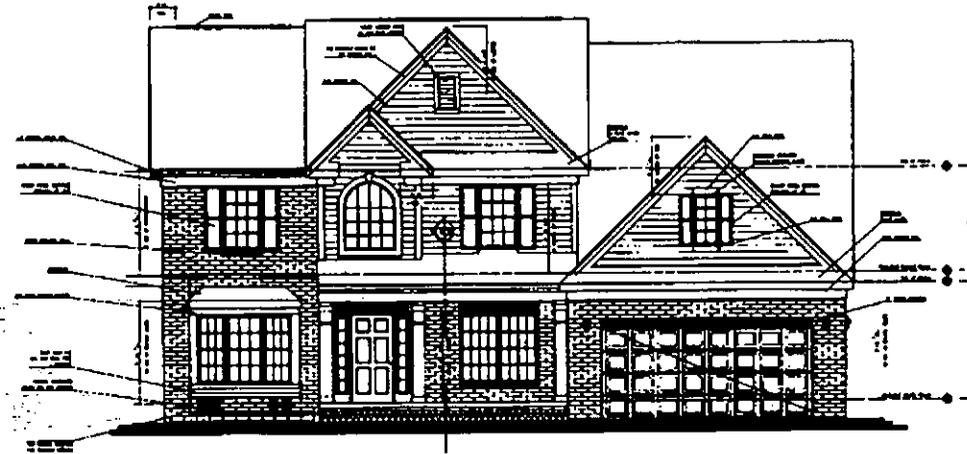
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 DRAWING NO. 10/01/10-01
 DATE 10/01/10

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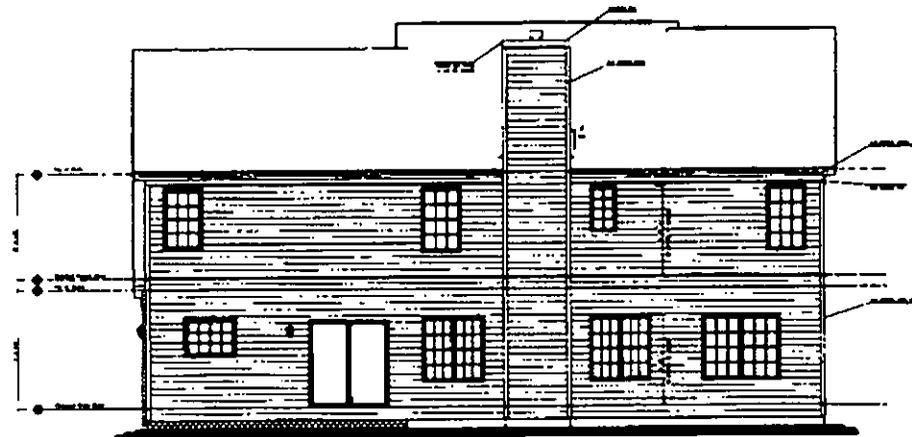
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 DATE 10/01/10

SHEET NO. 10/01/10-01
 DATE 10/01/10

SCALE: 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION



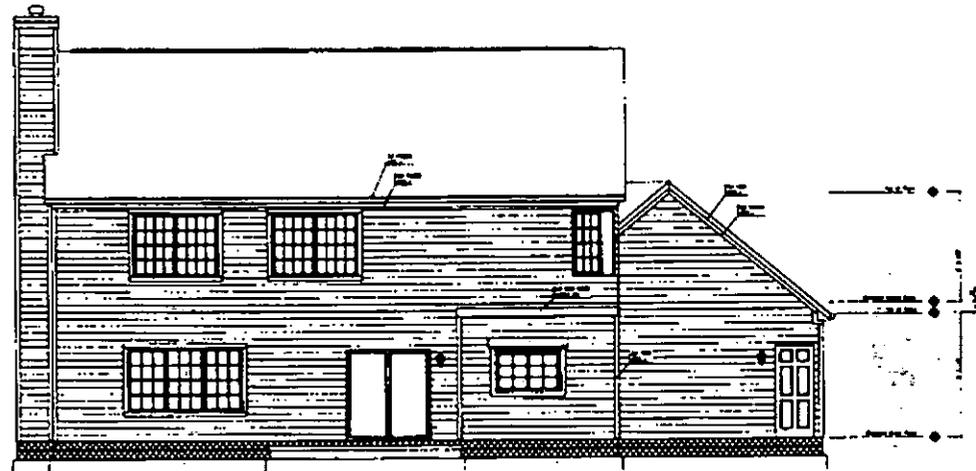
PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	
APPROVED BY	

NO.	
DATE	
BY	
CHECKED BY	
APPROVED BY	

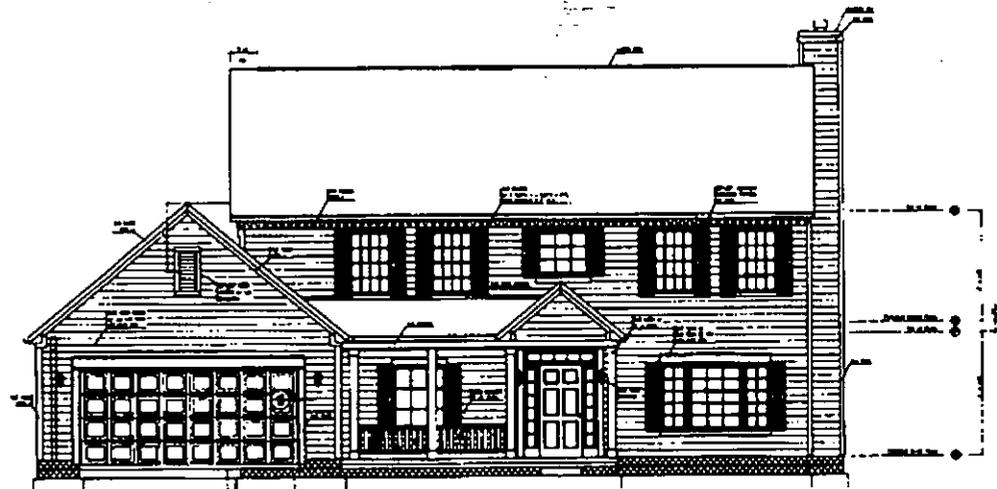
NO.	
DATE	
BY	
CHECKED BY	
APPROVED BY	

DATE: 05/10/21

SCALE - 3/4" = 1'-0"



REAR ELEVATION



FRONT ELEVATION

1. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2000 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
 2. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE 2000 INTERNATIONAL ELECTRICAL CODE (IEC).
 3. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
 4. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE (IBC).
 5. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).
 6. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL ELECTRICAL CODE (IEC).
 7. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
 8. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE (IBC).
 9. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC).
 10. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL ELECTRICAL CODE (IEC).

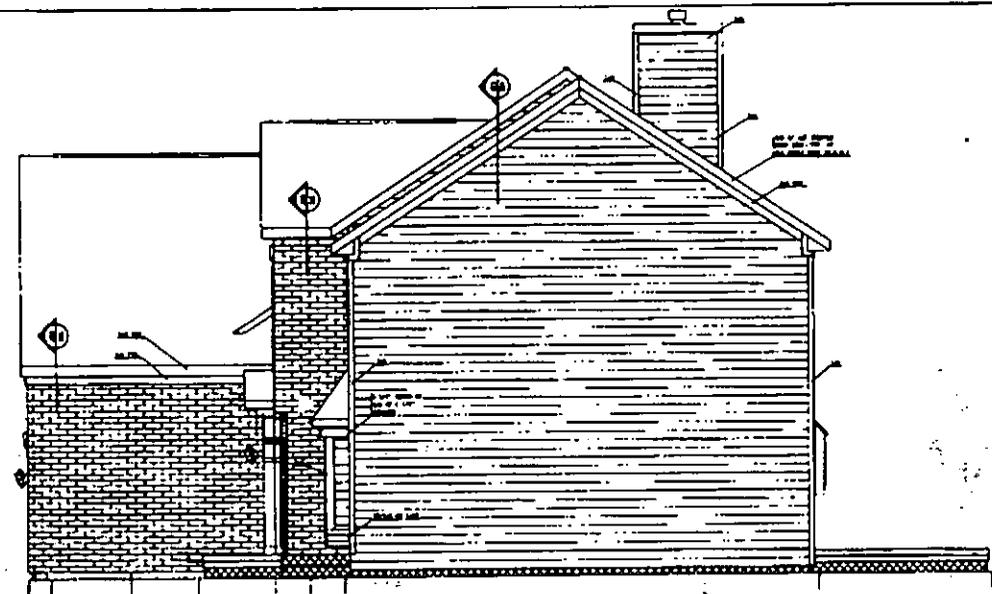
PROJECT NO. _____
 SHEET NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

06/27/06
 06/27/06
 06/27/06

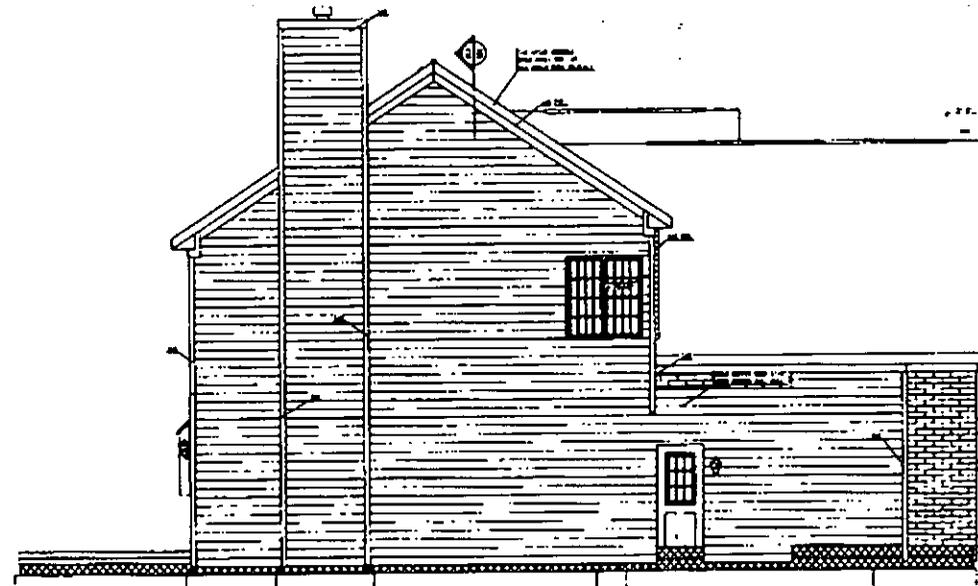
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 2. ALL WORK TO BE ACCORDING TO THE 2000 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE 2000 INTERNATIONAL ELECTRICAL CODE (IEC).
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CVR
 09/19/97

RIGHT ELEVATION



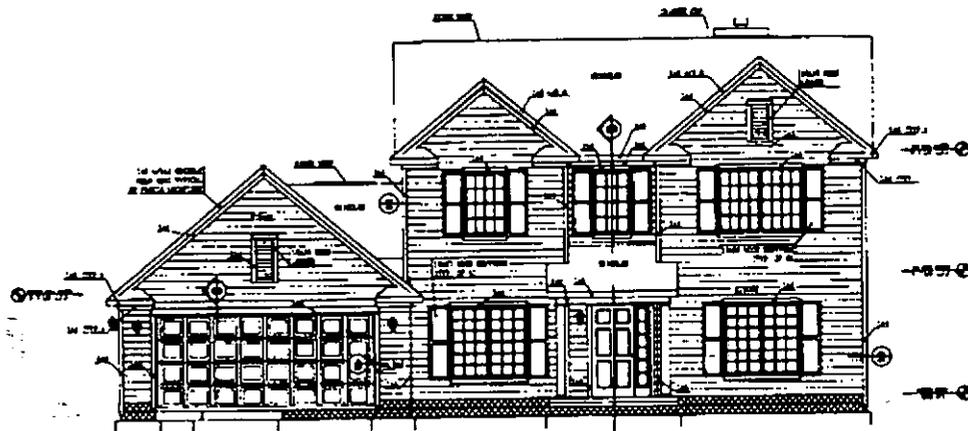
LEFT ELEVATION



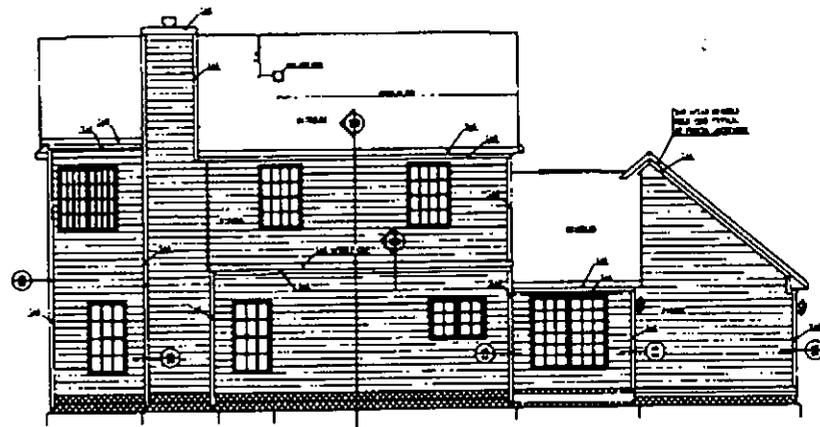
CAD OFFICE
1000
1110

1000
1110

CVR
09/21/97



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

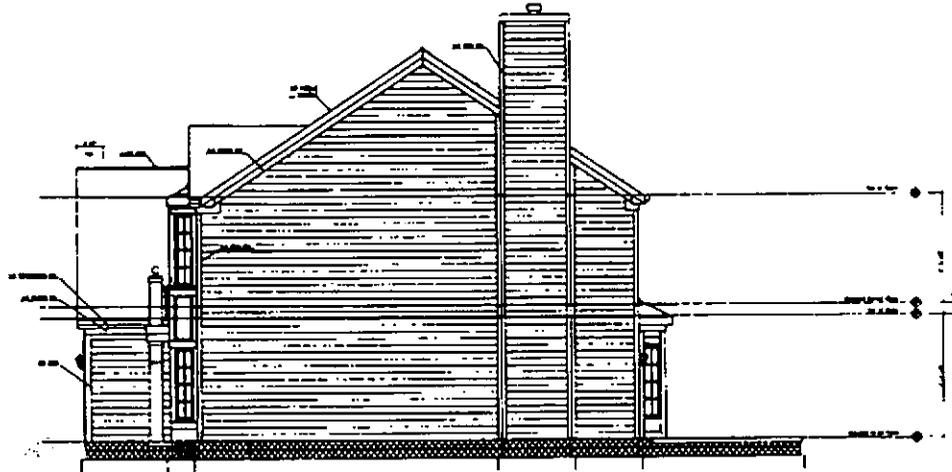
THE HOUSE
 ARCHITECTURE
 1234567890
 1234567890
 1234567890

GENERAL NOTES:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE.
 2. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE.
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE.
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE.

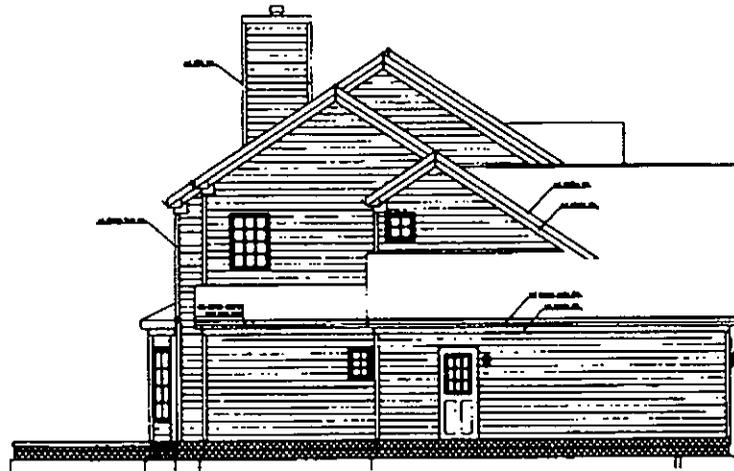
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 PROJECT NO. _____
 DATE OF ISSUE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

PLAN NO. _____
 SHEET NO. _____
 TOTAL SHEETS _____
 DATE OF ISSUE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

DATE:
 07/02/94



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

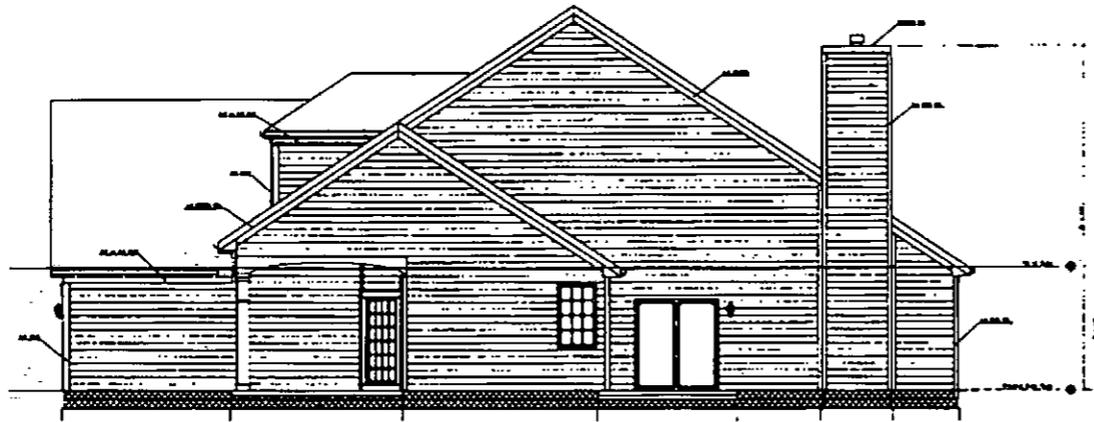


PROJECT NO.	
DATE	
BY	
CHECKED BY	
SCALE	

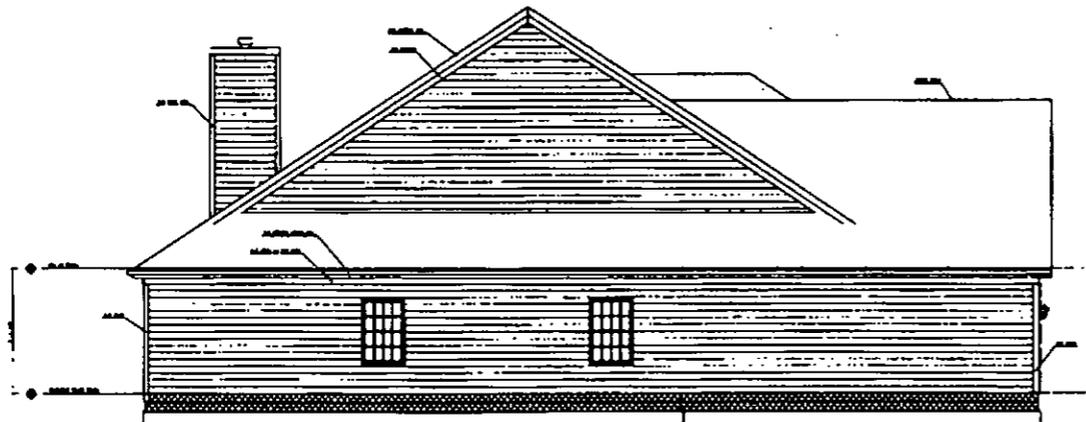
NO.	
DATE	
BY	
CHECKED BY	

NO.	
DATE	
BY	
CHECKED BY	

CVR
 CONSTRUCTION SERVICES, INC.
 06/22/99



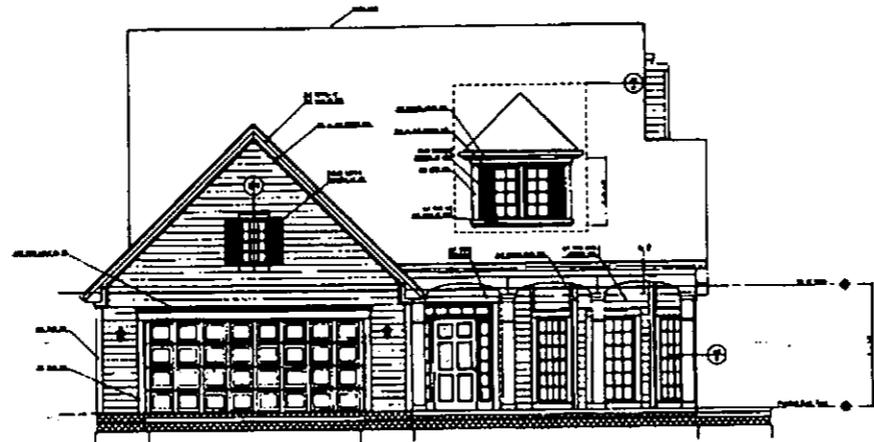
SIDE ELEVATION



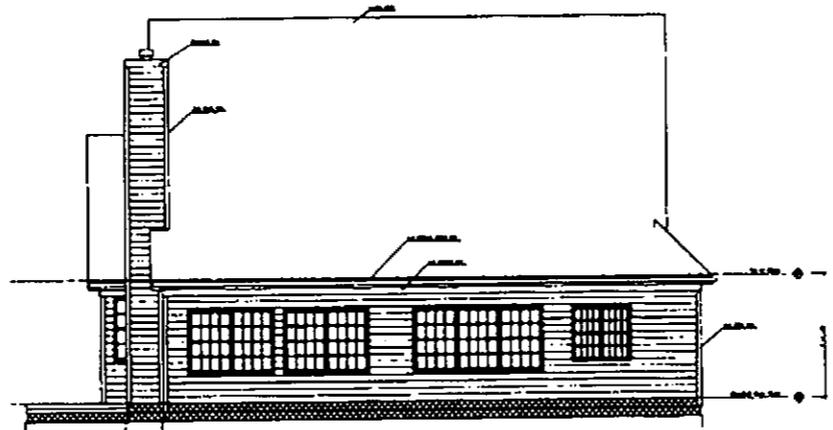
SIDE ELEVATION

SCALE - 1/4" = 1'-0"

PROJECT NO. 100-1000 SHEET NO. 100-1000-1 DATE 06/15/99	
ARCHITECT JAMES W. HARRIS, INC. 100-1000	ENGINEER JAMES W. HARRIS, INC. 100-1000
CONTRACTOR JAMES W. HARRIS, INC. 100-1000	CITY OF JAMES W. HARRIS, INC. 100-1000
COUNTY OF JAMES W. HARRIS, INC. 100-1000	STATE OF JAMES W. HARRIS, INC. 100-1000
DRAWN BY JAMES W. HARRIS, INC. 100-1000	CHECKED BY JAMES W. HARRIS, INC. 100-1000
DATE JAMES W. HARRIS, INC. 100-1000	SCALE JAMES W. HARRIS, INC. 100-1000
SHEET NO. JAMES W. HARRIS, INC. 100-1000	DATE JAMES W. HARRIS, INC. 100-1000



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

THE HOUSE GROUP
 ARCHITECTS
 1000 ...
 ...

PROJECT NO. ...
 SHEET NO. ...
 DATE ...

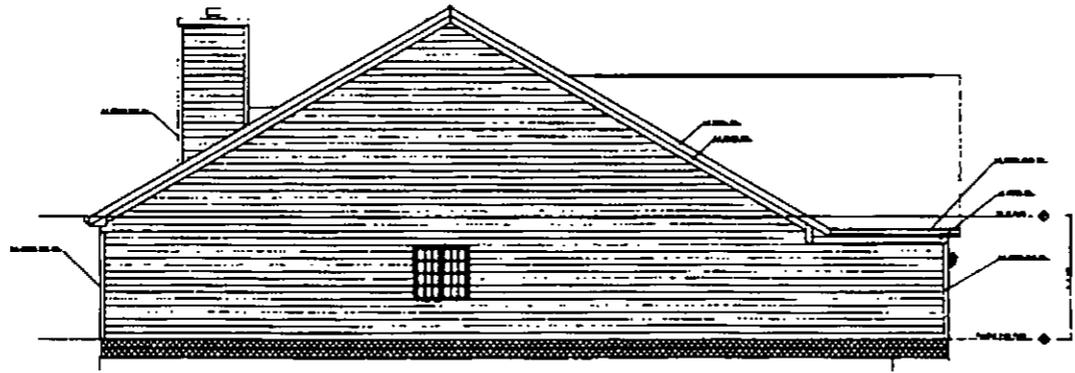
OWNER ...
 ADDRESS ...
 CITY ...

DATE ...
 DRAWN BY ...
 CHECKED BY ...

DATE ...
 06/15/99



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/8" = 1'-0"

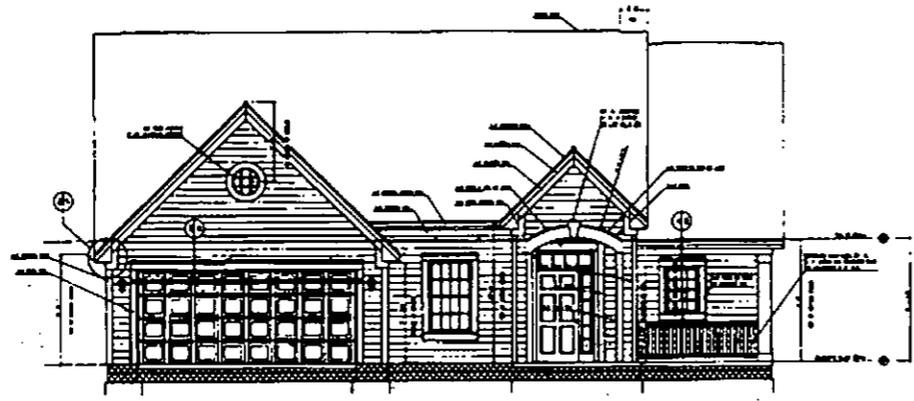
ALL WORK SHALL BE IN ACCORDANCE WITH THE 2006 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2006 INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMPC).
THE ROOF GROUP
 ARCHITECTS
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CALIFORNIA 92805
 TEL: 714.771.1111
 FAX: 714.771.1112
 WWW.THEROOFGROUP.COM

PROJECT NO.	DATE
DESCRIPTION	SCALE
CLIENT	PROJECT

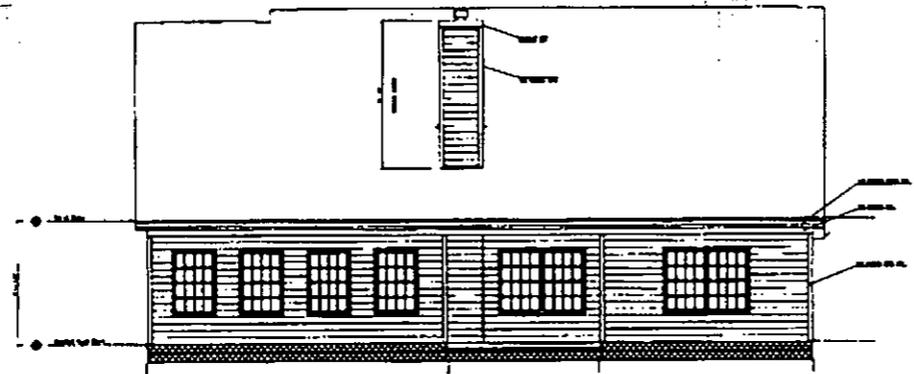
DATE	BY
REVISION	DESCRIPTION

DATE	BY
REVISION	DESCRIPTION

CVR
 05/07/99



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

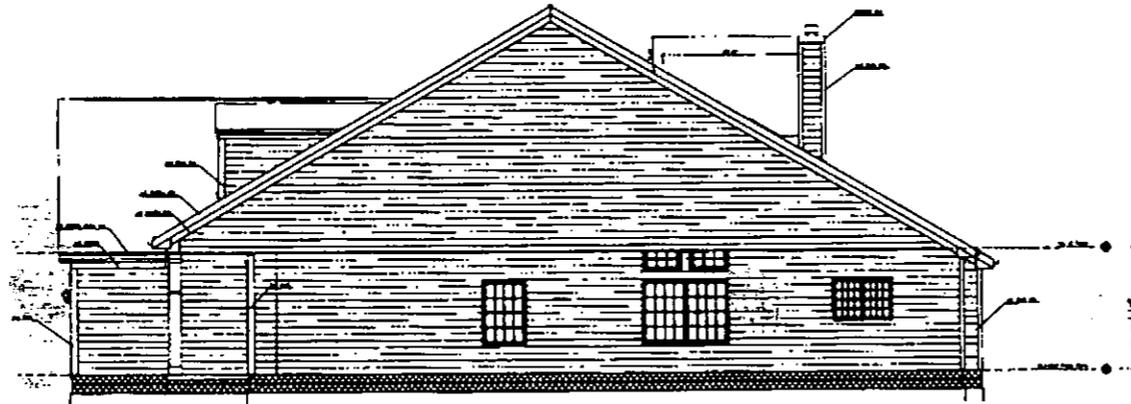
PROJECT NO. 100-100-100
 SHEET NO. 100-100-100
 DATE 05/07/99

DRAWING NO. 100-100-100
 ARCH. 100-100-100
 ENG. 100-100-100

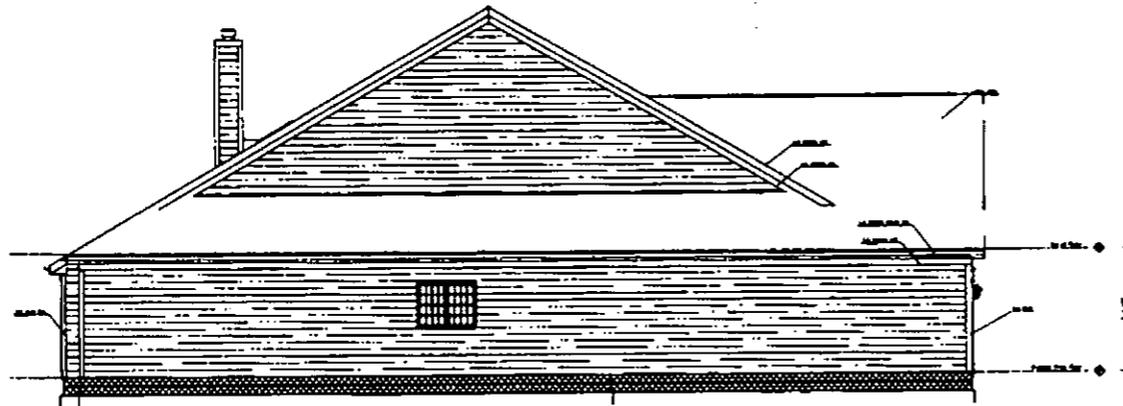
100-100-100
 100-100-100
 100-100-100

100-100-100
 100-100-100
 100-100-100

CVR
 DATE: 05/07/99



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

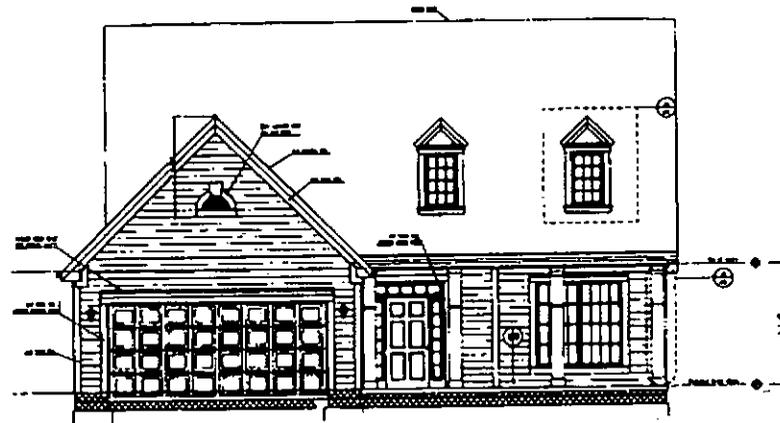
THE ARCHITECTURE
 OF THE HOUSE
 IS THE PROPERTY
 OF THE ARCHITECT
 AND IS NOT TO BE
 REPRODUCED OR
 COPIED IN ANY
 MANNER WITHOUT
 HIS WRITTEN
 CONSENT.

DATE	10/15/93
PROJECT	10000
CLIENT	10000
ARCHITECT	10000
SCALE	1/4" = 1'-0"
DATE	10/15/93

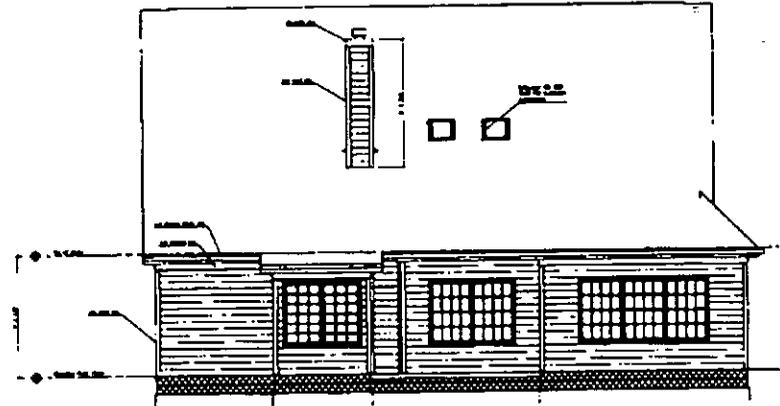
DATE	10/15/93
PROJECT	10000
CLIENT	10000
ARCHITECT	10000
SCALE	1/4" = 1'-0"
DATE	10/15/93

DATE	10/15/93
PROJECT	10000
CLIENT	10000
ARCHITECT	10000
SCALE	1/4" = 1'-0"
DATE	10/15/93

CVR
 06/16/93



FRONT ELEVATION



REAR ELEVATION

DATE: 06/15/99

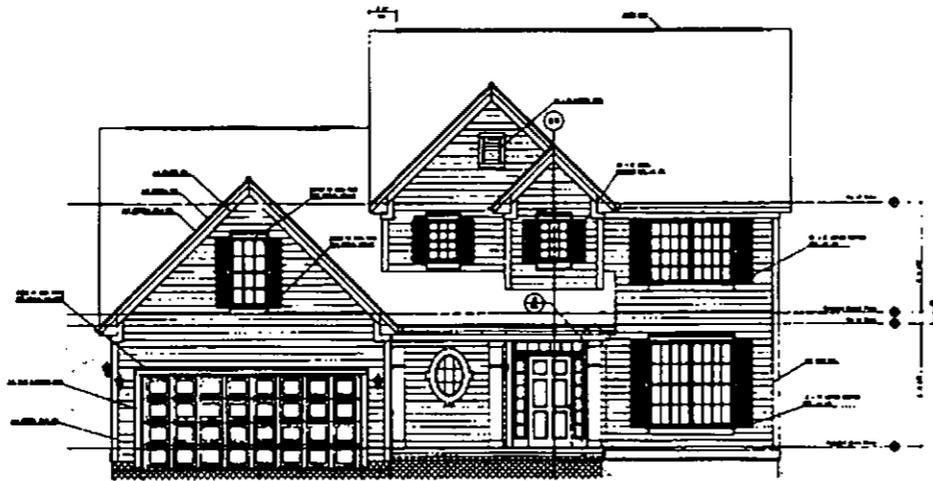
THE HOUSE
 ARCHITECTURE
 1000 N. 10th St.
 Phoenix, AZ 85006
 (602) 955-1100

PROJECT NO.:
 DRAWING NO.:
 SHEET NO.:

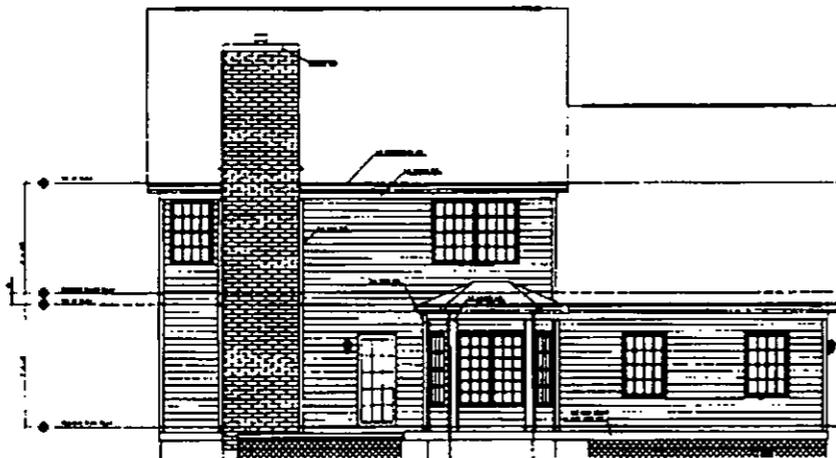
DATE:
 SCALE:

CLIENT:
 ADDRESS:
 PHONE:
 FAX:

CVR
 06/15/99



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

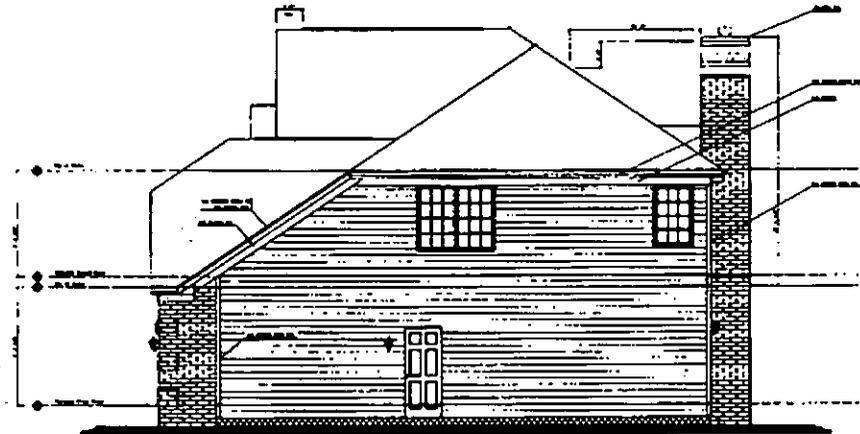
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
 ALL MATERIALS TO BE SPECIFIED IN NOTES
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS

OWNER	DATE
ARCHITECT	NO.
ENGINEER	NO.
CONTRACTOR	NO.
CITY	NO.
COUNTY	NO.
STATE	NO.

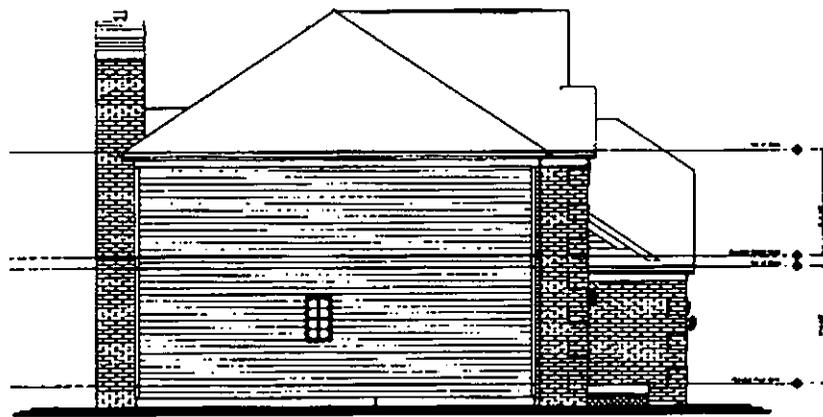
DATE	NO.

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN HIS OFFICE FOR THE USE OF THE ARCHITECT AND HIS SUCCESSORS AND SHALL NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CVR
 ARCHITECTS
 12/30/98



SIDE ELEVATION



SIDE ELEVATION



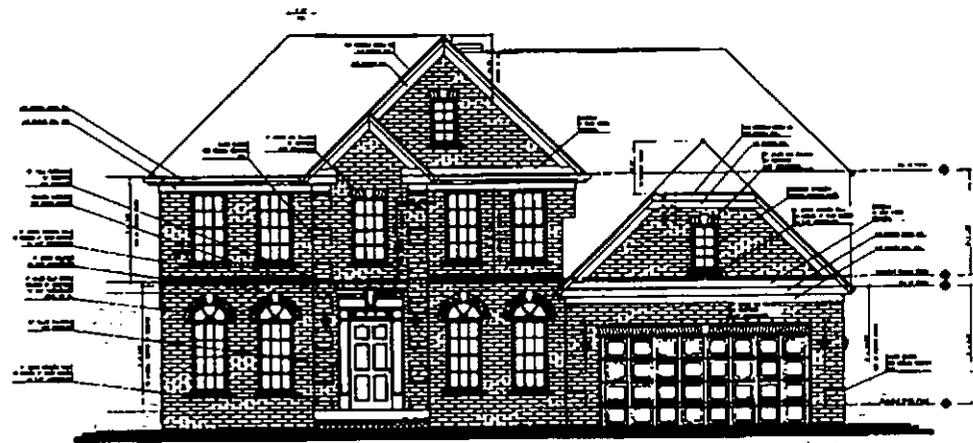
Project No.	100-1000
Client	Mr. & Mrs. J. H. Harris
Address	100-1000
City	Atlanta, Ga.
State	Georgia
Date	10/10/51

Scale	1/4" = 1'-0"
Notes	See notes on drawings.

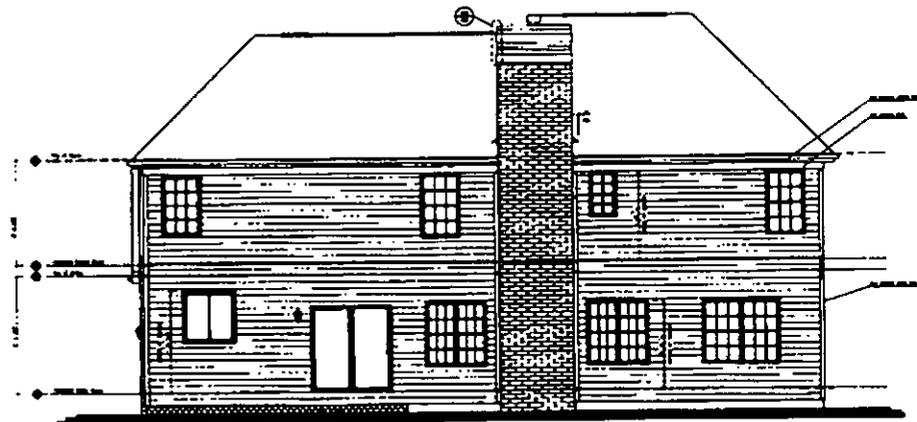
Architect	James H. Harris
Address	100-1000
City	Atlanta, Ga.
State	Georgia
Date	10/10/51

DATE: 10/10/51

100-1000-11-01



FRONT ELEVATION



REAR ELEVATION

THE ARCHITECT
 JOHN W. BROWN
 100 N. 10TH ST.
 PHOENIX, ARIZONA

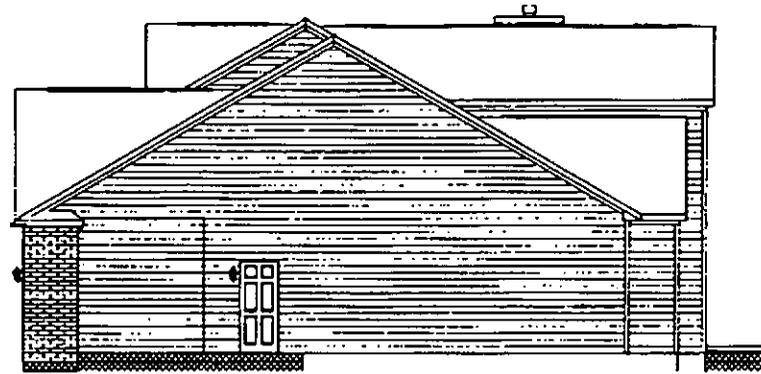
PROJECT NO. 1001
 SHEET NO. 1
 DATE 05/10/01

SCALE - 1/4" = 1'-0"
 DRAWN BY JWB

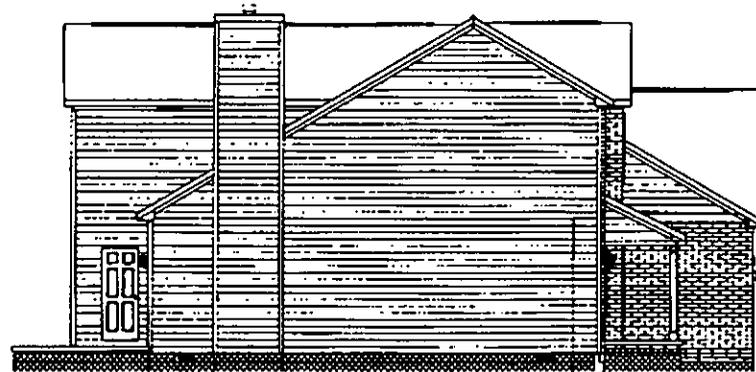
CHECKED BY JWB
 APPROVED BY JWB

DATE: 05/10/01

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

THE
 HOUSE
 GROUP
 ARCHITECTS
 1000 W. 10th St. S.
 Minneapolis, MN 55410
 (612) 338-1111

DRAWING NO. 1000
 DATE 12/31/95
 SCALE 1/4" = 1'-0"

PROJECT NO. 1000
 CLIENT NAME
 ADDRESS
 CITY
 STATE
 ZIP

DRAWING NO. 1000
 DATE 12/31/95
 SCALE 1/4" = 1'-0"

CVR
 DATE:
 12/31/95

1000 - 1000 - 1000



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

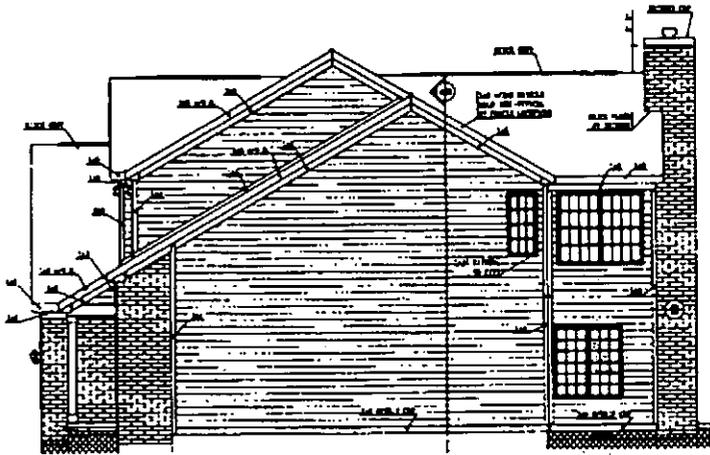
THE PLAN, SPECIFICATIONS AND
 CONTRACT DOCUMENTS SHALL BE
 OPEN TO ALL AT THE OFFICE OF
 THE ARCHITECT.
 12/31/95

PROJECT INFORMATION
 NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

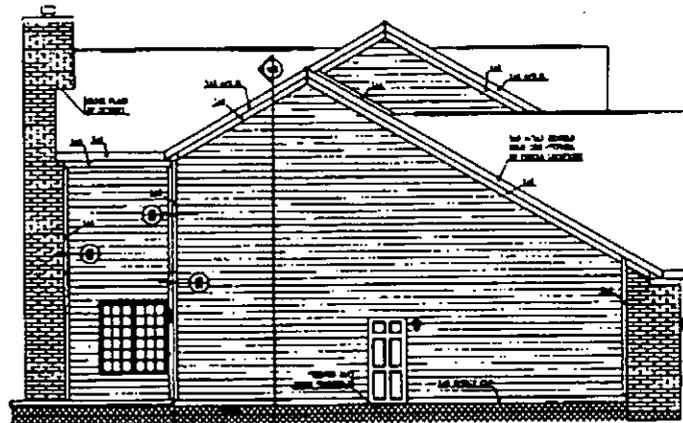
CONTRACT INFORMATION
 CONTRACT NO.: _____
 DATE: _____
 ARCHITECT: _____
 CONTRACTOR: _____

PROJECT INFORMATION
 NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

CVR
 12/31/95

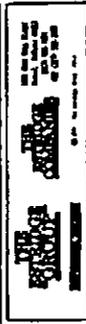


RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

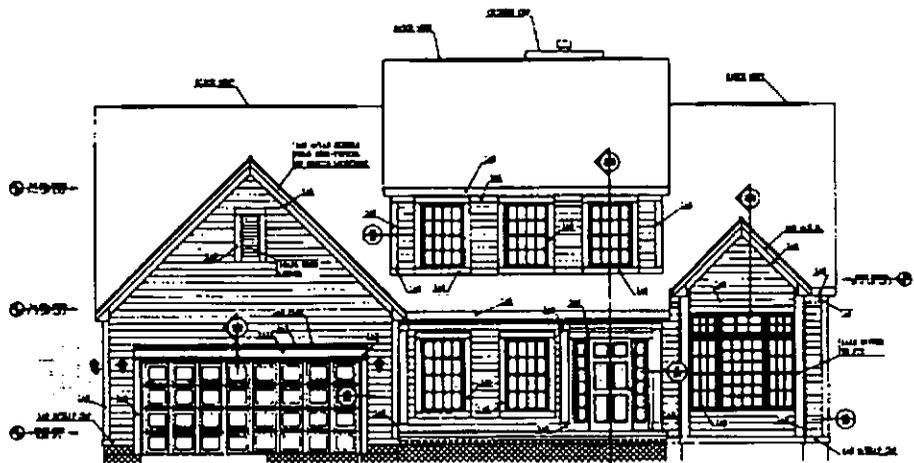


PROJECT NO.	
DATE	
BY	
CHECKED BY	
APPROVED BY	

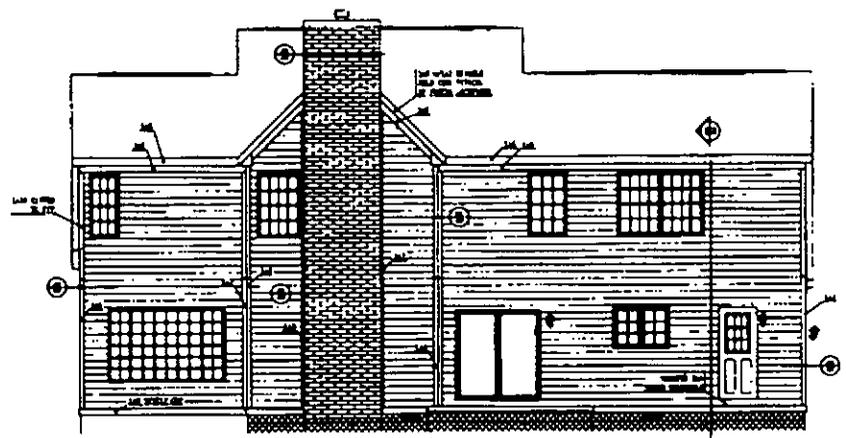
NO.	
DATE	
BY	
CHECKED BY	
APPROVED BY	

NO.	
DATE	
BY	
CHECKED BY	
APPROVED BY	

T4
9/23/95



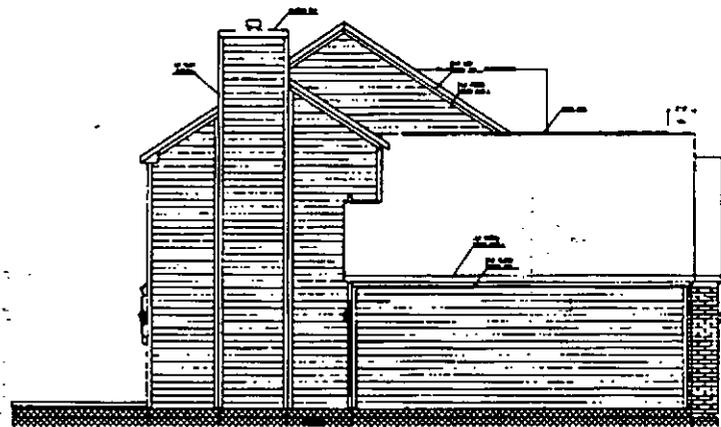
FRONT ELEVATION



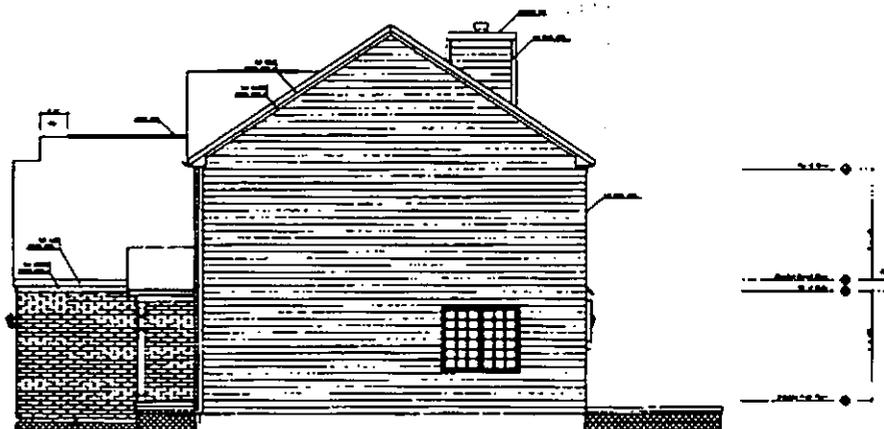
REAR ELEVATION

SCALE - 1/4" = 1'-0"

PROJECT NO. _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____	DATE _____ DRAWN BY _____ CHECKED BY _____ PROJECT NO. _____
T4 9/23/55	



SIDE ELEVATION



SIDE ELEVATION

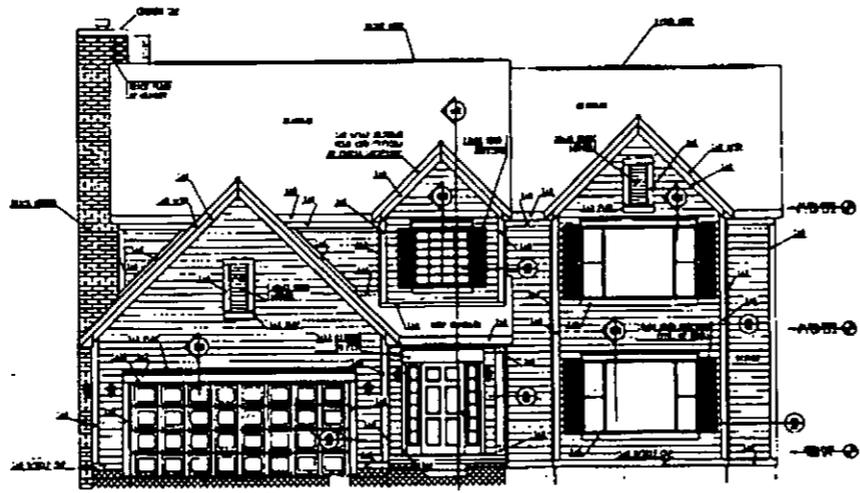
SCALE - 1/4" = 1'-0"

THE ROOF COMPANY
 1000 S. 10th St.
 Phoenix, AZ 85006
 (602) 251-1111
 www.roofcompany.com

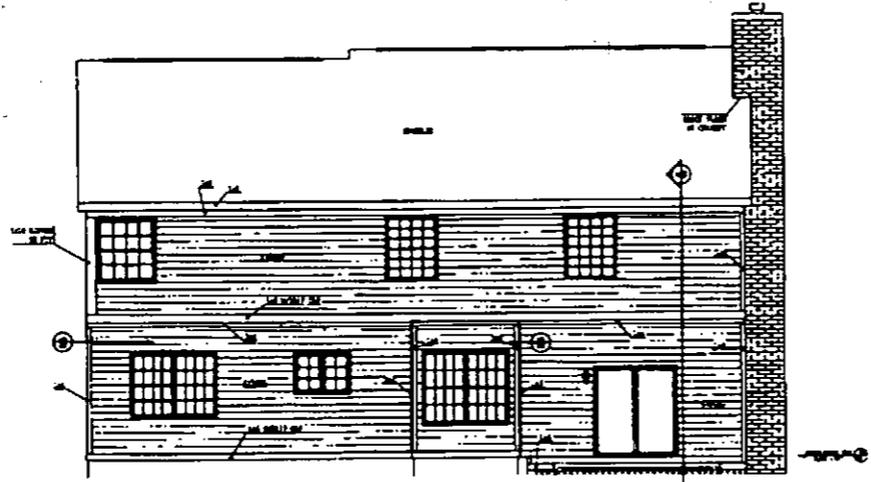
PROJECT NO.	DATE
DESCRIPTION	SCALE
CLIENT	ARCHITECT
CONTRACT NO.	CONTRACT DATE

PLAN NO. 111
 DRAWING NO. 111-1
 DATE 01/22/98

CVR
 0000
 01/22/98



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

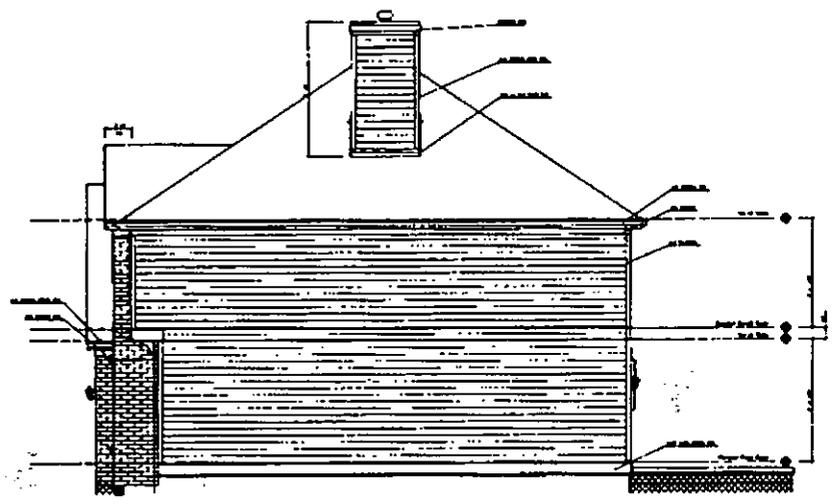
THE
 ARCHITECTURE
 COMPANY
 1000
 9/23/95

OWNER	DATE
PROJECT	NO.
LOCATION	NO.
SCALE	NO.
DATE	NO.

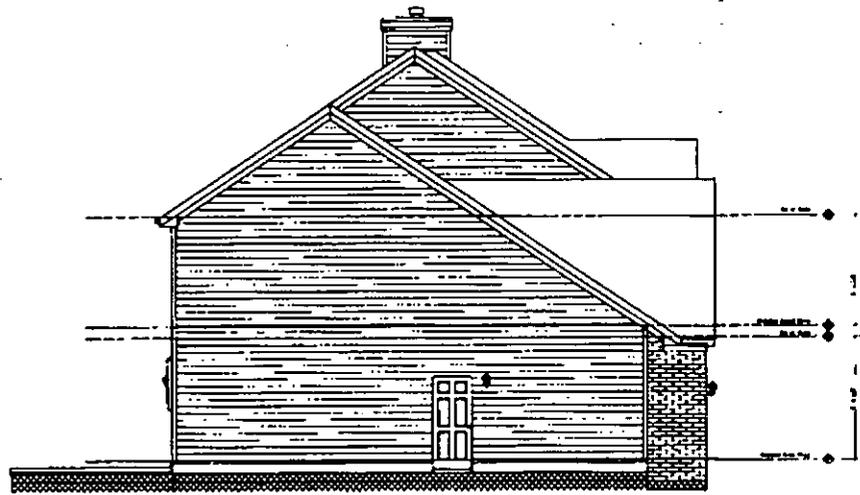
NO.	DATE

DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: [Date]
 PROJECT NO.: [Number]

DATE: 9/23/95



RIGHT ELEVATION



LEFT ELEVATION



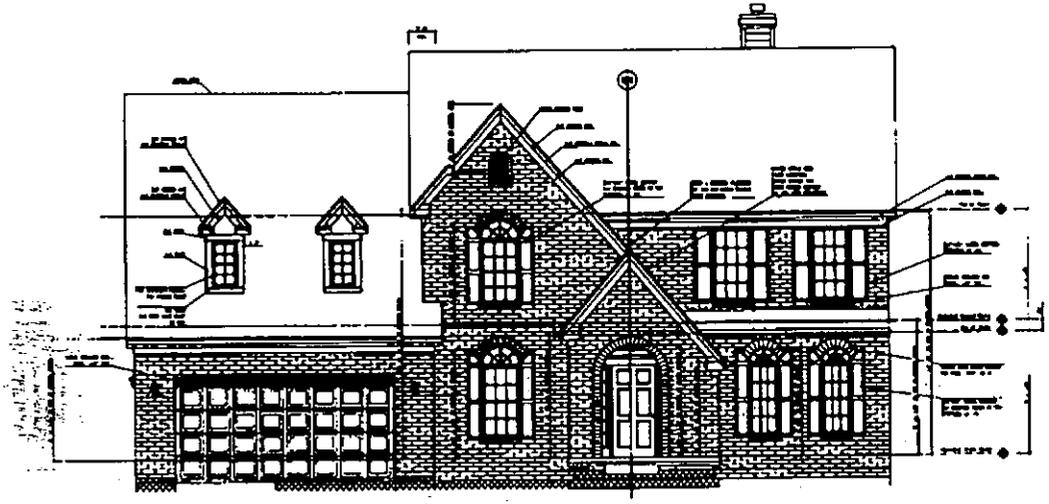
REVISIONS	DATE	BY	REASON

PROJECT	
DATE	
BY	

NO.	
DATE	
BY	

T4
04/21/0

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

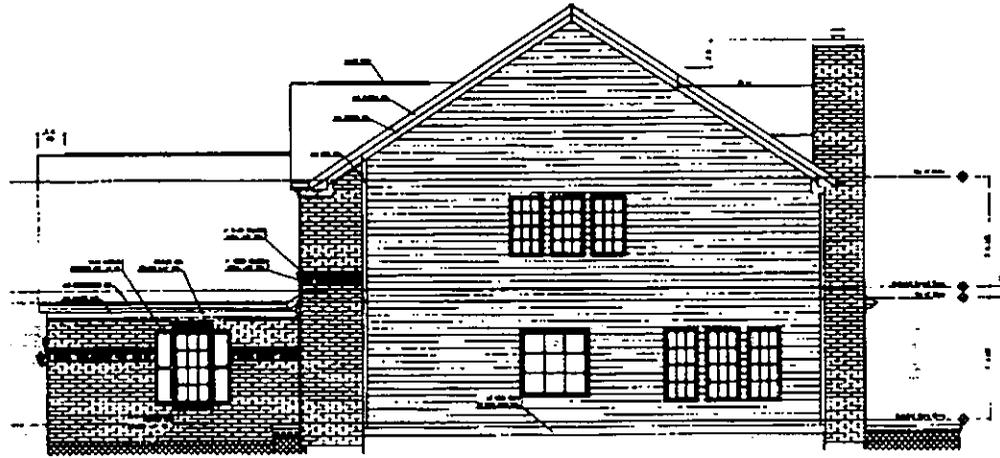
SCALE - 1/4" = 1'-0"

THE HOUSE
 ARCHITECTS
 1000 ...
 ...

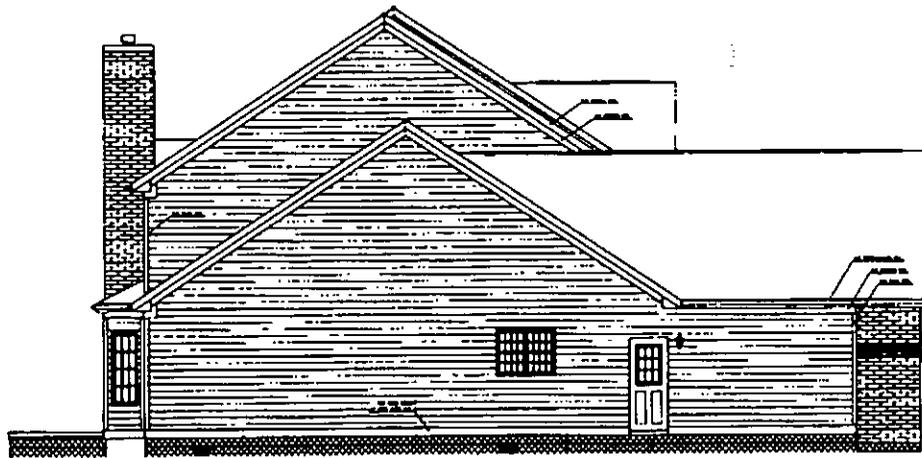
DATE	BY

...
 ...
 ...
 ...

T4
 24/22/00



SIDE ELEVATION



SIDE ELEVATION

THE
 HOUSE
 CONSTRUCTION
 COMPANY
 12345 Main St.
 Anytown, CA 90210
 (555) 123-4567

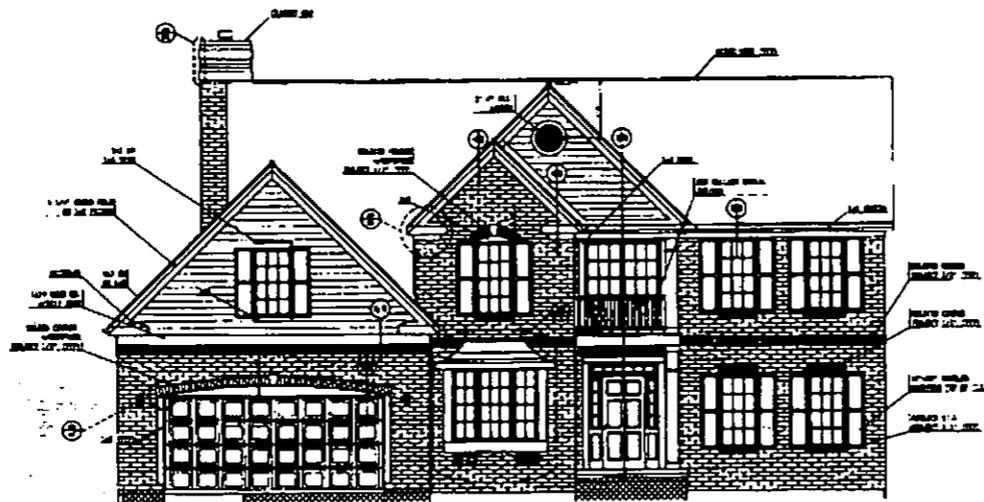
PROJECT: 123456789
 CLIENT: J. Doe
 ARCHITECT: A. Smith
 DATE: 12/30/98

SCALE: 1/4" = 1'-0"
 SHEET: 1 OF 1

DRAWN BY: J. Doe
 CHECKED BY: A. Smith
 DATE: 12/30/98

CVR
 12/30/98

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

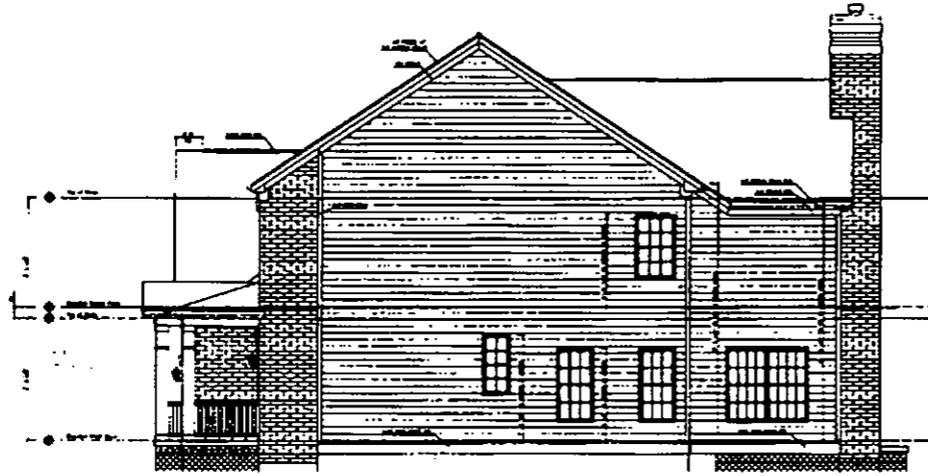


PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	

NO.	
DATE	
BY	
CHECKED BY	

NO.	
DATE	
BY	
CHECKED BY	

CVR
 08/03/97



RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

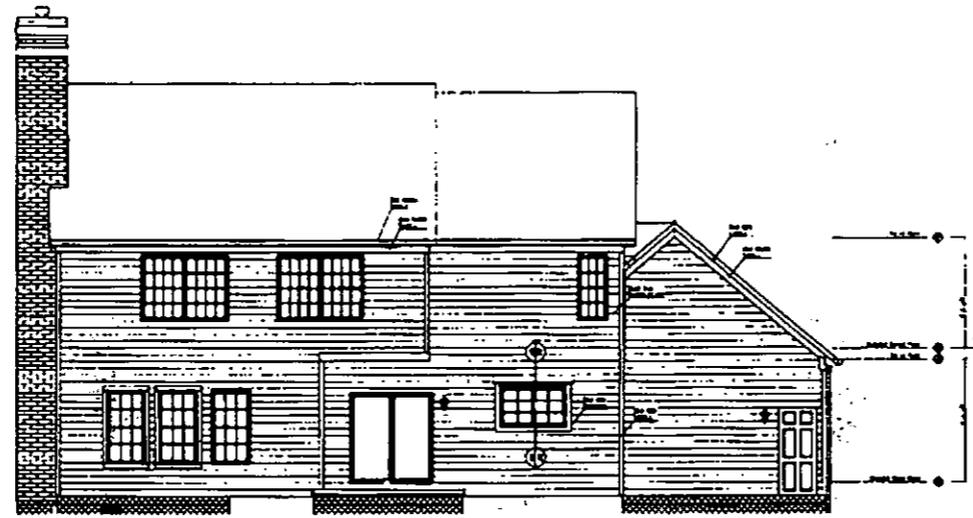


PROJECT NO.	DATE
CLIENT	SCALE
ARCHITECT	STATUS
DATE	

NO.	DATE
BY	FOR
REVISION	

PROJECT NO.	DATE
CLIENT	SCALE
ARCHITECT	STATUS
DATE	

T4
DATE: 04/23/01



REAR ELEVATION



FRONT ELEVATION

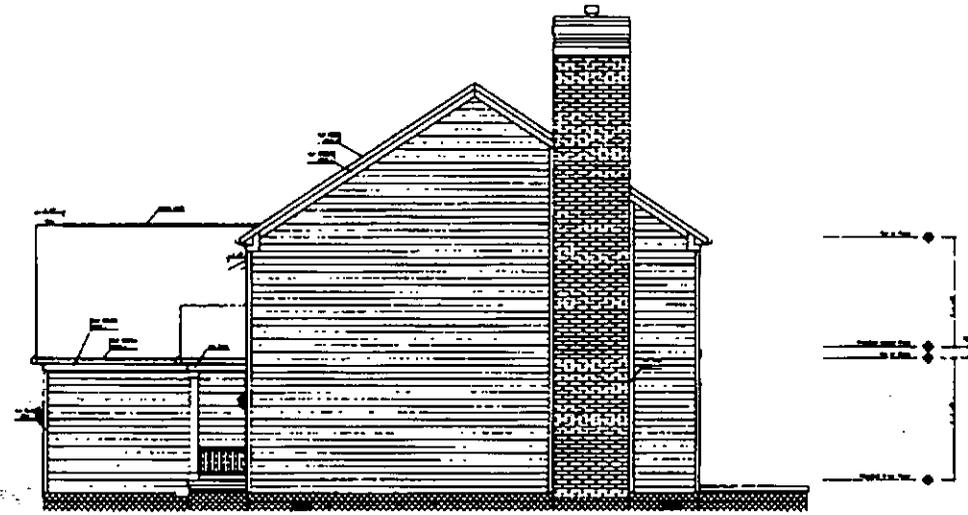
THE
 ARCHITECT
 1111
 1111
 1111

OWNER: MR. & MRS. J. W. BROWN
 ADDRESS: 1111 1111 ST. N.W.
 CITY: WASHINGTON, D.C.

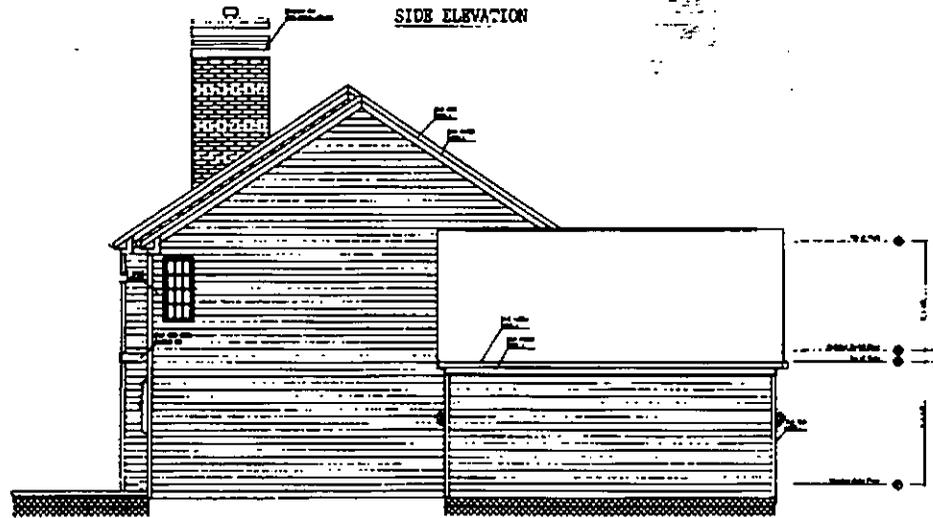
JOB NO.: 1111-1111
 DATE: 11/11/11

ARCHITECT: J. W. BROWN
 1111 1111 ST. N.W.
 WASHINGTON, D.C.

CVR
 DATE: 09/19/97



SIDE ELEVATION



SIDE ELEVATION

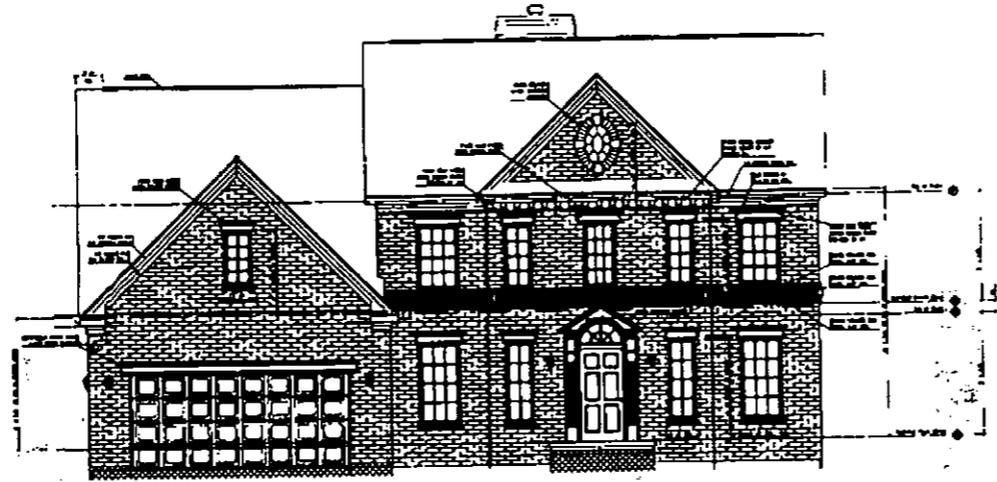
THE
 HOUSE
 PLAN
 BOOK
 No. 1000
 Copyright © 1997
 by The McGraw-Hill Companies

PROJECT NO.:
 DATE:
 DRAWN BY:
 CHECKED BY:
 SCALE:

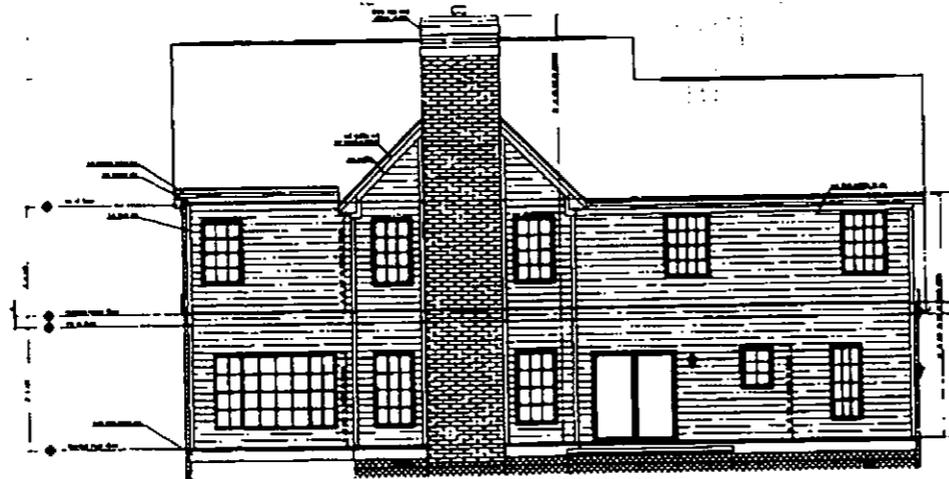
SHEET NO.:
 OF:

PROJECT NO.:
 DATE:
 DRAWN BY:
 CHECKED BY:

CVR
 DATE:
 09/13/97



FRONT ELEVATION



REAR ELEVATION

SCALE: 1/4" = 1'-0"

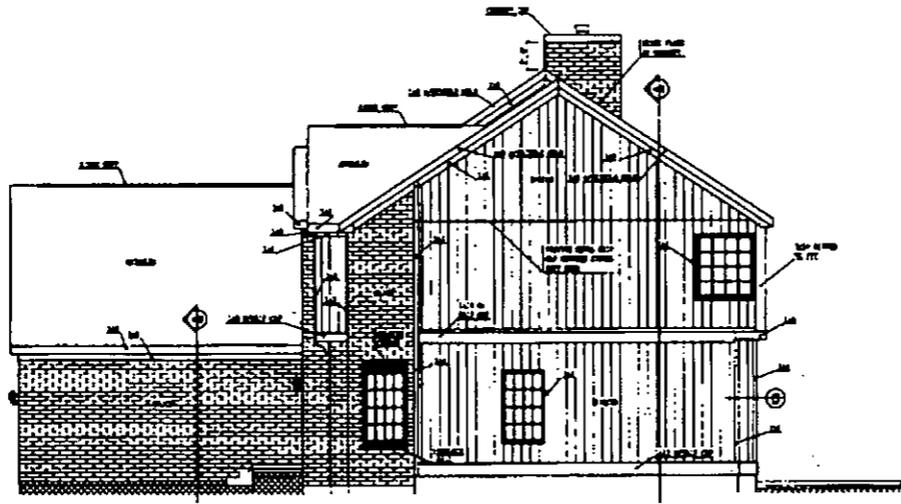
THE
 ARCHITECTS
 1000 N. 10th St.
 Phoenix, Arizona 85004
 Phone: 254-1111

DATE:	04/21/81
PROJECT:	1000 N. 10th St.
CLIENT:	Mr. & Mrs. [Name]
ARCHITECT:	[Name]
SCALE:	1/4" = 1'-0"

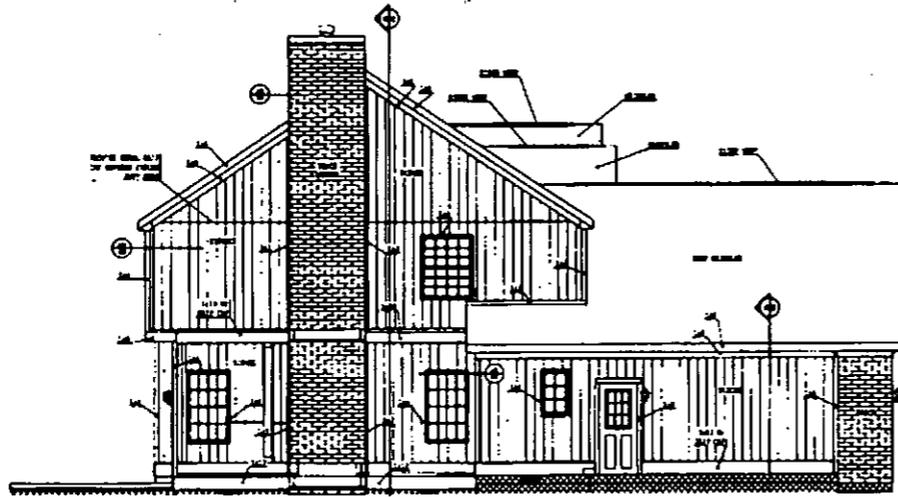
NO.	1
DATE	04/21/81
BY	[Name]
CHECKED BY	[Name]
SCALE	1/4" = 1'-0"

ALL WORK TO BE ACCORDING TO THE
 1981 INTERNATIONAL RESIDENTIAL CODE BOOK
 UNLESS OTHERWISE SPECIFIED
 DRAWING NO. T4

T4
 DATE: 04/21/81



RIGHT ELEVATION



LEFT ELEVATION

ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE NATIONAL BUILDING CODE.

DATE: 9/23/95
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

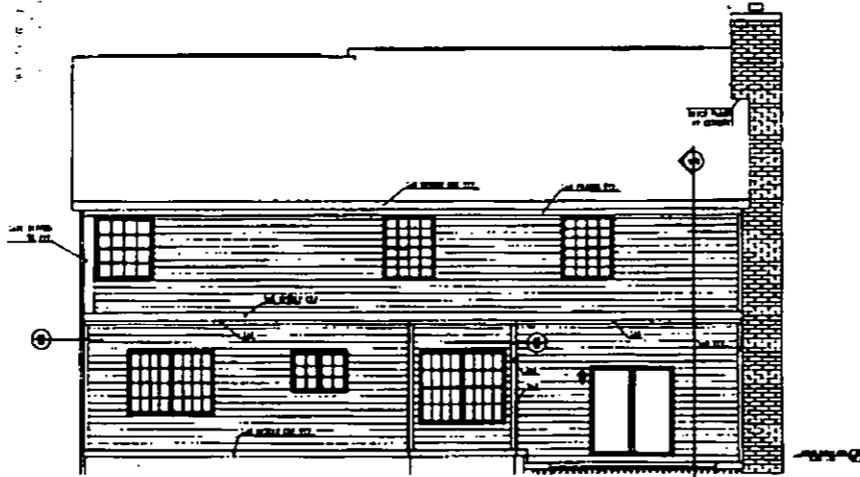
PROJECT: [Name]
 ADDRESS: [Address]
 CITY: [City]
 STATE: [State]

SCALE: 1/4" = 1'-0"
 DATE: 9/23/95

SCALE: 1/4" = 1'-0" DATE: 9/23/95



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

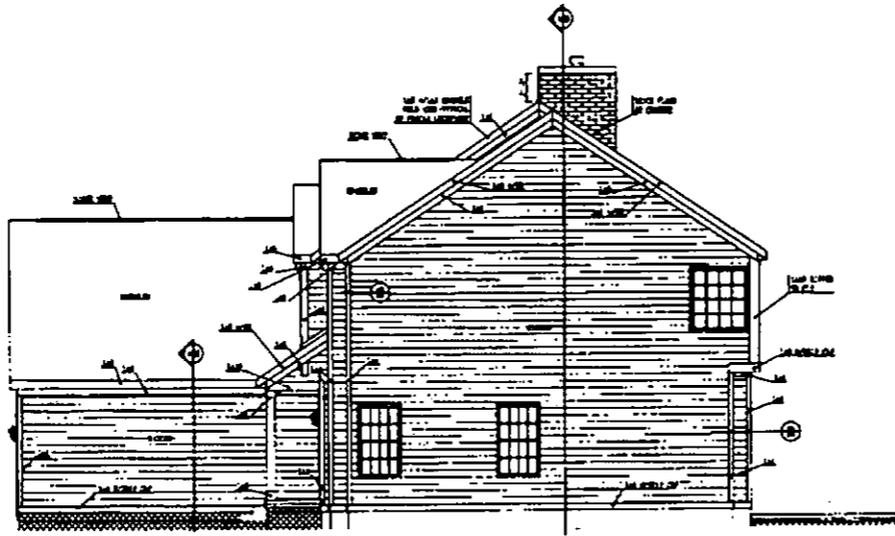


PROJECT NO.	DATE
ARCHITECT	SCALE
CLIENT	NO.
ADDRESS	DATE

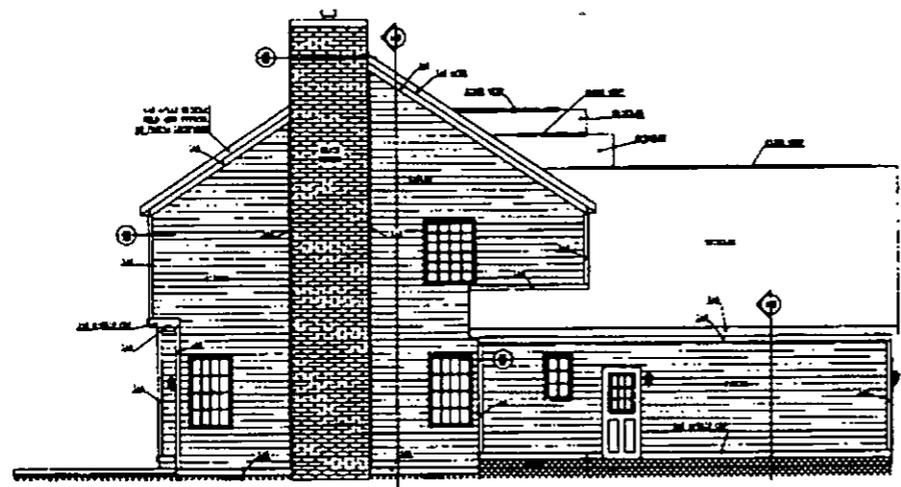
NO.	DATE
BY	FOR
REVISION	DESCRIPTION

DATE	BY
PROJECT	SCALE
CLIENT	NO.
ADDRESS	DATE

DATE: 9/23/95



RIGHT ELEVATION

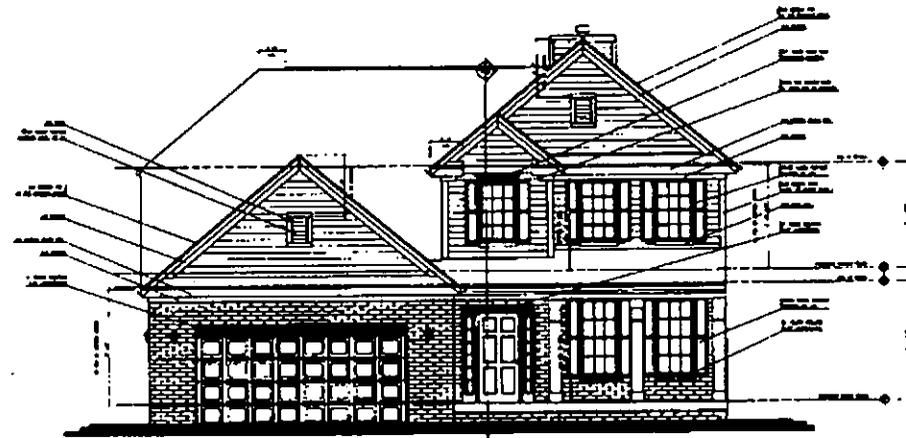


LEFT ELEVATION

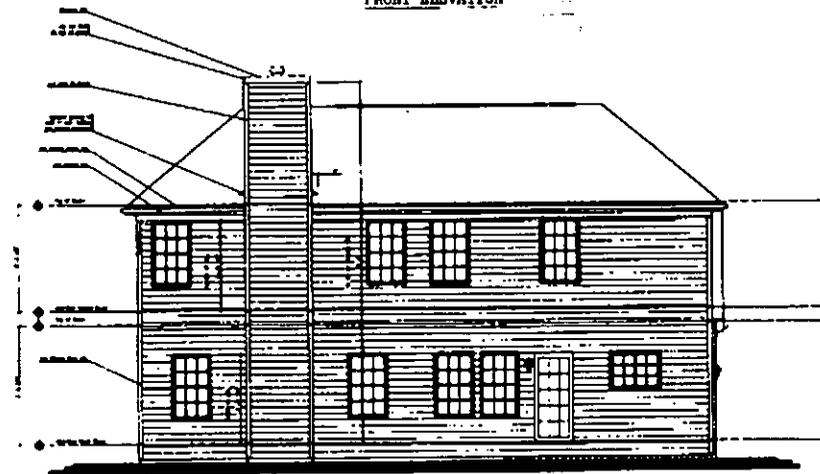
<p>THE HOUSE PLAN 1000 S. 10th St. Phoenix, Arizona 85018</p>	
<p>DATE: 9/23/75</p>	
<p>PROJECT NO. 1000 S. 10th St.</p>	
<p>CLIENT: [Name]</p>	
<p>ARCHITECT: [Name]</p>	
<p>SCALE: 1/4" = 1'-0"</p>	
<p>DATE: 9/23/75</p>	

EXHIBIT J
ELEVATIONS FOR SPRINGMILL COLLECTION HOMES

EXHIBIT I
ELEVATIONS FOR MERIDIAN COLLECTION HOMES



FRONT ELEVATION



REAR ELEVATION

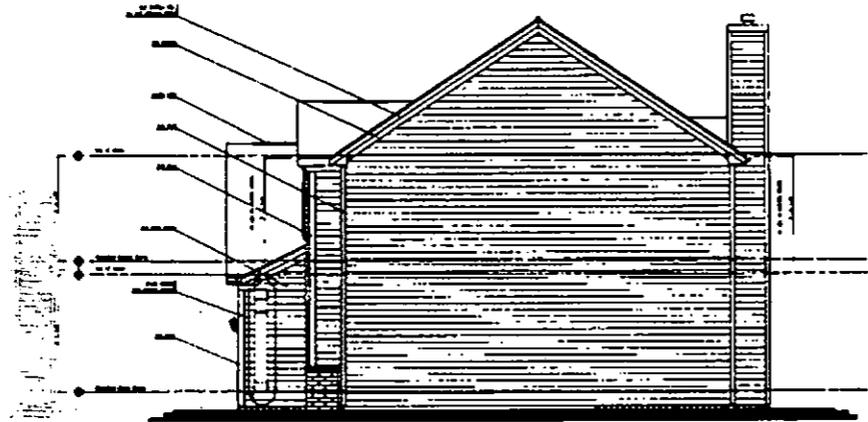
ALL DIMENSIONS IN FEET AND INCHES
 UNLESS OTHERWISE SPECIFIED
 SEE NOTES ON DRAWING

PROJECT NO. _____
 DRAWING NO. _____
 DATE _____

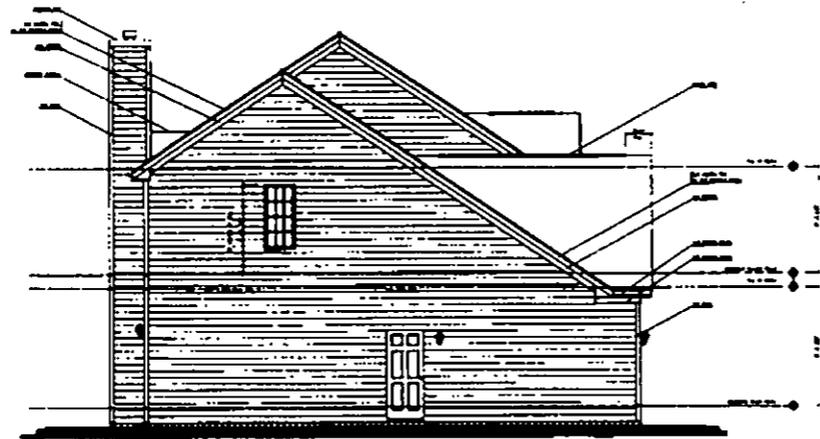
SHEET NO. _____
 TOTAL SHEETS _____

DRAWN BY _____
 CHECKED BY _____
 DATE _____

SCALE: 1/8" = 1'-0"
 05/10/01



SIDE ELEVATION



SIDE ELEVATION

THE
WALKER
 ARCHITECTS

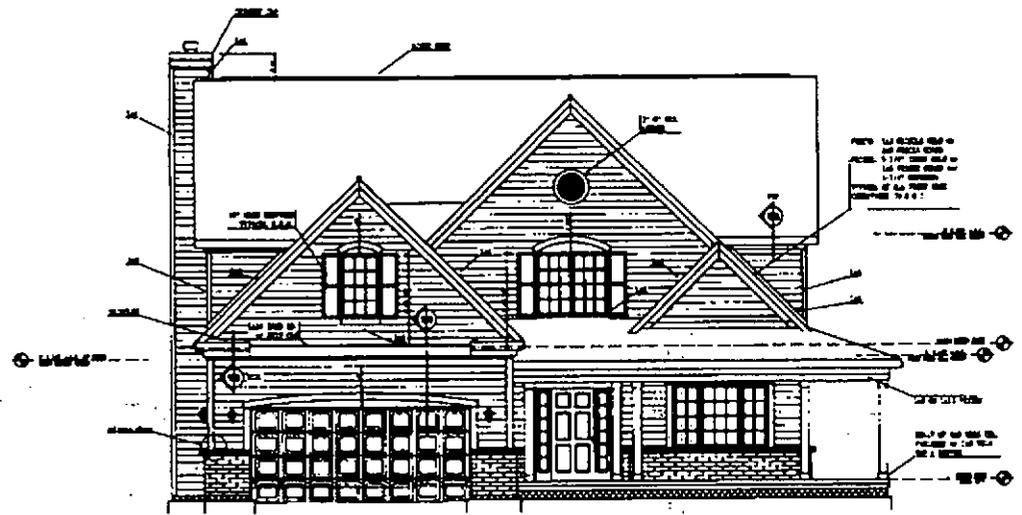
PROJECT: 111
 ADDRESS: 111
 CITY: 111
 STATE: 111
 ZIP: 111

DATE: 11/11/01
 DRAWN BY: 111
 CHECKED BY: 111

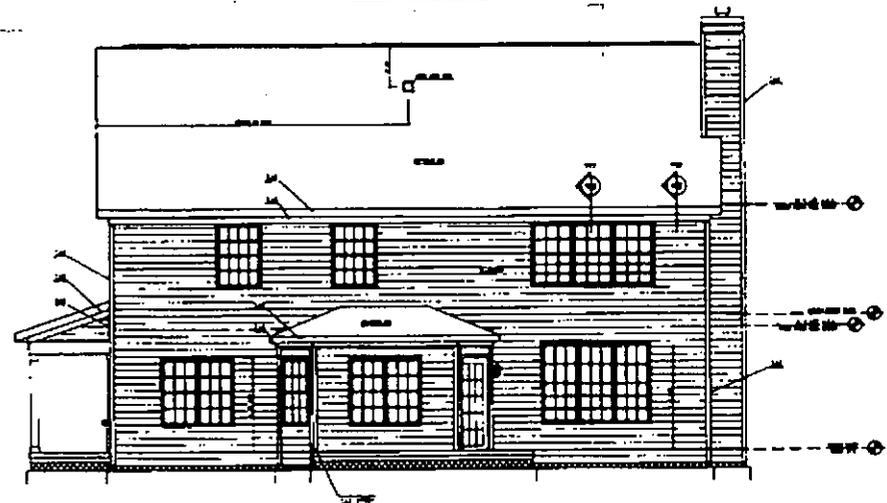
SCALE: 1/4" = 1'-0"

DATE: 05/10/01

100%



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

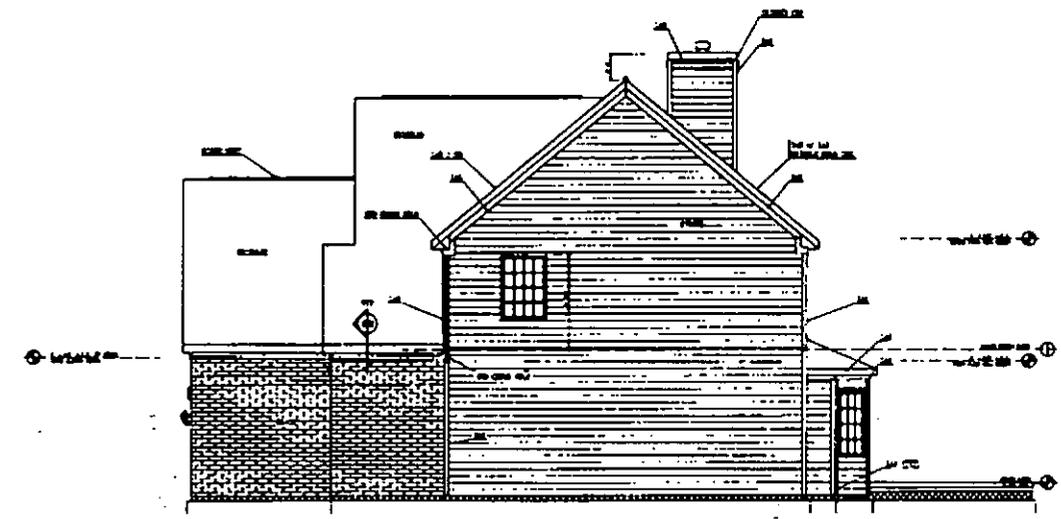


PROJECT NO.	DATE
CLIENT	ARCHITECT
CONTRACTOR	ENGINEER
PERMIT NO.	ISSUE DATE

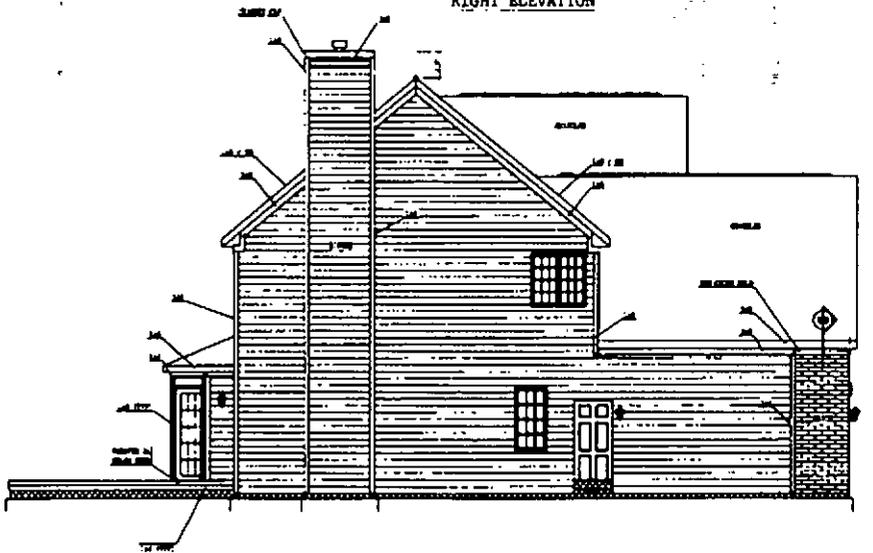
DATE	BY
REVISION	DESCRIPTION

DATE	BY
REVISION	DESCRIPTION

CVR
DATE: 08/05/07



RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

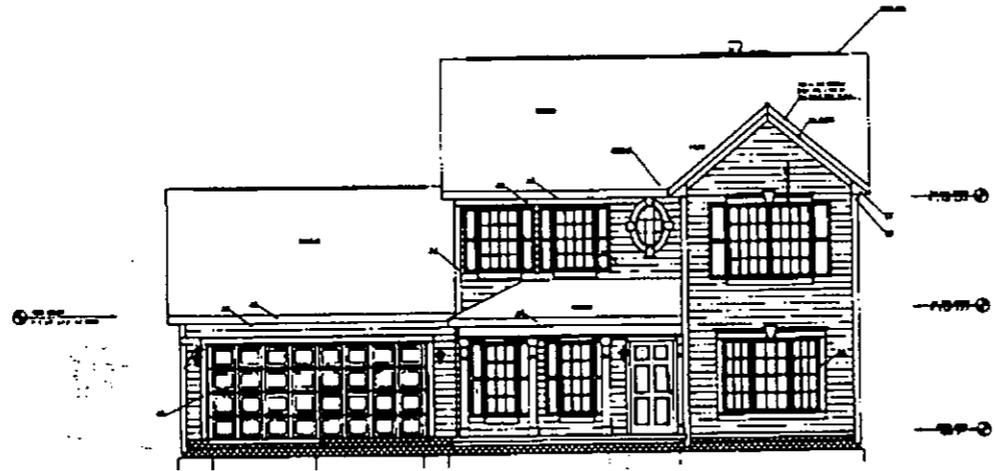
NO. 1	DATE
NO. 2	DATE
NO. 3	DATE
NO. 4	DATE
NO. 5	DATE
NO. 6	DATE
NO. 7	DATE
NO. 8	DATE
NO. 9	DATE
NO. 10	DATE

NO. 11	DATE
NO. 12	DATE
NO. 13	DATE
NO. 14	DATE
NO. 15	DATE
NO. 16	DATE
NO. 17	DATE
NO. 18	DATE
NO. 19	DATE
NO. 20	DATE

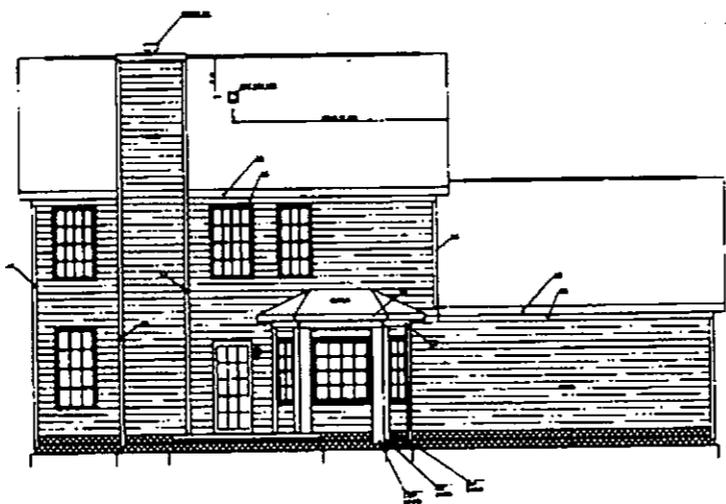
NO. 21	DATE
NO. 22	DATE
NO. 23	DATE
NO. 24	DATE
NO. 25	DATE
NO. 26	DATE
NO. 27	DATE
NO. 28	DATE
NO. 29	DATE
NO. 30	DATE

NO. 31	DATE
NO. 32	DATE
NO. 33	DATE
NO. 34	DATE
NO. 35	DATE
NO. 36	DATE
NO. 37	DATE
NO. 38	DATE
NO. 39	DATE
NO. 40	DATE

CVR
DATE
02/05/97



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

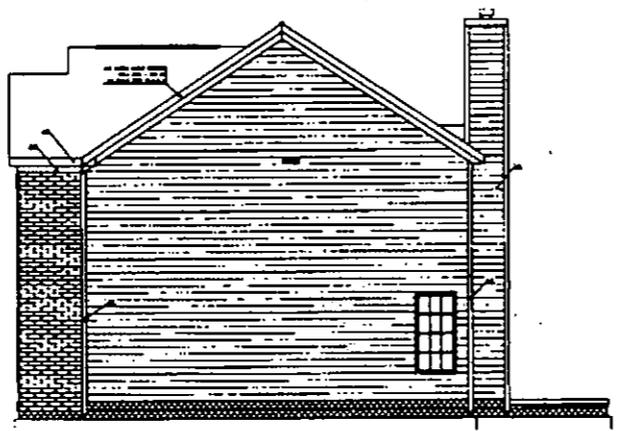
THE ARCHITECT
 1000 N. 10th St.
 Phoenix, AZ 85004
 (602) 254-1100
CVR ARCHITECTURE
 1000 N. 10th St.
 Phoenix, AZ 85004

PROJECT NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE

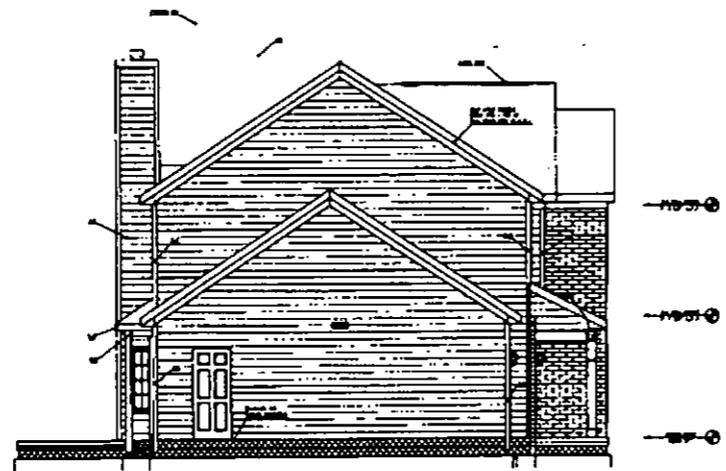
NO.	DATE

NO.	DATE

CVR
 DATE:
 09/10/17



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

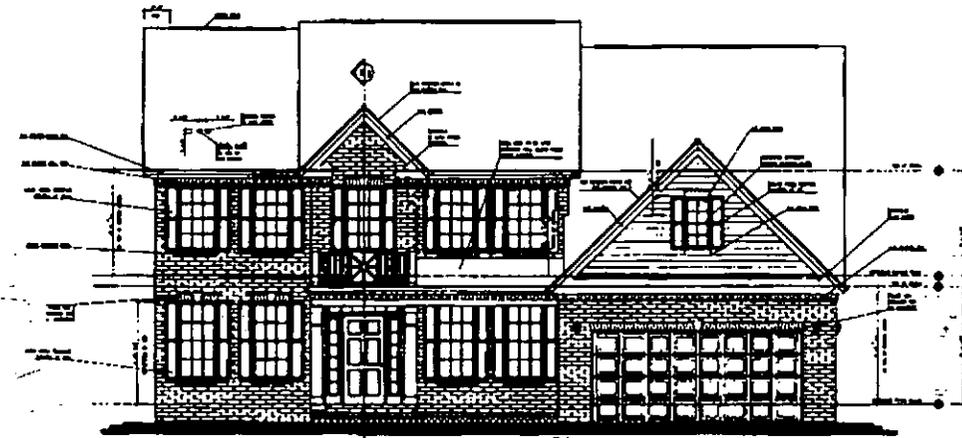


PROJECT NO.	DATE
CLIENT	ARCHITECT
ADDRESS	CITY
STATE	ZIP

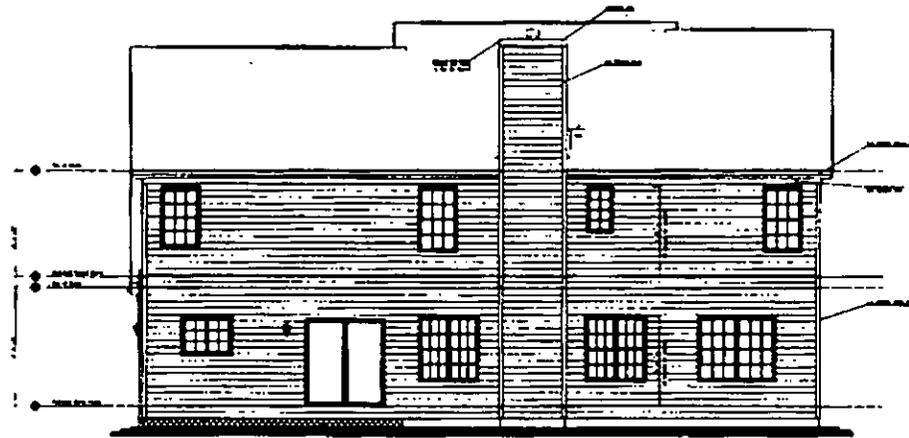
DATE	BY
REVISION	DESCRIPTION

State Seal, No. _____
 Expires on _____
 Issued in _____
 Drawing Title: _____

CVR
 09/10/17



FRONT ELEVATION



REAR ELEVATION

THE
 HOUSE
 ARCHITECTS

PROJECT NAME
 ADDRESS
 CITY
 STATE
 ZIP

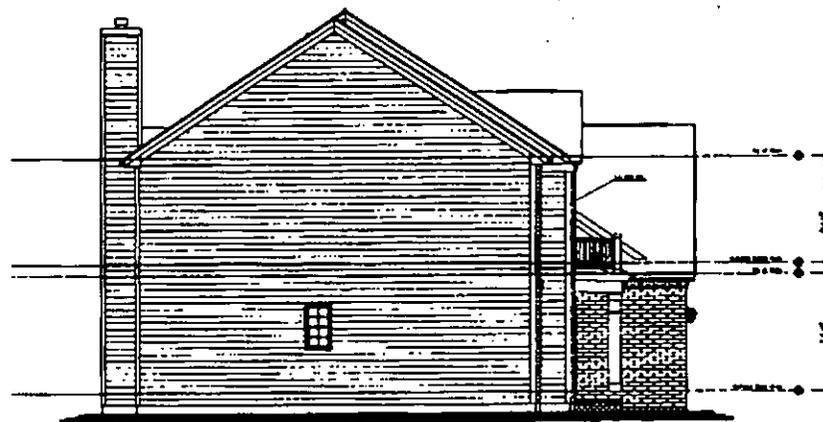
DATE
 DRAWN BY
 CHECKED BY

PROJECT NO.
 SHEET NO. OF TOTAL SHEETS
 SCALE

DATE
 05/13/01



SIDE ELEVATION



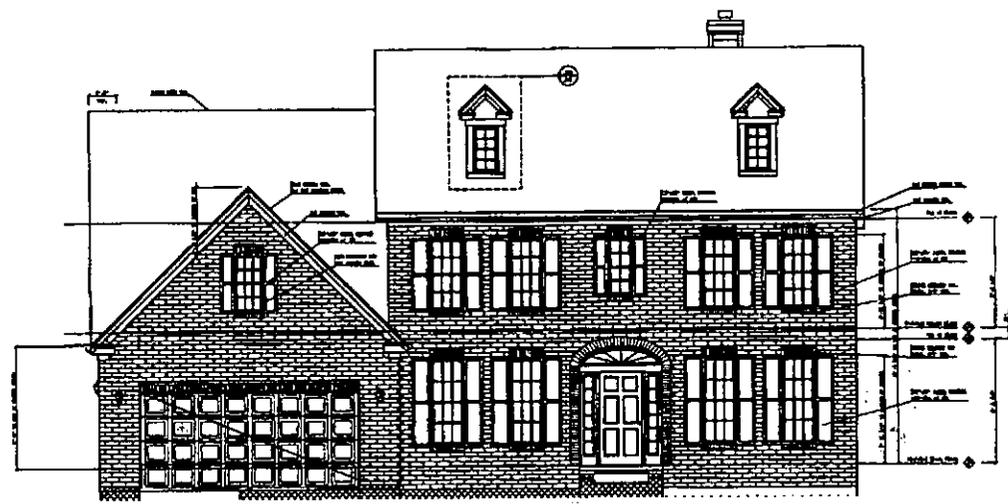
SIDE ELEVATION

ARCHITECTURAL FIRM
 1234 MAIN ST.
 ANYTOWN, CA 90301
 TEL: (555) 123-4567
 FAX: (555) 987-6543
 WWW: WWW.ARCHITECT.COM

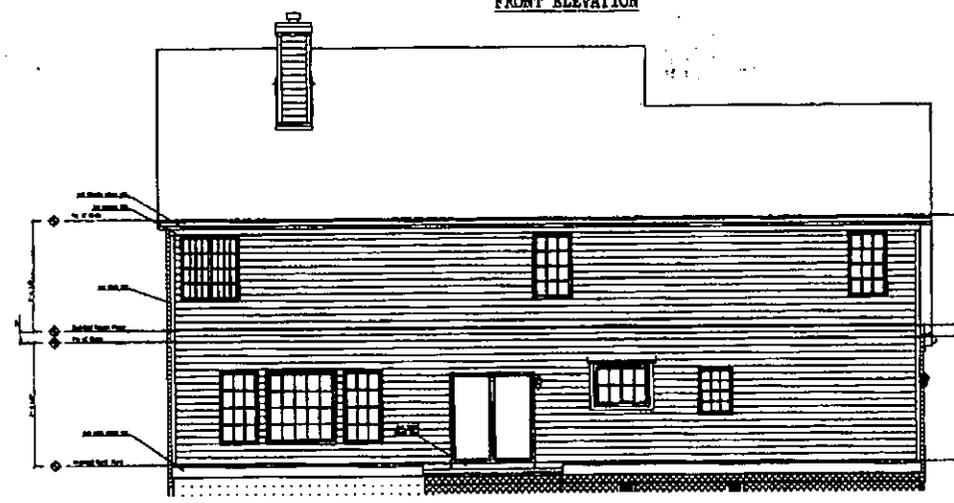
PROJECT NO. 12345
 SHEET NO. 1 OF 1
 DATE: 05/10/01

CLIENT: JOHN DOE
 ADDRESS: 5678 GARDEN ST.
 CITY: ANYTOWN, CA 90301

SCALE: 1/4" = 1'-0"
 DATE: 05/10/01



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/8" = 1'-0"

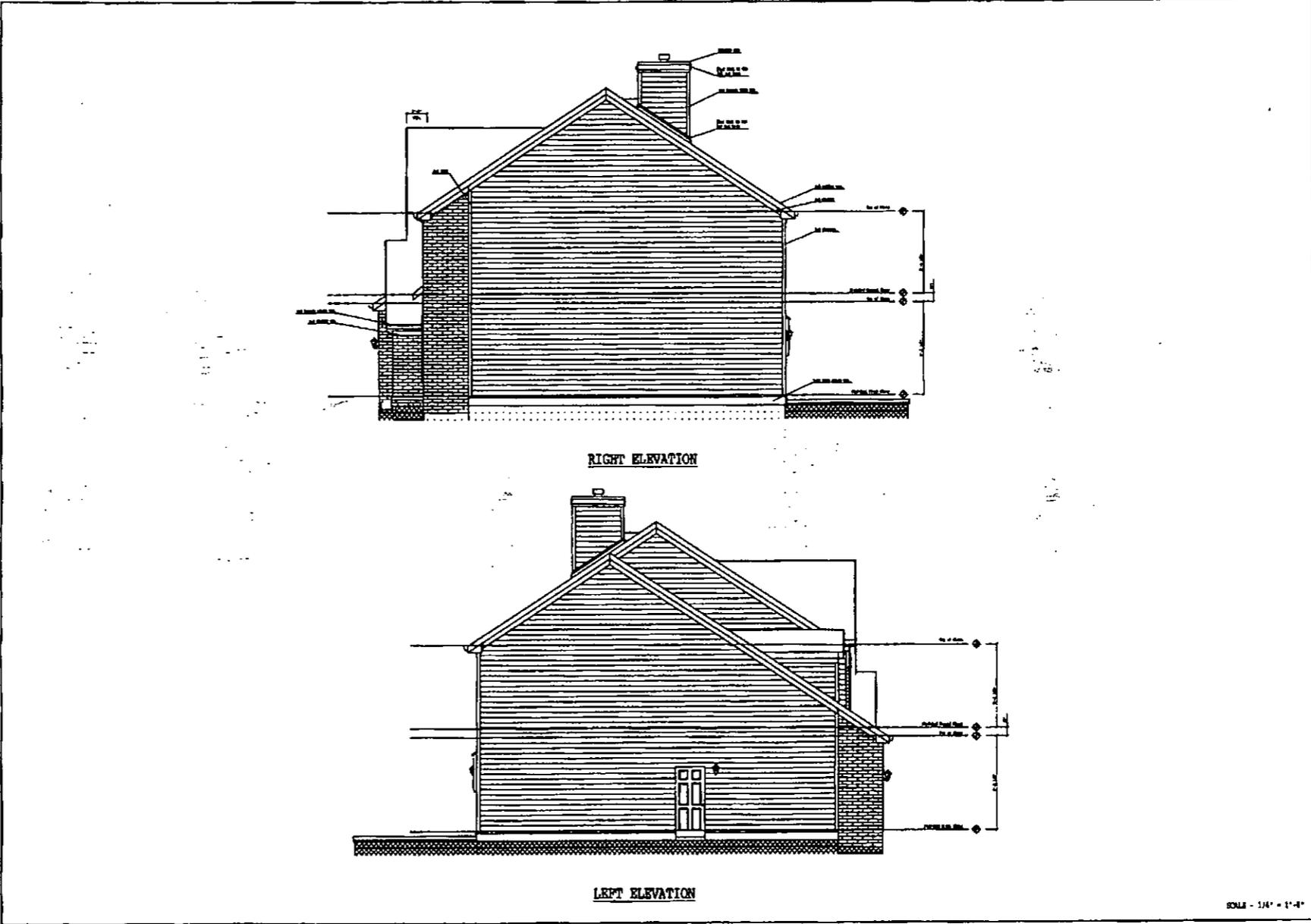


DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

NO.	DATE

PLAN NO.	DATE
PROJECT NO.	DATE
DATE BY	DATE
DATE BY	DATE

T4
DATE: 04/21/0



THE
PERKINS GROUP
 ARCHITECTS
 1000 15th St. N.E.
 Atlanta, Georgia 30309
 Phone: 404.525.1100
 Fax: 404.525.1101

OWNER	
ARCHITECT	
DATE	
SCALE	
PROJECT	

NO.	
DATE	
DESCRIPTION	

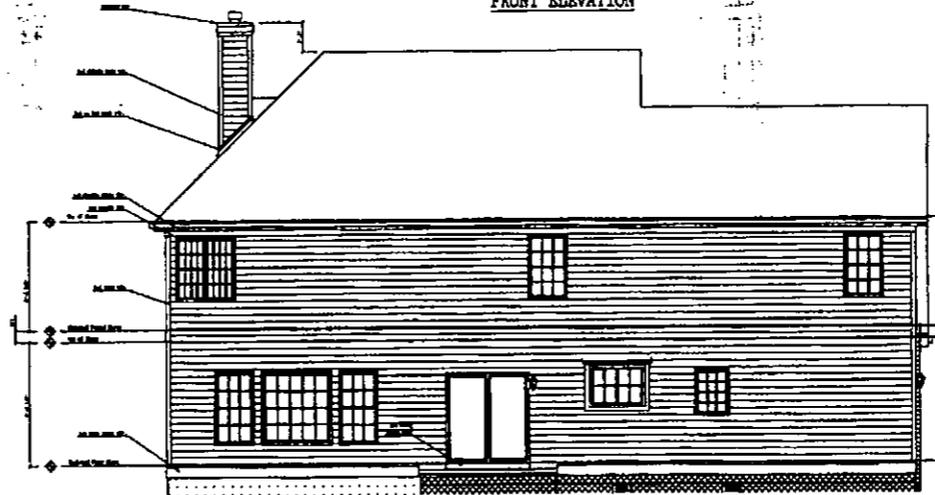
NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____
 PHONE: _____
 FAX: _____

T4
 DATE: 04/21/00

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

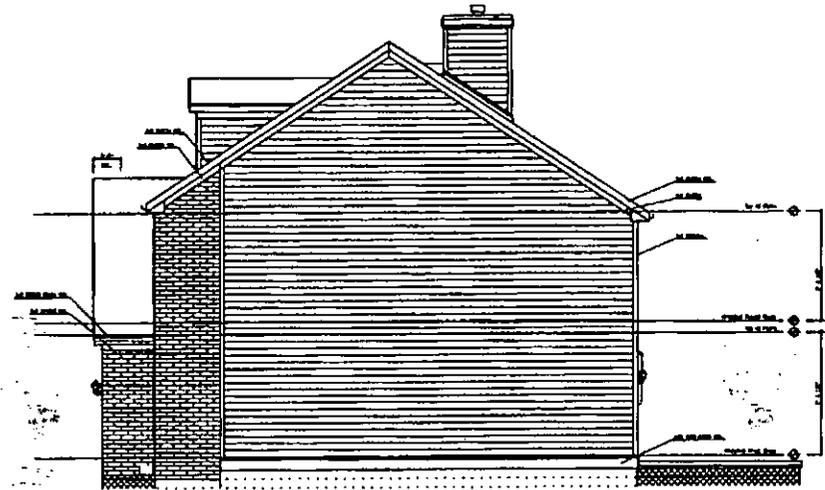
THE ARCHITECTURE
 OF THE HOUSE
 IS THE PROPERTY
 OF THE ARCHITECT
 AND IS NOT TO BE
 REPRODUCED OR
 COPIED IN ANY
 MANNER WITHOUT
 HIS WRITTEN
 CONSENT

OWNER'S DESIGN	DATE
LOCAL	DATE
STATE	DATE
FEDERAL	DATE

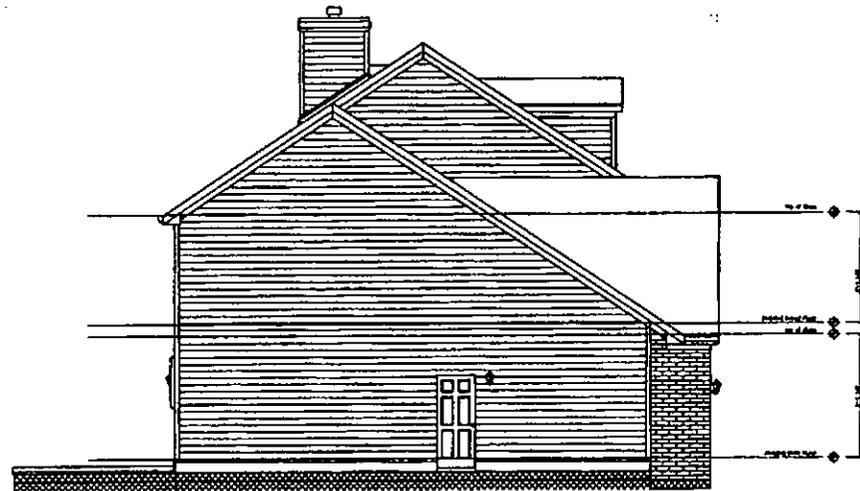
OWNER'S	DATE
LOCAL	DATE
STATE	DATE
FEDERAL	DATE

DATE	DATE

T4
 DATE
 04/21/0



RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

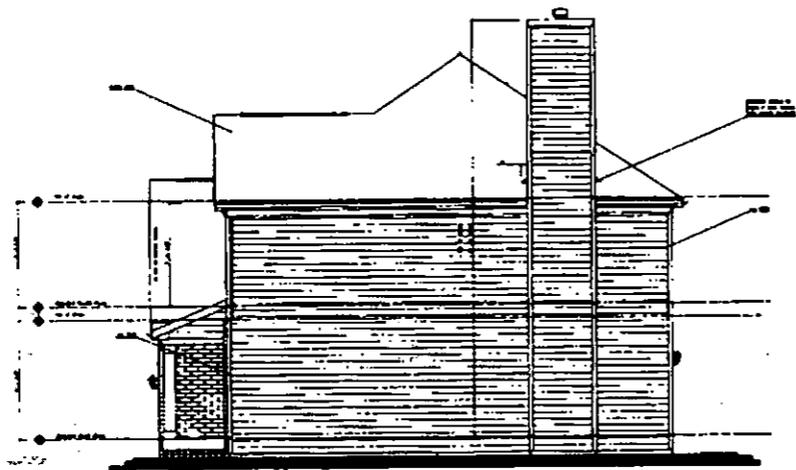
THE STANDARD CONTRACT COMPANY
 1000 N. 10th St. - Phoenix, Arizona
 Phone: 254-1111

PROJECT NO.	
DATE	
BY	
CHECKED BY	

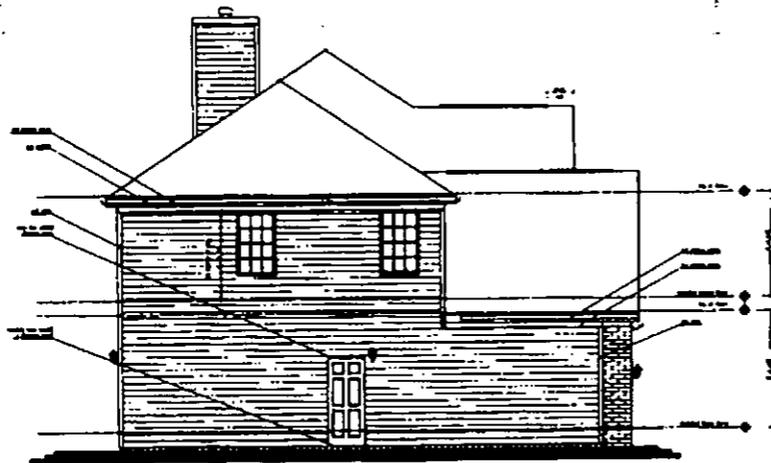
DESCRIPTION	

PLAN NO.	
DATE	
BY	
CHECKED BY	

T4
 DATE: 04/21/0



SIDE ELEVATION



SIDE ELEVATION

THE
FRANKLIN
CHANDLER
 ARCHITECTS
 1000 N. 10th St.
 Phoenix, Arizona 85004
 Phone: (602) 254-1111

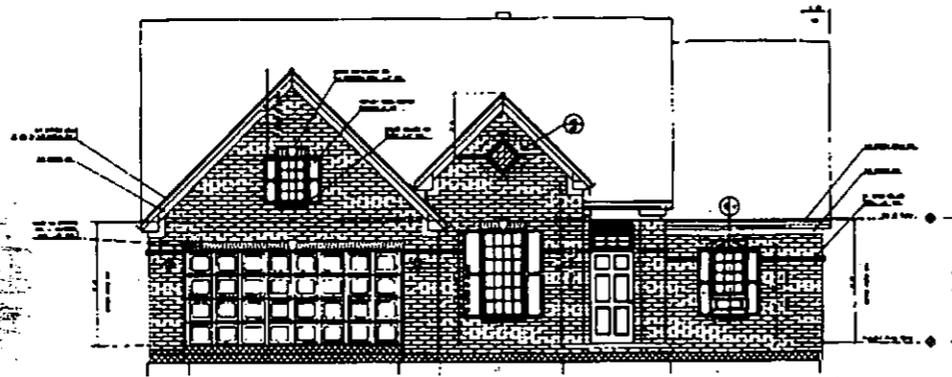
PROJECT NO. 1000
 SHEET NO. 1000-1
 DATE 05/10/02

CLIENT
 ADDRESS
 CITY
 STATE
 ZIP

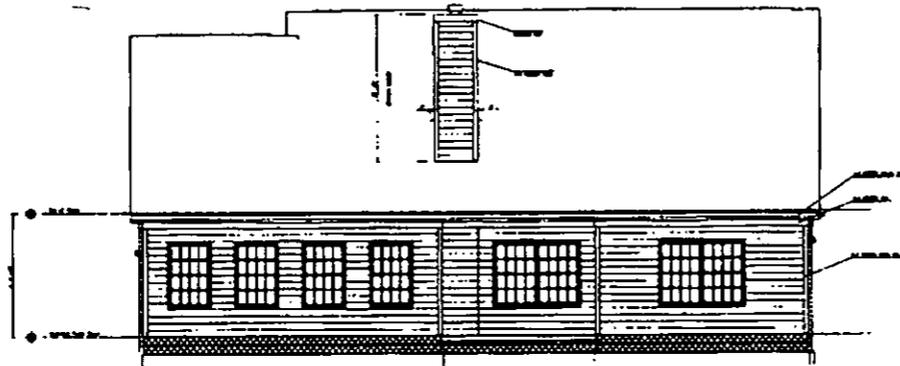
ARCHITECT
 ADDRESS
 CITY
 STATE
 ZIP

DATE
 05/10/02

SCALE 1/4" = 1'-0"



FRONT ELEVATION



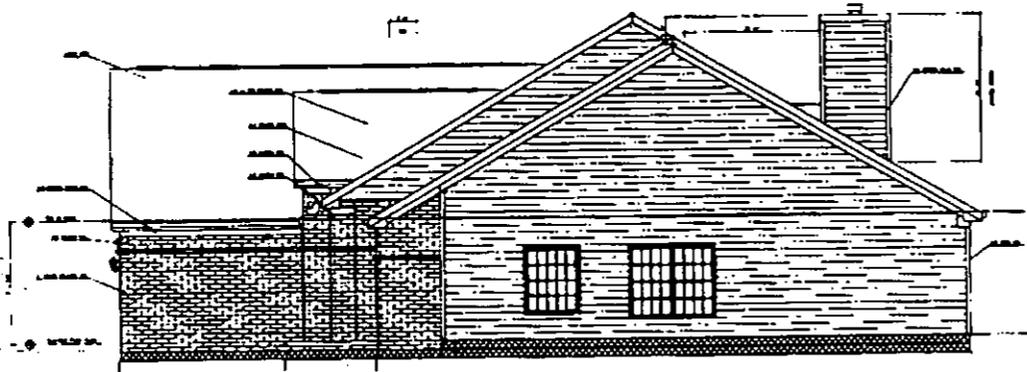
REAR ELEVATION

SCALE - 1/4" = 1'-0"

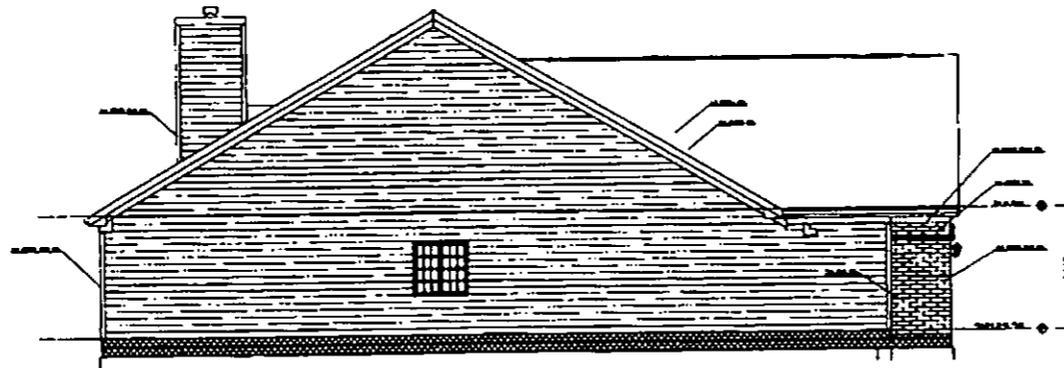


DATE	DESCRIPTION

CVR
 CONSTRUCTION & VISUAL RESOURCES
 65/07/19



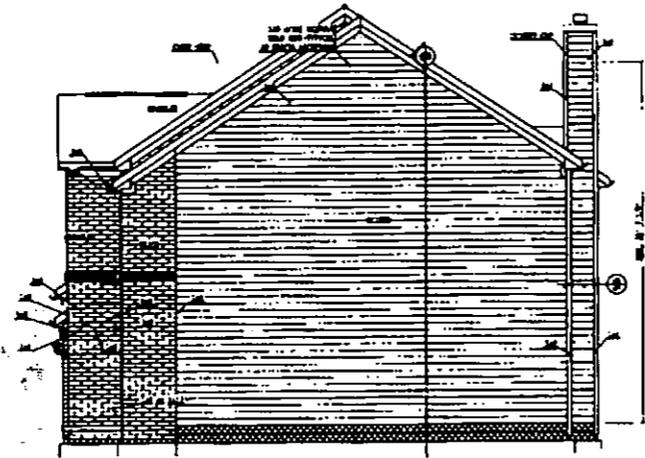
SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

<p>THE HOUSE PLAN ARCHITECTURE 1234567890 1234567890</p>	
<p>PROJECT NO. 12345 SHEET NO. 12345 DATE 12/31/99</p>	<p>SCALE 1/4" = 1'-0"</p>
<p>OWNER: JOHN DOE ADDRESS: 12345 MAIN ST CITY: ANYTOWN, CA 90210 PHONE: (555) 123-4567</p>	
<p>DESIGNER: JANE SMITH ARCHITECT: JANE SMITH ARCHITECTS 1234567890 1234567890</p>	
<p>CVR DATE: 25/07/99</p>	



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

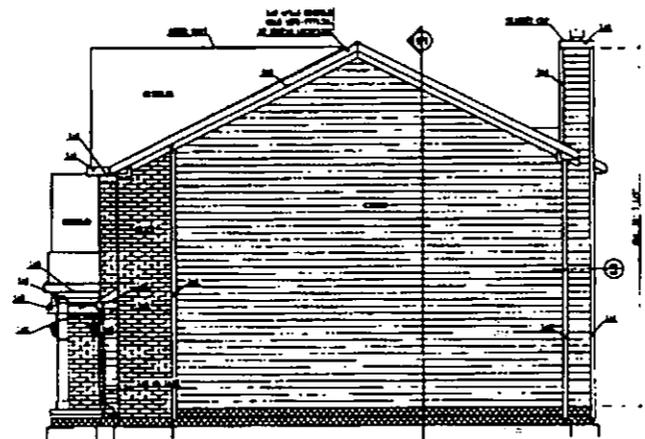
ARCHITECT
 JAMES H. HARRIS
 1111 N. 10th St.
 Phoenix, Arizona 85006
 (602) 254-1111

PROJECT INFORMATION	
DATE:	1/15/96
NO.:	100
REV.:	
BY:	
CHECKED BY:	

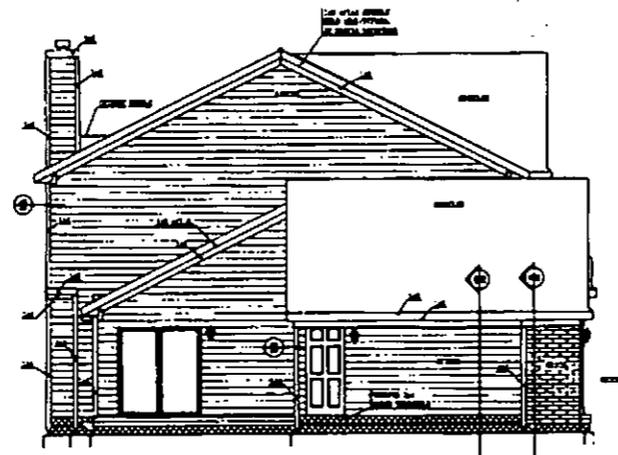
CLIENT INFORMATION	
NAME:	
ADDRESS:	
CITY:	
STATE:	
ZIP:	

OWNER INFORMATION	
NAME:	
ADDRESS:	
CITY:	
STATE:	
ZIP:	

DATE: 01/15/96
 DRAWN BY: JHH
 CHECKED BY: JHH
 SCALE: 1/4" = 1'-0"



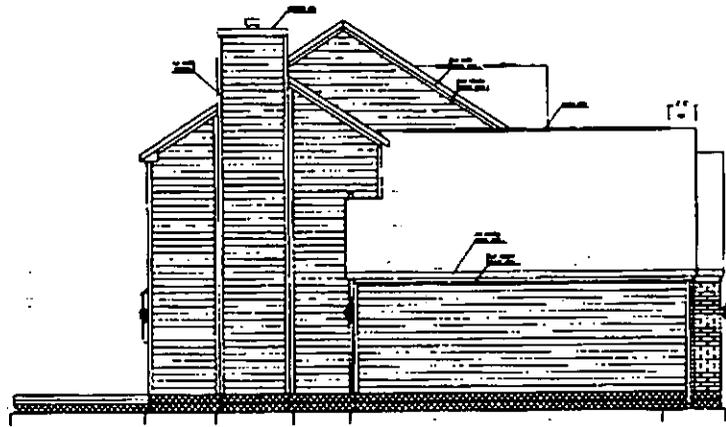
SIDE ELEVATION



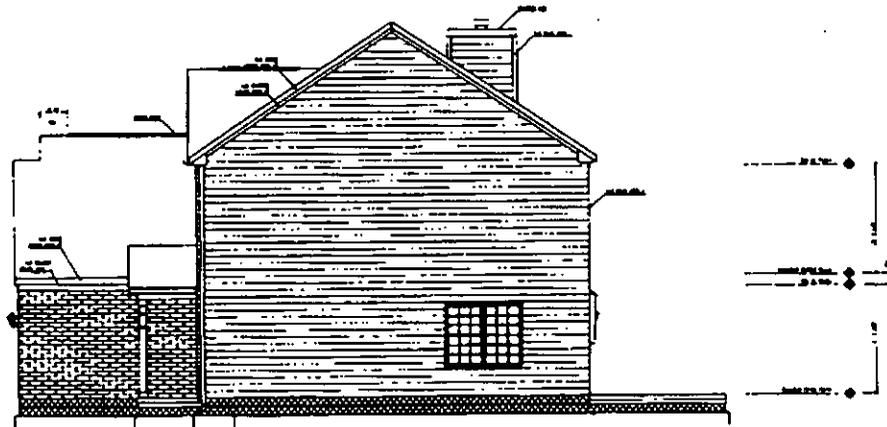
SIDE ELEVATION

SCALE - 1/4" = 1'-0"

<p>DATE: 07/12/96</p>	
<p>PROJECT NO. 1000</p>	<p>DATE: 07/12/96</p>
<p>OWNER: [REDACTED]</p>	<p>ARCHITECT: [REDACTED]</p>
<p>DESIGNER: [REDACTED]</p>	<p>DATE: 07/12/96</p>
<p>PROJECT: [REDACTED]</p>	<p>DATE: 07/12/96</p>
<p>DATE: 07/12/96</p>	<p>DATE: 07/12/96</p>



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

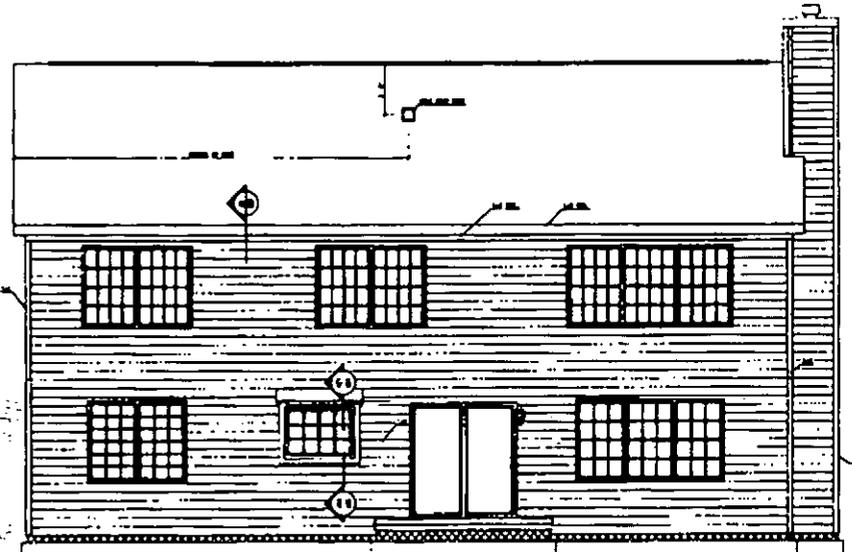
C.V.R. ARCHITECTURE
 1000 S. 10th St.
 Phoenix, AZ 85006
 (602) 254-1111
 FAX: (602) 254-1112
 WWW.CVRARCH.COM

PROJECT NO.	DATE
CLIENT	DESCRIPTION
ARCHITECT	SCALE
DATE	BY

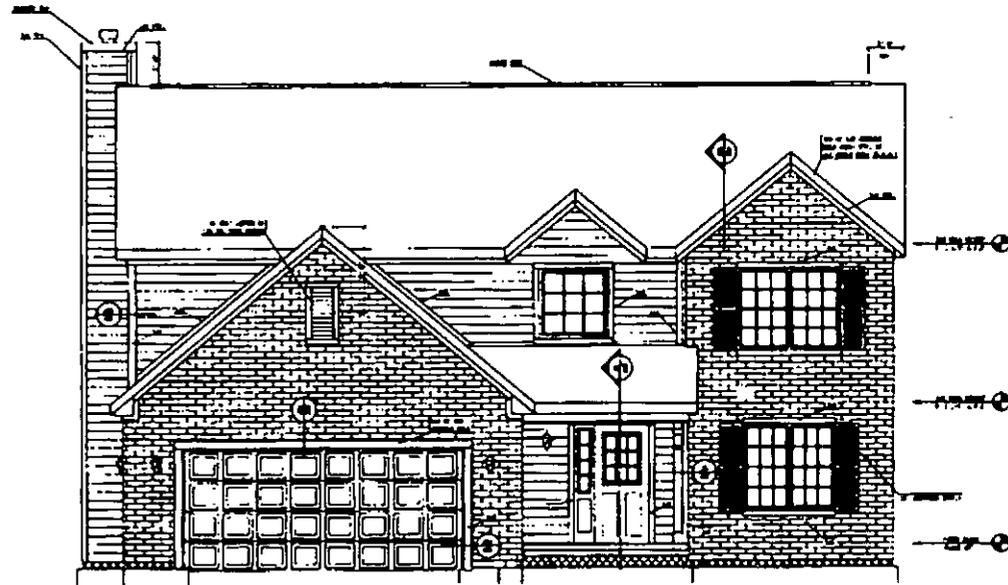
NO.	DATE	DESCRIPTION

PROJECT NO.	DATE
CLIENT	DESCRIPTION
ARCHITECT	SCALE
DATE	BY

CVR
 DATE:
 01/22/98



REAR ELEVATION



FRONT ELEVATION

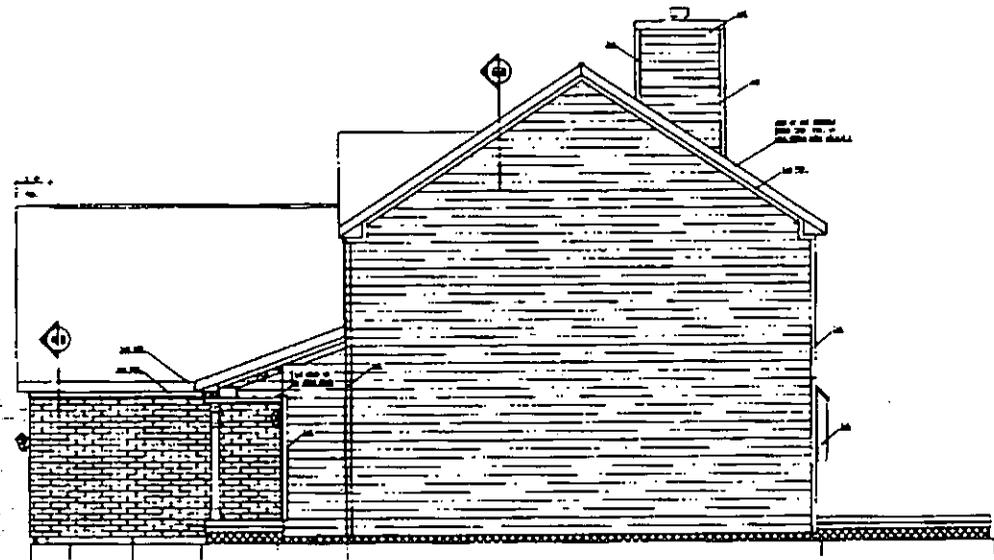


CLO OPTIONS
 11'0" x 12'0" slab

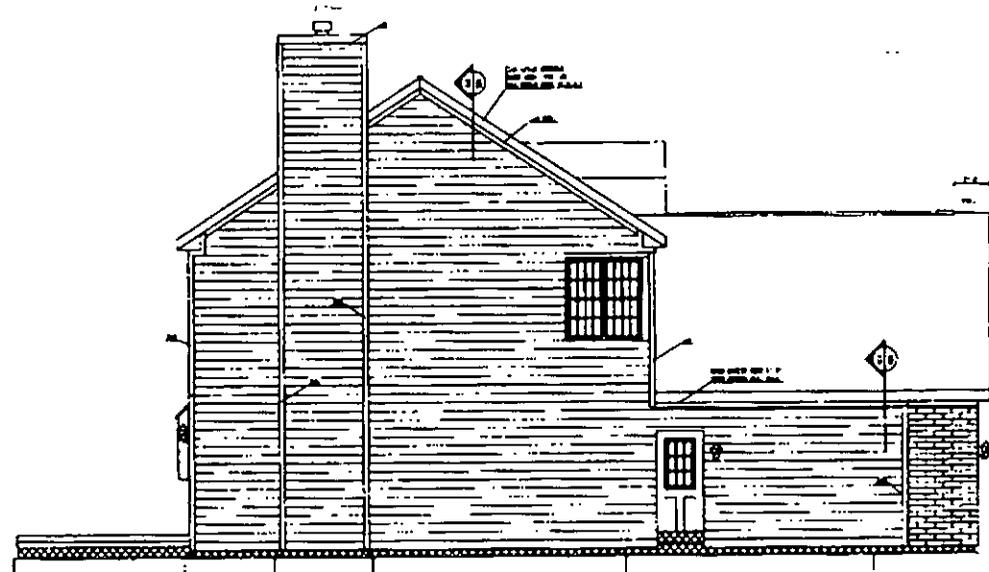
2.0
 11'0" x 12'0" slab
 11'0" x 12'0" slab

CVR
 09/01/99

RIGHT ELEVATION



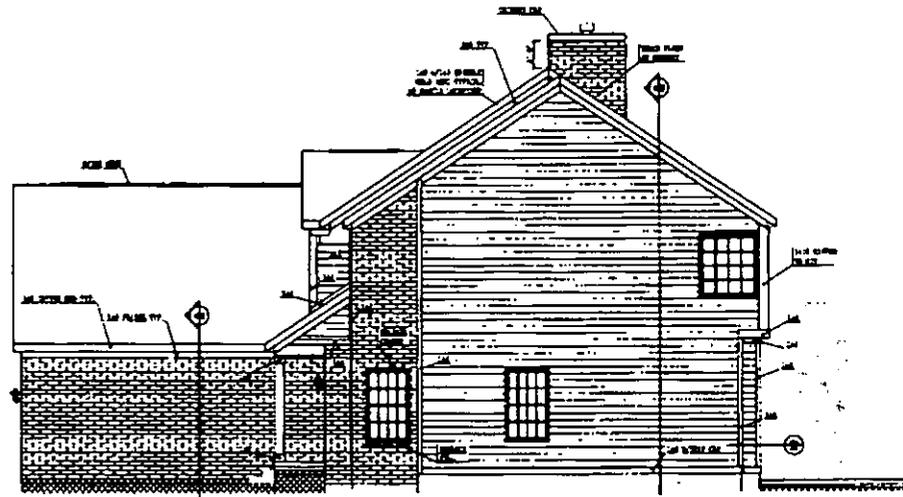
LEFT ELEVATION



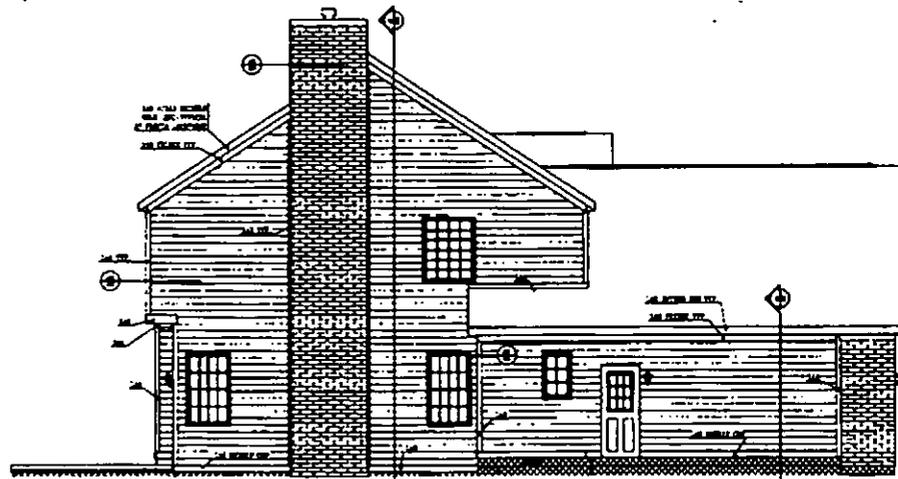
CAD OFFICE
WVC
1114



CVR
09/03/97



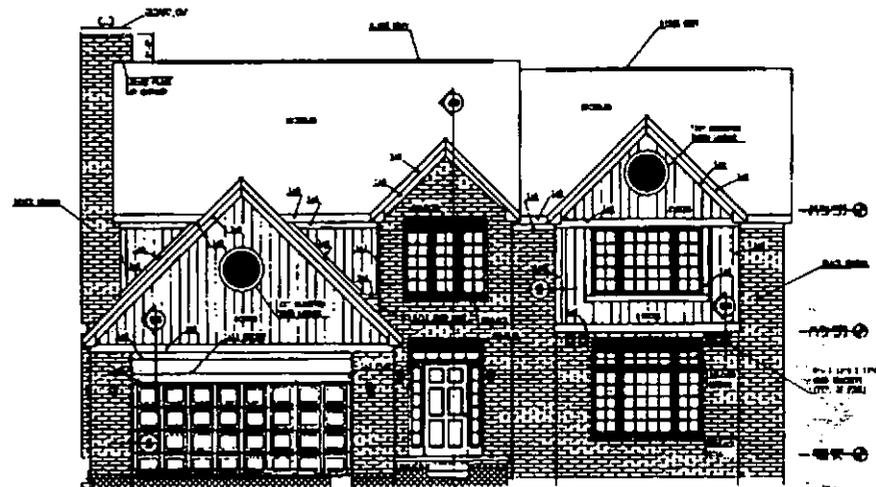
RIGHT ELEVATION



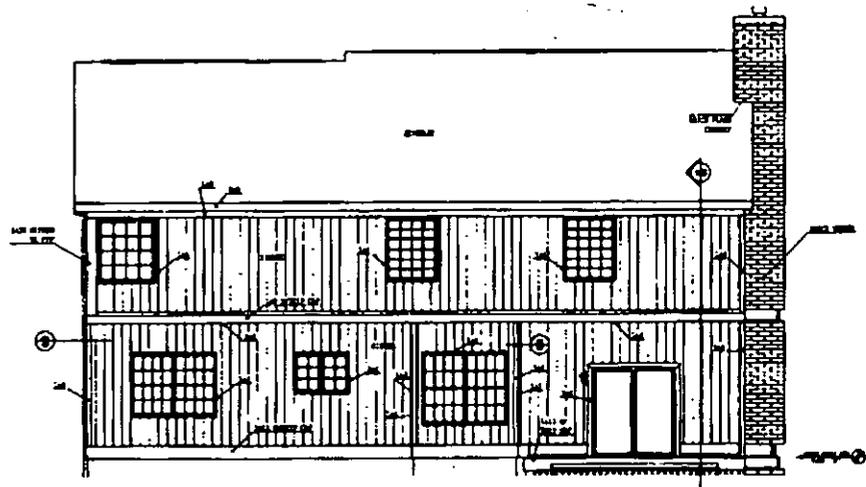
LEFT ELEVATION

SCALE - 1/4" = 1'-0"

PROJECT NO. _____ DRAWING NO. _____ SHEET NO. _____	DATE _____ SCALE _____ DRAWN BY _____ CHECKED BY _____
CLIENT _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____	
ARCHITECT _____ ADDRESS _____ CITY _____ STATE _____ ZIP _____	
DATE _____ SCALE _____ DRAWN BY _____ CHECKED BY _____	



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

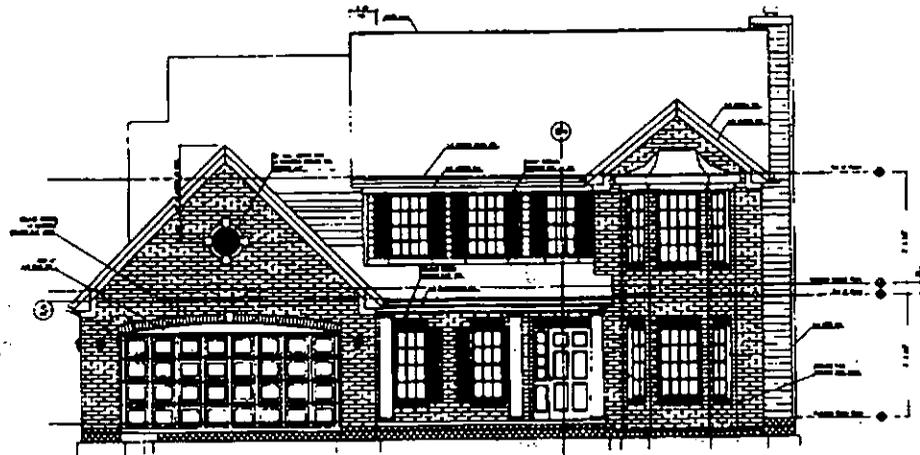


PROJECT NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____

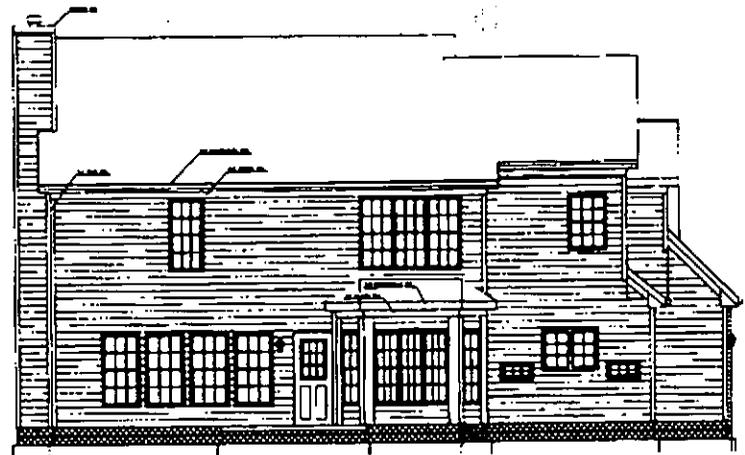
OWNER _____
 ADDRESS _____
 CITY _____
 STATE _____
 ZIP _____

PLANNING BOARD _____
 PERMITS OFFICE _____
 DATE OF PERMIT _____
 DRAWING NO. _____

DATE: 9/23/95



FRONT ELEVATION



REAR ELEVATION



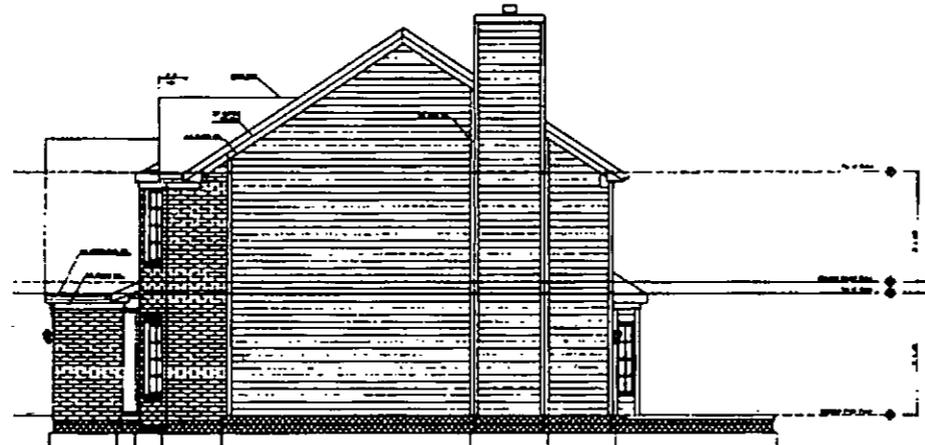
PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	

OWNER	
ADDRESS	
CITY	
STATE	
ZIP	

NO. OF SHEETS	
SHEET NO.	
DATE	
BY	
CHECKED BY	

CVR
 DATE: 06/22/99

1046 - 1047 - 1048



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

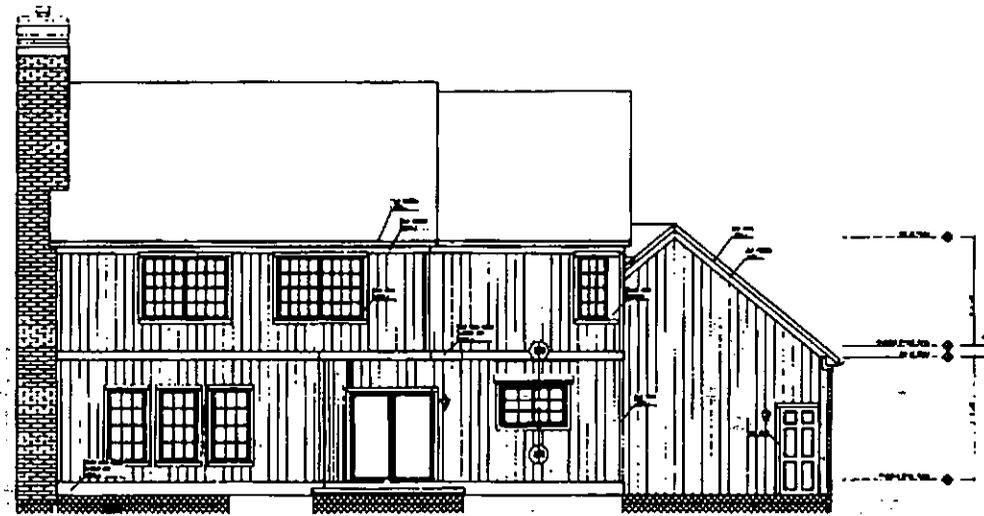
THE
 ARCHITECT
 1000
 06/22/99

PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	

PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	

PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED BY	

CVR
 06/22/99



REAR ELEVATION



FRONT ELEVATION

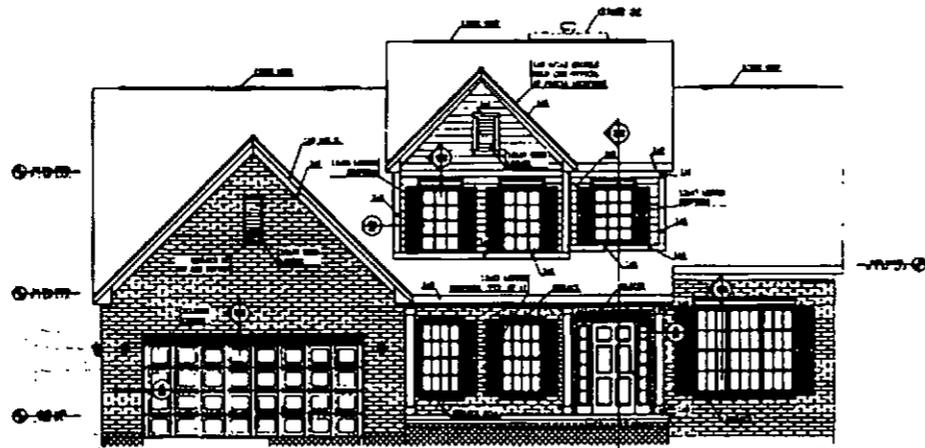
THE
 HOUSE
 PLAN

ARCHITECT
 NAME
 ADDRESS
 CITY
 STATE
 ZIP

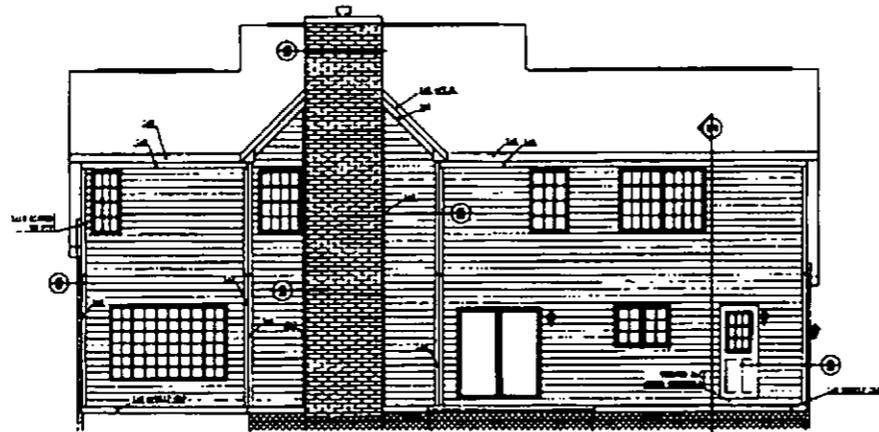
OLD OFFICE
 NAME
 ADDRESS
 CITY
 STATE
 ZIP

THIS BOOK IS
 PROPERTY OF
 THE
 HOUSE PLAN
 COMPANY
 1000
 1000

CVR
 09/19/97



FRONT ELEVATION



REAR ELEVATION

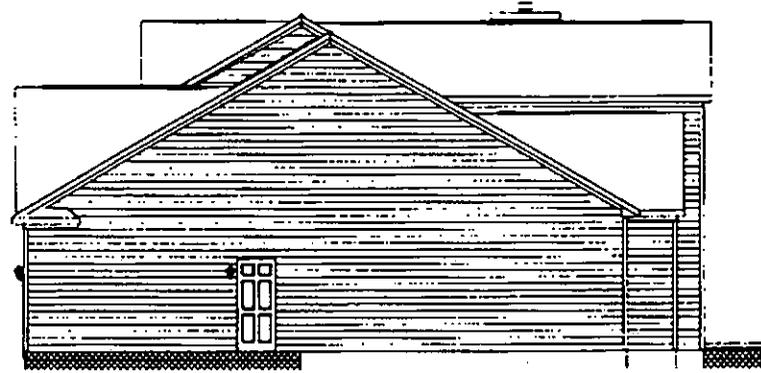
SCALE - 1/8" = 1'-0"

THE
 ARCHITECT
 1111
 1111
 1111

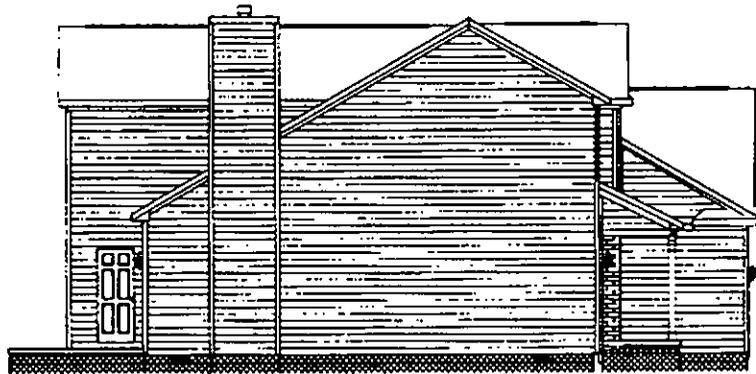
OWNER: _____
 ARCHITECT: _____
 DATE: _____
 SHEET: _____

PROJECT: _____
 LOCATION: _____
 DRAWING NO.: _____

T4
 9/23/95



SIDE ELEVATION



SIDE ELEVATION



PROJECT LOCATION:	
DATE:	
SCALE:	
BY:	
CHECKED BY:	
DATE:	

NO. OF SHEETS:	
SHEET NO.:	
DATE:	
BY:	
CHECKED BY:	
DATE:	

NO. OF SHEETS:	
SHEET NO.:	
DATE:	
BY:	
CHECKED BY:	
DATE:	

CVR
12/31/95



FRONT ELEVATION



REAR ELEVATION

ALL RIGHTS RESERVED
 © 1995
 ALL RIGHTS RESERVED
 © 1995

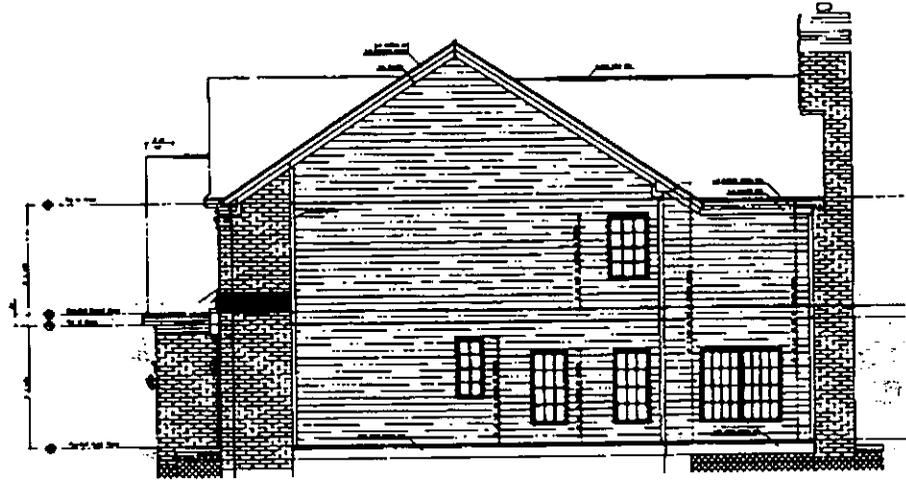
PROJECT NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

SHEET NO. _____
 TOTAL SHEETS _____
 SCALE _____
 DATE _____

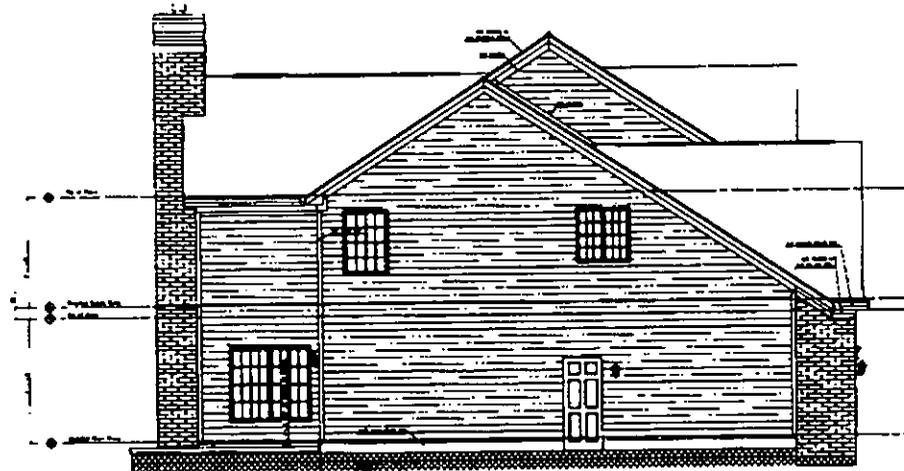
PROJECT NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

CVR
 12/31/95

1007-1047-1-4



RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

THE
FORNBERG
 ARCHITECTS
 1000 14th St. N.W.
 WASHINGTON, D.C. 20004
 TEL: 202-331-1100
 FAX: 202-331-1101

PROJECT NO. _____
 DRAWING NO. _____
 DATE: _____
 SCALE: _____
 SHEET NO. _____ OF _____

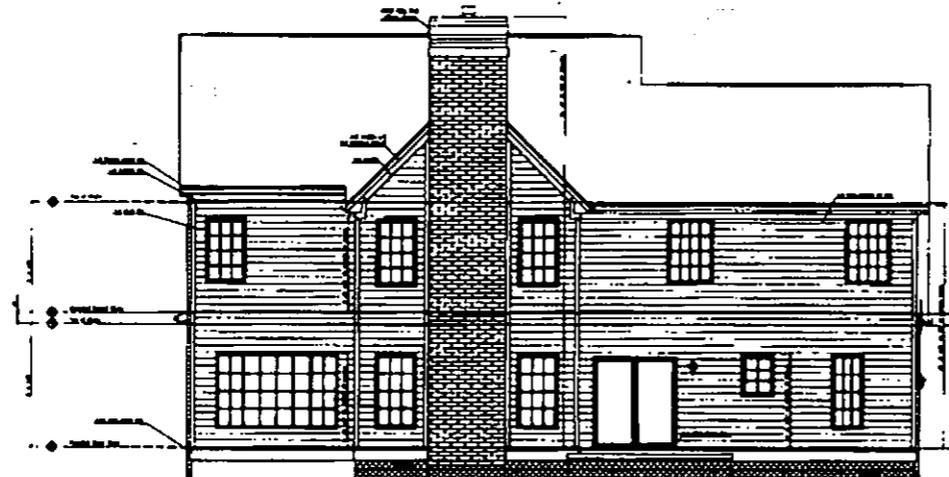
NAME: _____
 TITLE: _____
 DATE: _____
 SCALE: _____
 SHEET NO. _____ OF _____

NAME: _____
 TITLE: _____
 DATE: _____
 SCALE: _____
 SHEET NO. _____ OF _____

T4
 DATE: 04/13/01



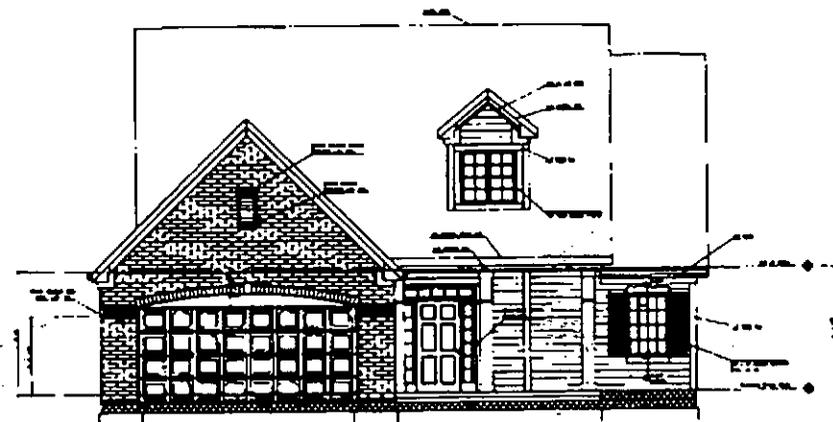
FRONT ELEVATION



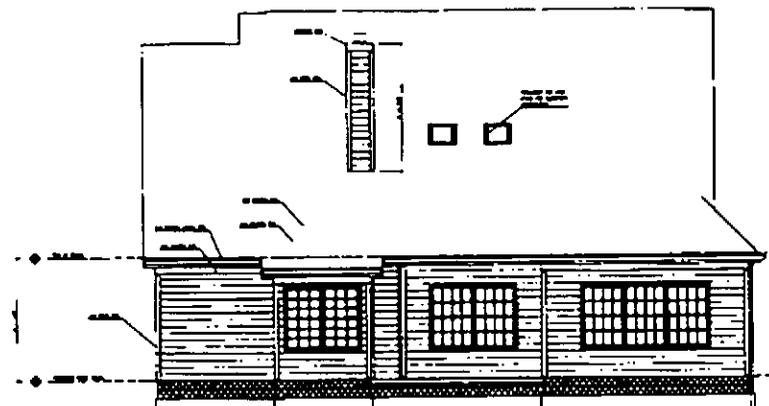
REAR ELEVATION

SCALE - 1/4" = 1'-0"

PROJECT NO. _____ SHEET NO. _____ DATE _____	
ARCHITECT _____ _____	ENGINEER _____ _____
CONTRACTOR _____ _____	OWNER _____ _____
T-4 DATE: 04/23/01	

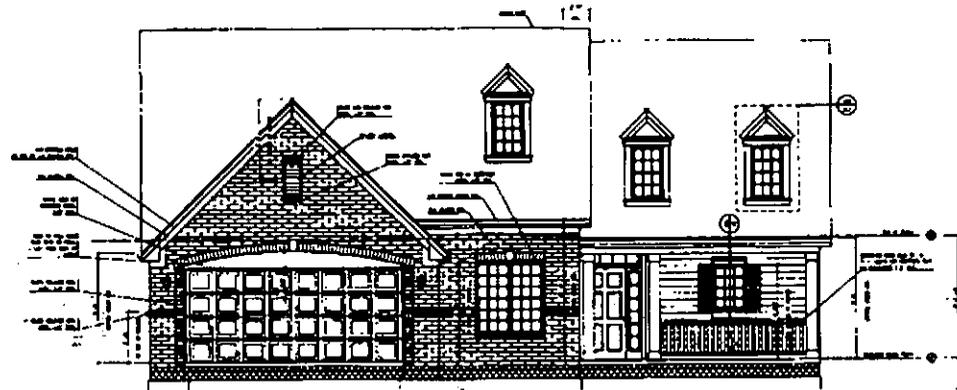


FRONT ELEVATION

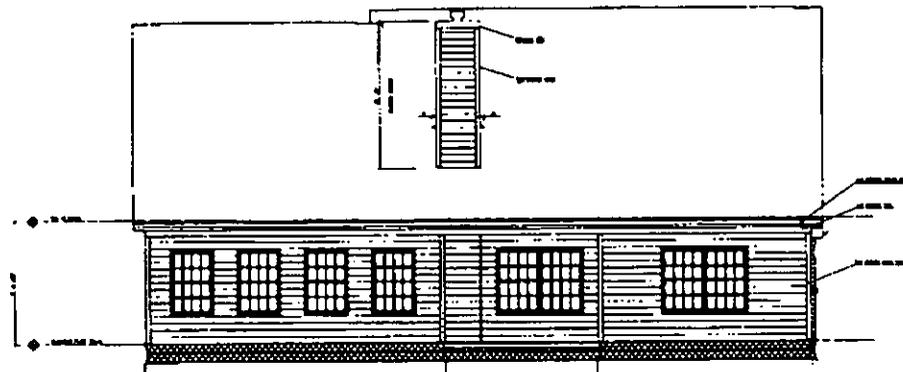


REAR ELEVATION

1/2" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"
 1/32" = 1'-0"
 1/64" = 1'-0"
 1/128" = 1'-0"
 1/256" = 1'-0"
 1/512" = 1'-0"
 1/1024" = 1'-0"
 1/2048" = 1'-0"
 1/4096" = 1'-0"
 1/8192" = 1'-0"
 1/16384" = 1'-0"
 1/32768" = 1'-0"
 1/65536" = 1'-0"
 1/131072" = 1'-0"
 1/262144" = 1'-0"
 1/524288" = 1'-0"
 1/1048576" = 1'-0"
 1/2097152" = 1'-0"
 1/4194304" = 1'-0"
 1/8388608" = 1'-0"
 1/16777216" = 1'-0"
 1/33554432" = 1'-0"
 1/67108864" = 1'-0"
 1/134217728" = 1'-0"
 1/268435456" = 1'-0"
 1/536870912" = 1'-0"
 1/1073741824" = 1'-0"
 1/2147483648" = 1'-0"
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FRONT ELEVATION



REAR ELEVATION

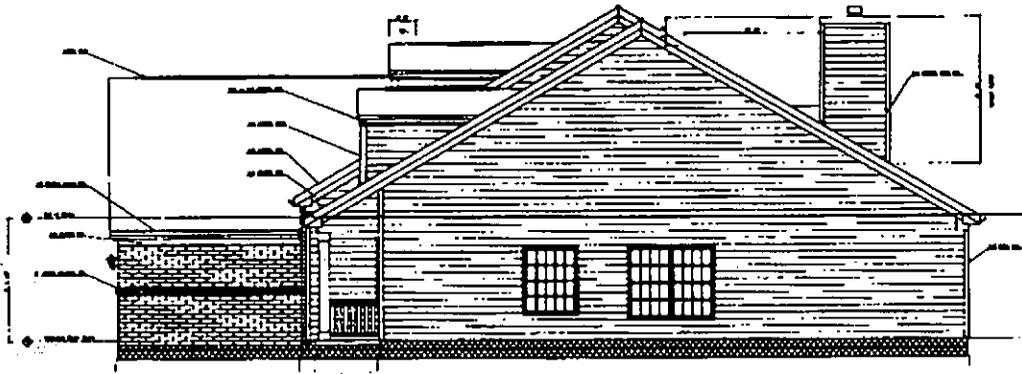


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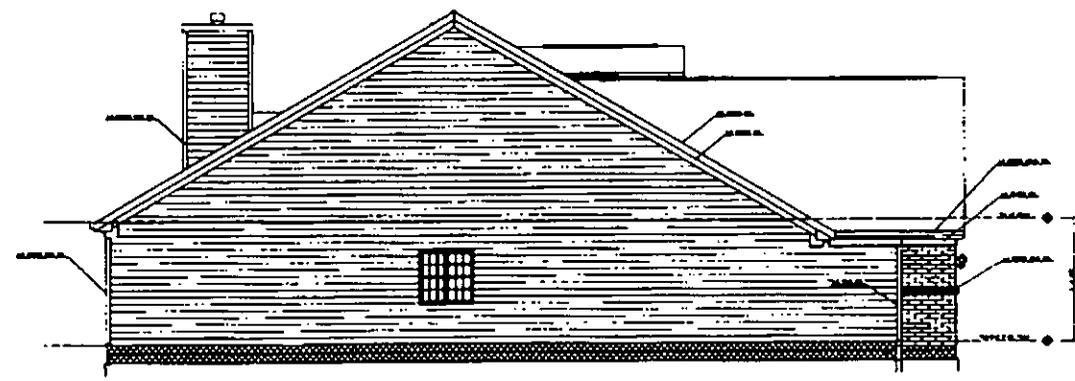
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CVR
 05/07/99



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

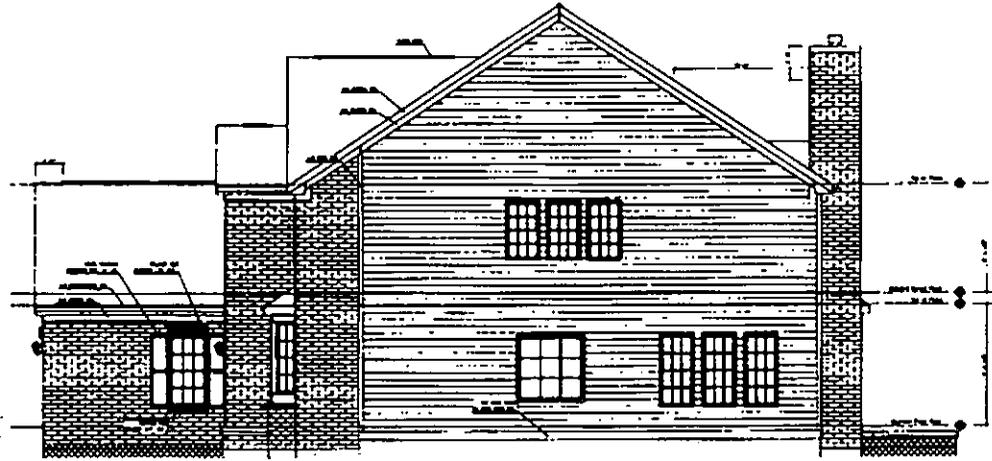
THE HOUSE IS TO BE
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 AND NOTES
 UNLESS OTHERWISE
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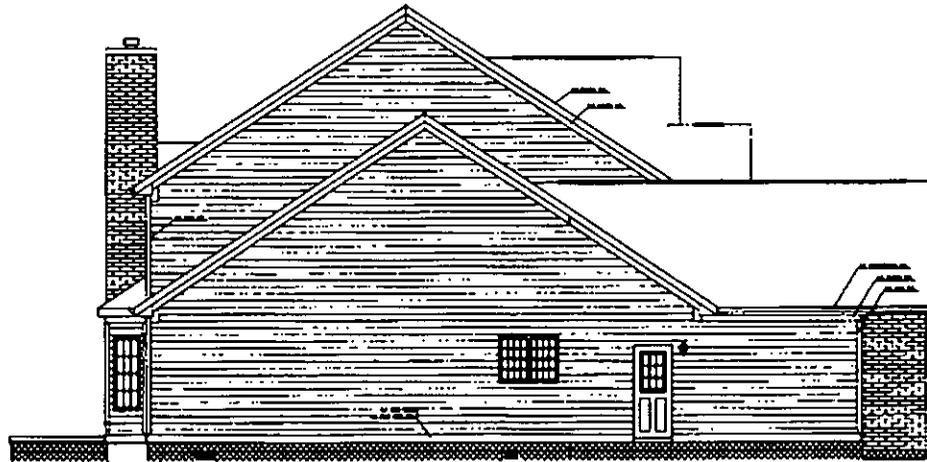
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CVR
 DATE
 05/07/99



SIDE ELEVATION



SIDE ELEVATION



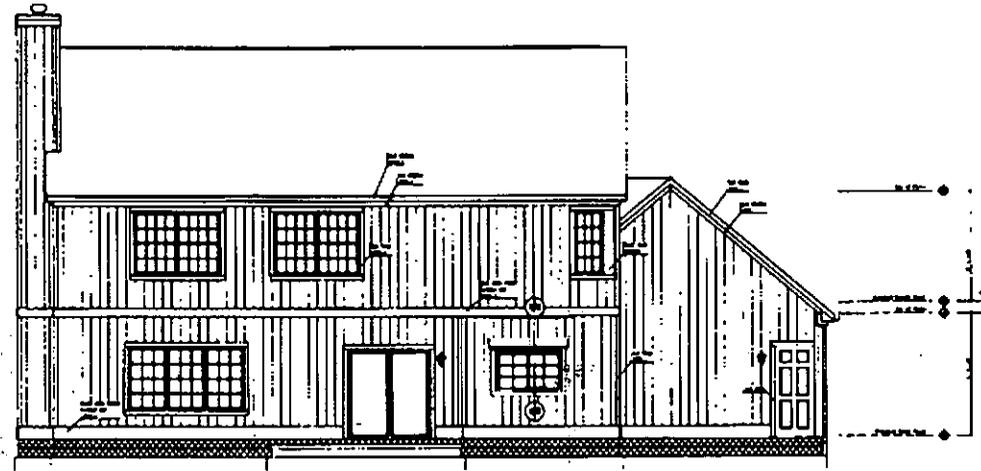
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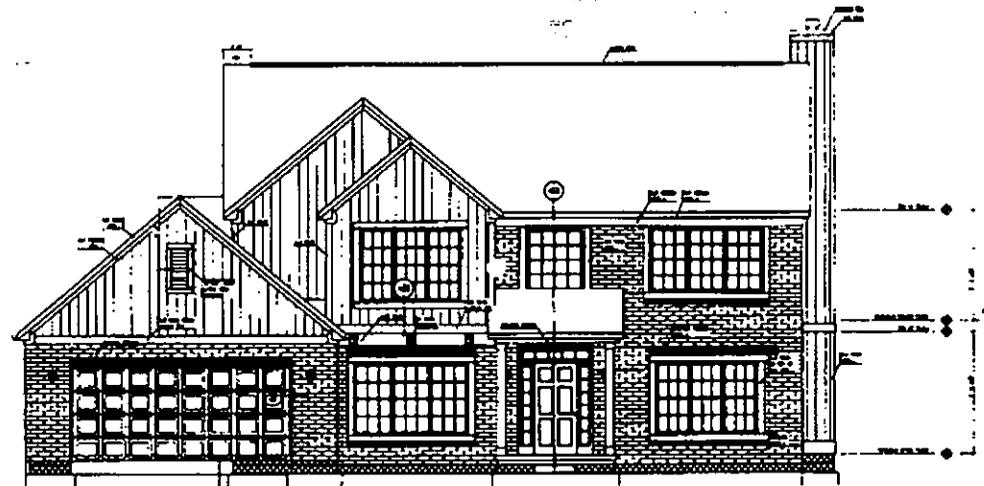
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12/30/99

SCALE - 1/4" = 1'-0"



REAR ELEVATION



FRONT ELEVATION

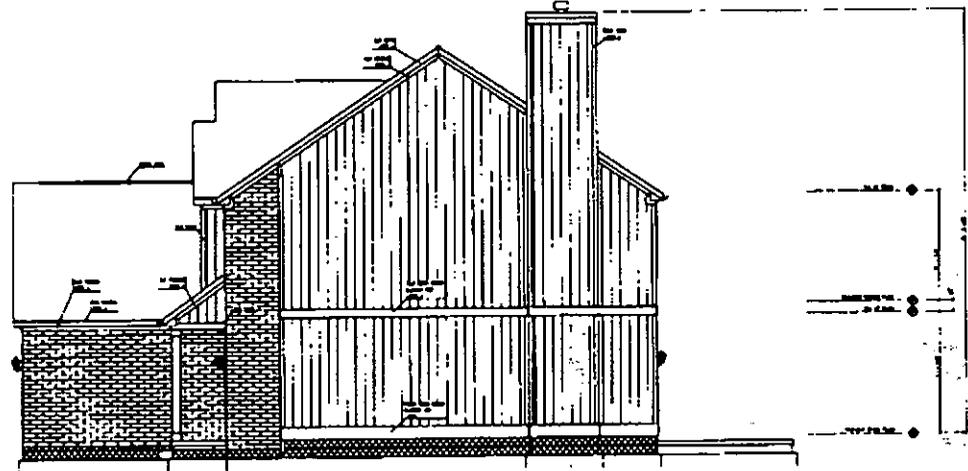
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OWNER: []
 ARCHITECT: []
 DATE: []

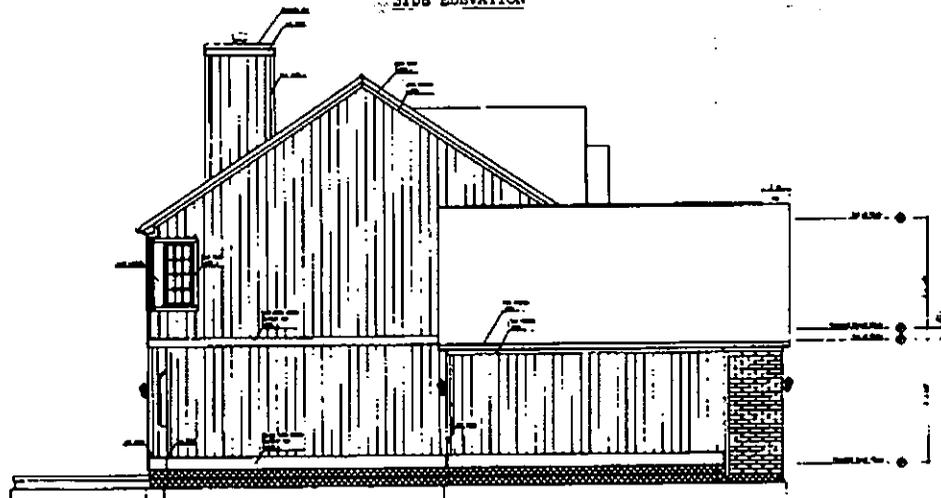
NO OTHER WORK TO BE DONE WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN CONSENT.

CVR
 DATE: 09/19/77



SIDE ELEVATION



SIDE ELEVATION

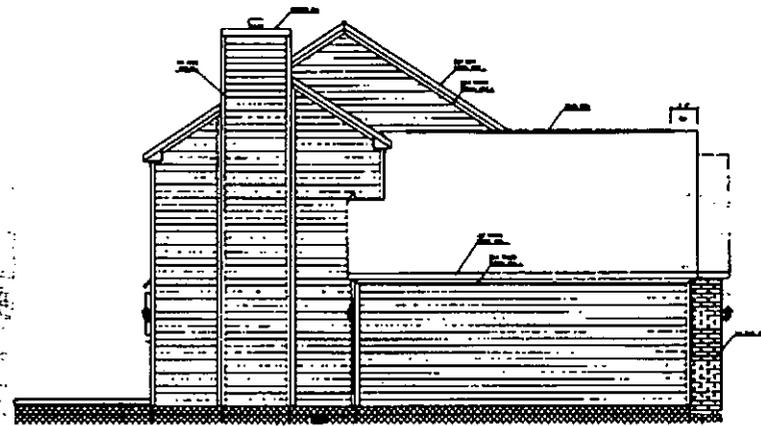
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 BUILDING
 CONSTRUCTION
 COMPANY
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DRAWING NO. 1000
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 DATE 10/10/10

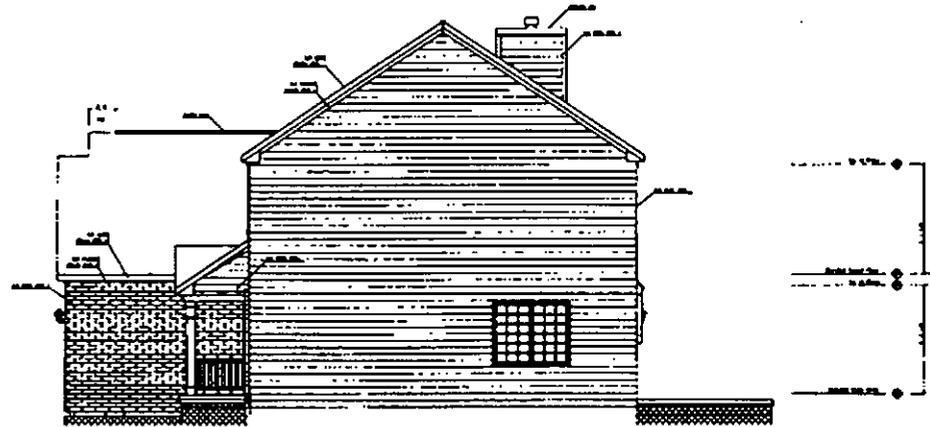
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CVR
 09/29/17



SIDE ELEVATION



SIDE ELEVATION

SCALE 1/4" = 1'-0"

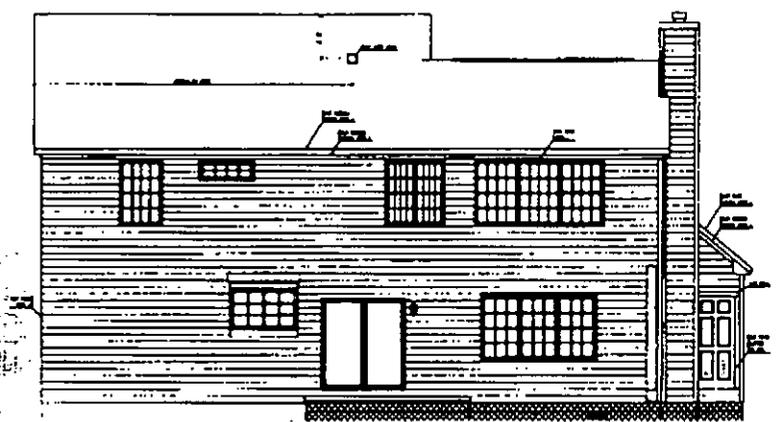


OWNER	DATE
ARCHITECT	DATE
ENGINEER	DATE
CONTRACTOR	DATE

NO.	DATE	DESCRIPTION

PROJECT NO.	DATE
OWNER	DATE
ARCHITECT	DATE
ENGINEER	DATE
CONTRACTOR	DATE

CVR
DATE: 01/22/98



5048 - 10' - 11-0"

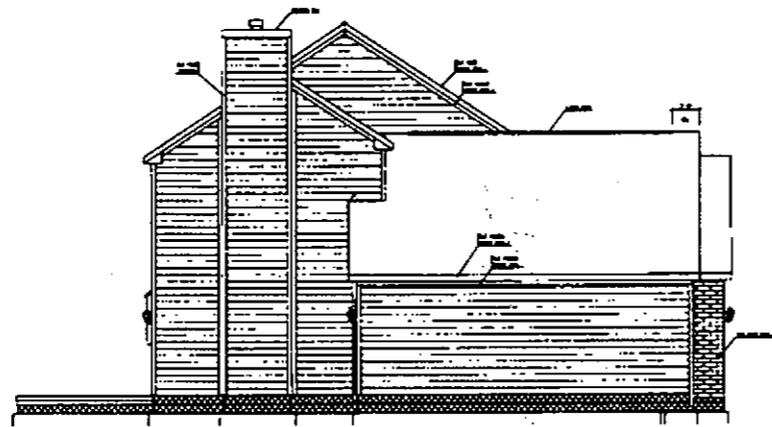
THE
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PROJECT NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 SCALE _____

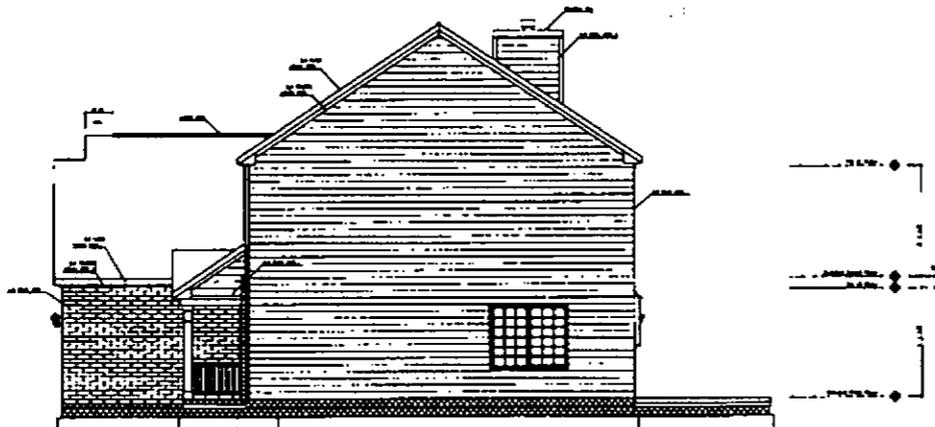
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CVR
 07/22/98



SIDE ELEVATION



SIDE ELEVATION

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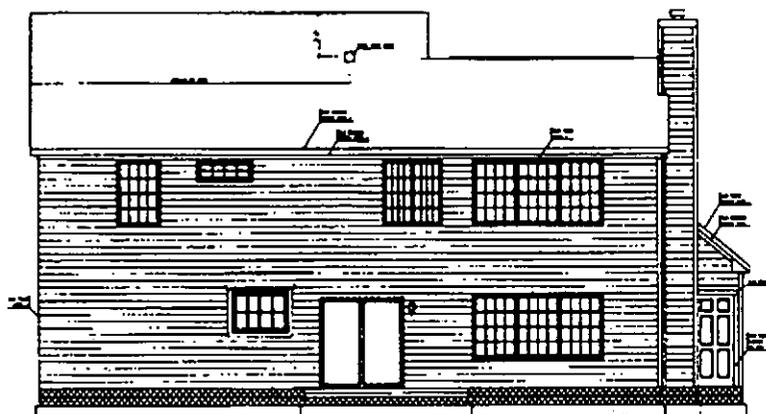


NO.	DATE	BY	CHKD.

NO.	DATE	BY	CHKD.

NO.	DATE	BY	CHKD.

CVR
DATE: 01/22/98



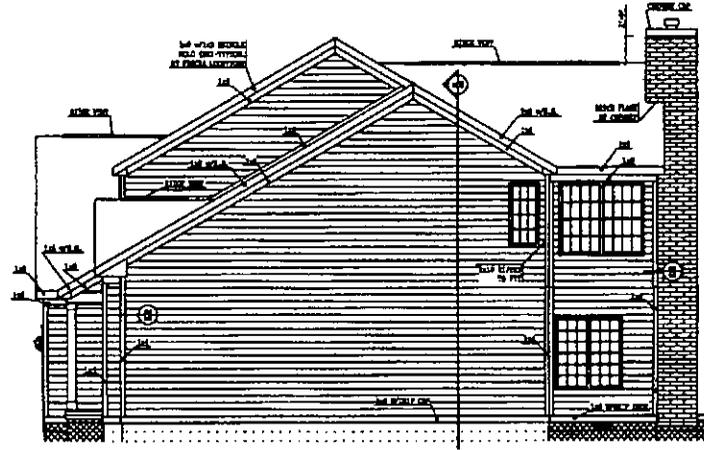
1048 - 140 - 1-87

THE
 HOUSE
 PLAN
 BOOK
 1987

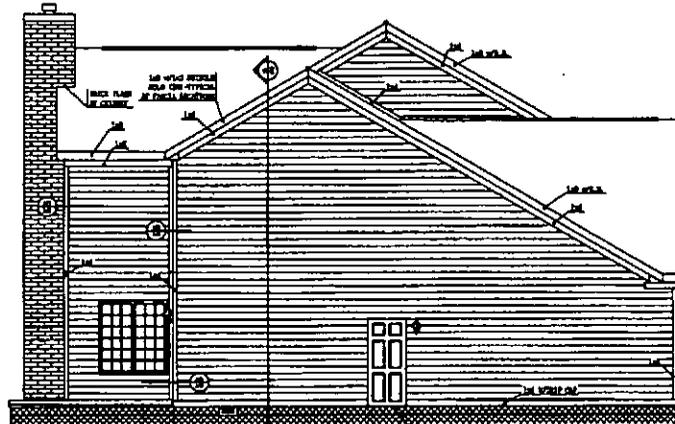
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 1/128" = 1'-0"
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EXHIBIT K

ELEVATIONS FOR IRVINGTON COLLECTION HOMES



RIGHT ELEVATION



LEFT ELEVATION

SCALE - 1/4" = 1'-0"

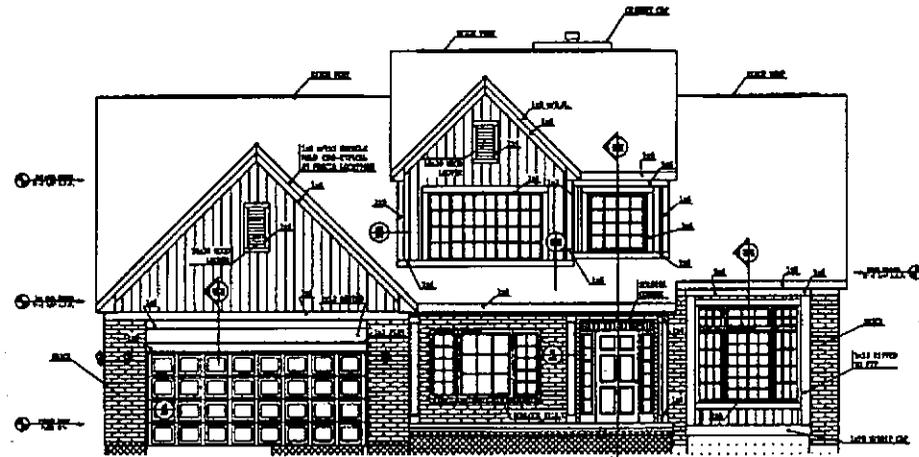
THE ARCHITECTURAL CENTER OF THE UNIVERSITY OF TEXAS AT AUSTIN
 ARCHITECTS
 1000 UNIVERSITY DRIVE, AUSTIN, TEXAS 78705
 TEL: 512/475-1200 FAX: 512/475-1201

PROJECT NO.	
DATE	
SCALE	
BY	
CHECKED	

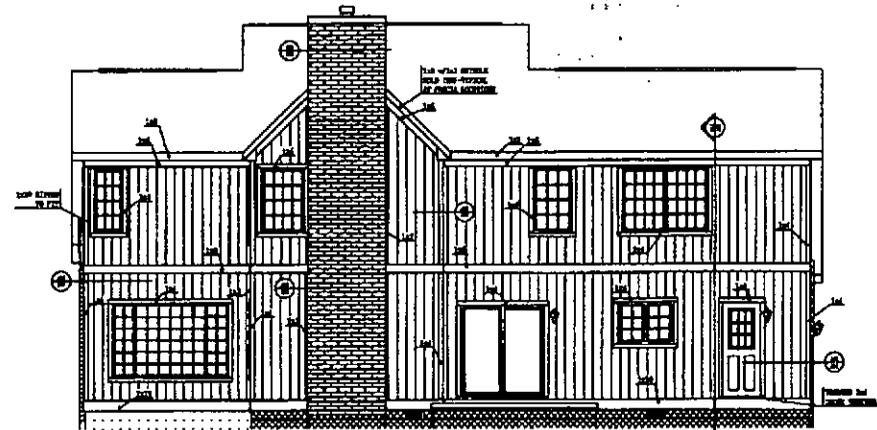
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ADDRESS	
CITY	
STATE	
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DATE: 7/95	DATE: 1/96
PROJECT: 1000 UNIVERSITY DRIVE	PROJECT: 1000 UNIVERSITY DRIVE
DATE: 7/95	DATE: 1/96
PROJECT: 1000 UNIVERSITY DRIVE	PROJECT: 1000 UNIVERSITY DRIVE

T4
 DATE: 9/23/95



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

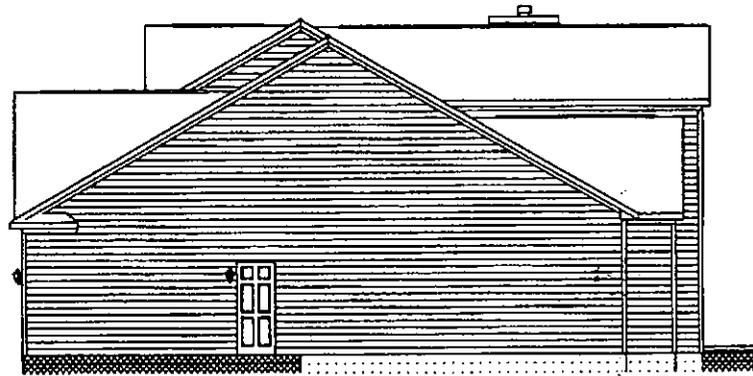


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ARCHITECT	DATE
ENGINEER	DATE
CONTRACTOR	DATE

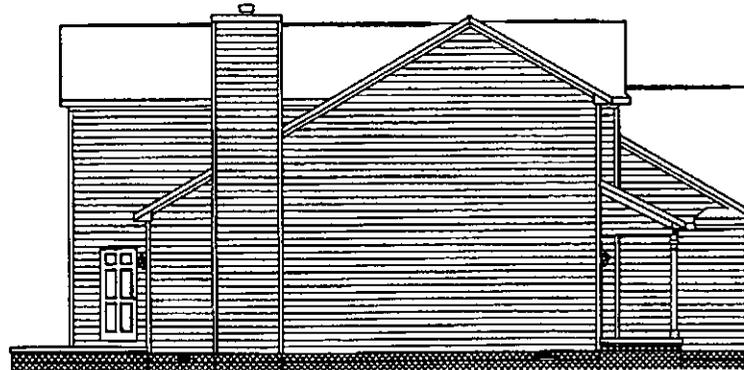
OPTIONAL	DATE

DATE DRAWN: 7/22	SCALE: 1/4" = 1'-0"
DRAWN BY: J. B. HALL	CHECKED BY: J. B. HALL
DATE: 9/23/95	PROJECT TITLE: COVER SHEET

T4
DATE: 9/23/95



SIDE ELEVATION



SIDE ELEVATION

THE
CVR
 CONSTRUCTION
 COMPANY
 INC.
 12731/95

DATE	12/31/95
BY	
CHECKED	
APPROVED	
SCALE	1/4" = 1'-0"

PROJECT	
DESCRIPTION	
LOCATION	
OWNER	
DATE	

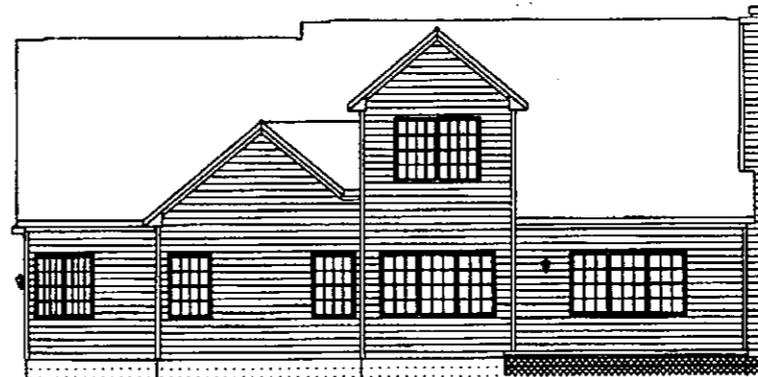
12731/95
 12/31/95
 12731/95
 12731/95

CVR
 DATE
 12/31/95

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

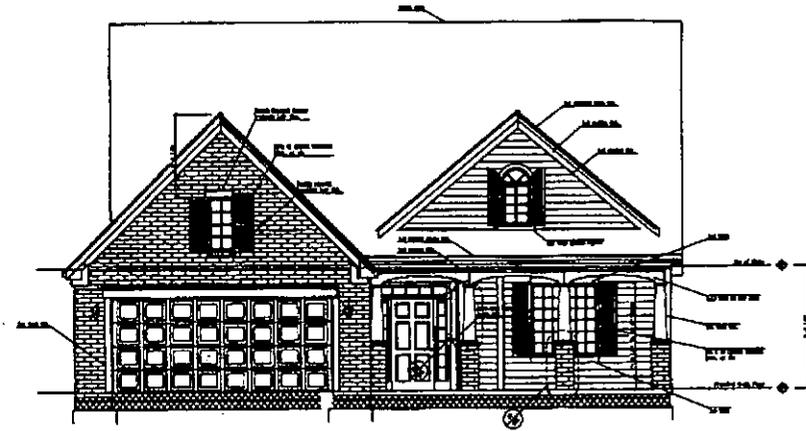


OWNER'S REPRESENTATIVE:	DATE:
ARCHITECT:	PROJECT:
DATE:	NO.:

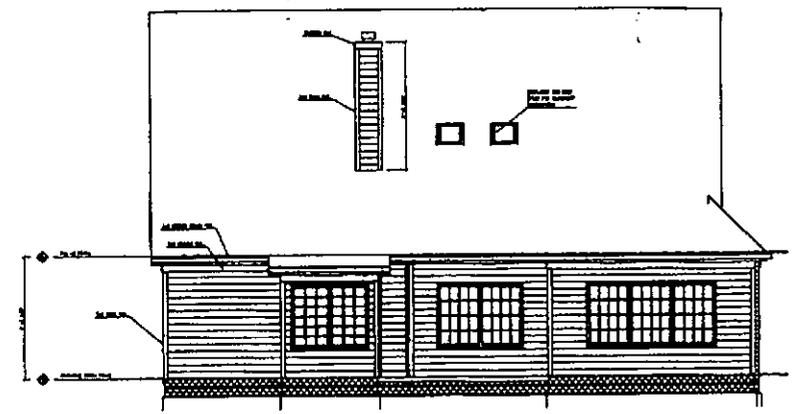
DESCRIPTION:

DATE DRAWN: 12/31/95	SCALE: 1/4" = 1'-0"
PROJECT NO.: 12/31/95	DATE: 12/31/95
NAME OF: JOHN HENNING	DESIGNED BY: J. HENNING

CVR
CONSTRUCTION, INC.
12/31/95



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/8" = 1'-0"

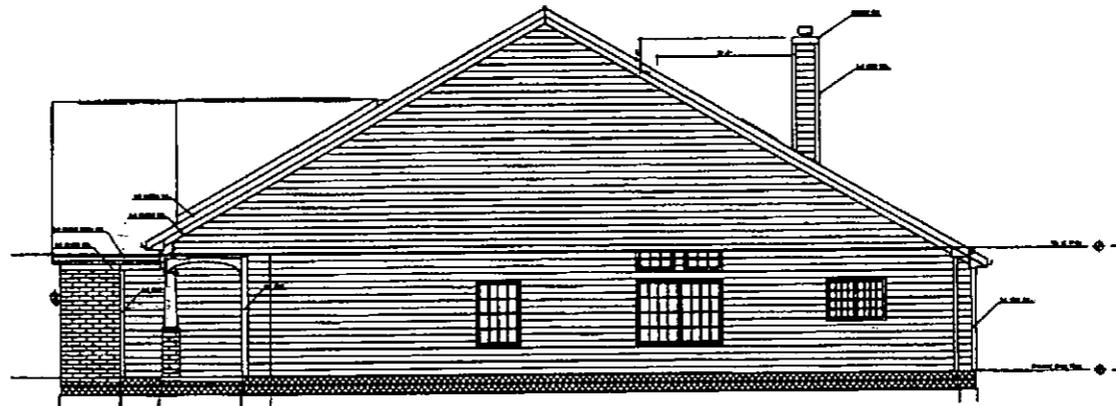
CVR CONSTRUCTION SERVICES, INC.

DATE:	06/19/99
DRAWN BY:	DAVE MILLER
CHECKED BY:	DAVE MILLER
SCALE:	1/8" = 1'-0"

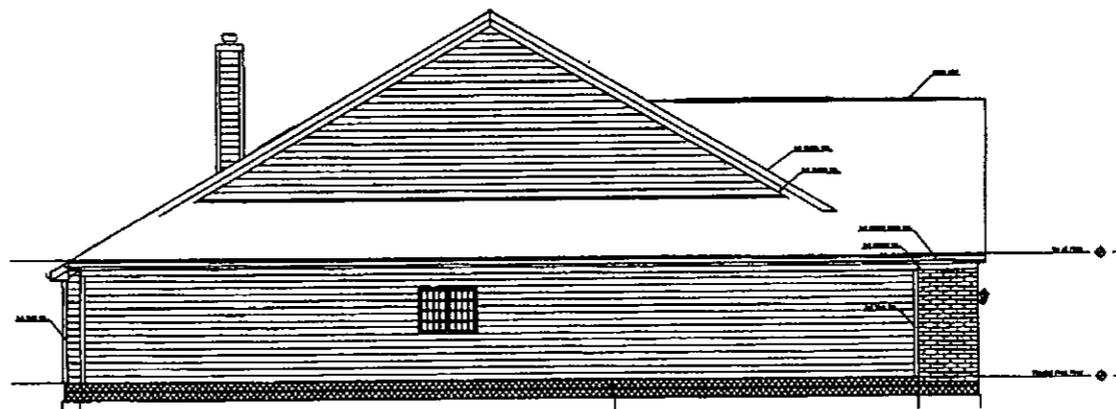
NO.	1
DATE	06/19/99
BY	DAVE MILLER
DESCRIPTION	FRONT & REAR ELEVATIONS

DATE	06/19/99
BY	DAVE MILLER
CHECKED BY	DAVE MILLER
SCALE	1/8" = 1'-0"

CVR
 CONSTRUCTION SERVICES, INC.
 06/19/99



SIDE ELEVATION



SIDE ELEVATION

SCALE - 3/8" = 1'-0"

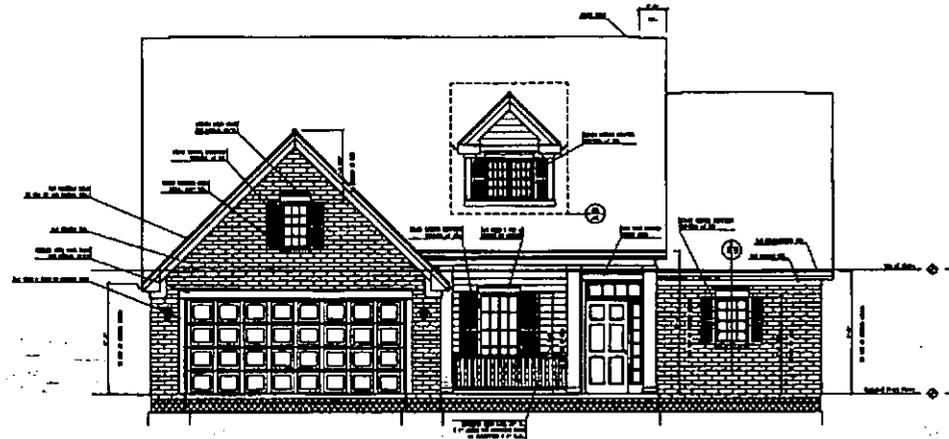
THE
CVR
 GROUP
 ARCHITECTS
 1000 W. 10th St. Suite 100
 Oklahoma City, Oklahoma 73106
 Phone: (405) 233-1100
 Fax: (405) 233-1101
 www.cvrarch.com

DATE: _____	SCALE: _____
PROJECT: _____	NO. _____
CLIENT: _____	DATE: _____
ARCHITECT: _____	NO. _____
ENGINEER: _____	DATE: _____

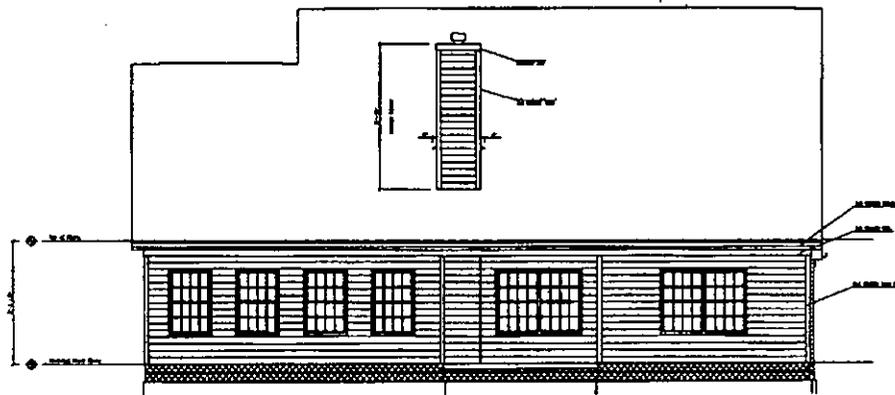
DATE: _____	SCALE: _____
PROJECT: _____	NO. _____
CLIENT: _____	DATE: _____
ARCHITECT: _____	NO. _____
ENGINEER: _____	DATE: _____

DATE: _____	SCALE: _____
PROJECT: _____	NO. _____
CLIENT: _____	DATE: _____
ARCHITECT: _____	NO. _____
ENGINEER: _____	DATE: _____

CVR
 GROUP
 06/16/99



FRONT ELEVATION



REAR ELEVATION

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CVR ARCHITECTS, INC.
1000 N. 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.CVRARCHITECTS.COM

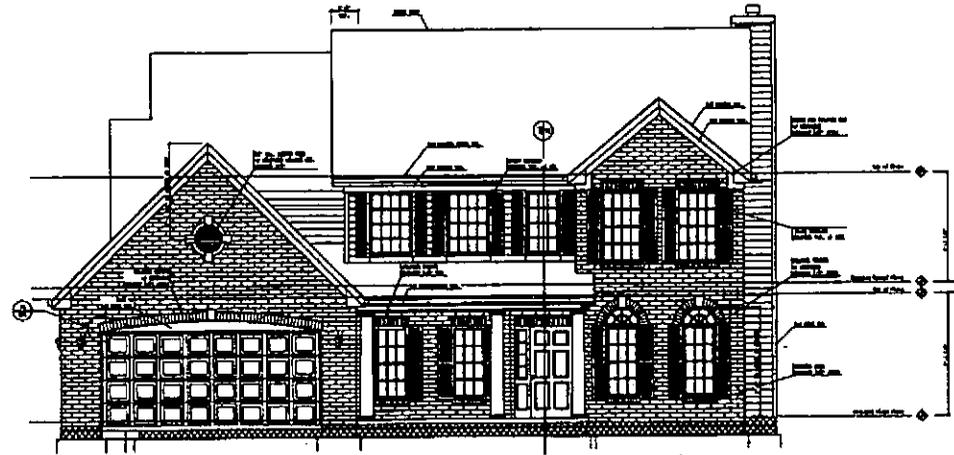
DATE	NO.	DESCRIPTION

NO.	DATE	DESCRIPTION

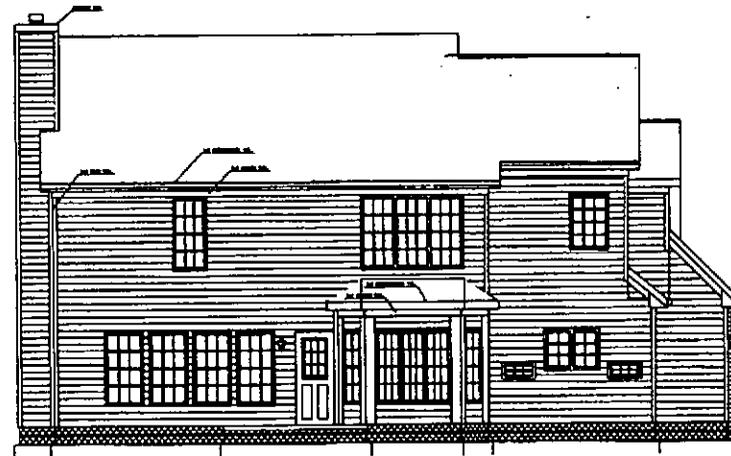
DATE: 05/07/99
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 SHEET: [Name]

CVR
 ARCHITECTS, INC.
 05/07/99

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

THE
PERKINS
 ARCHITECTURE
 INTERIORS

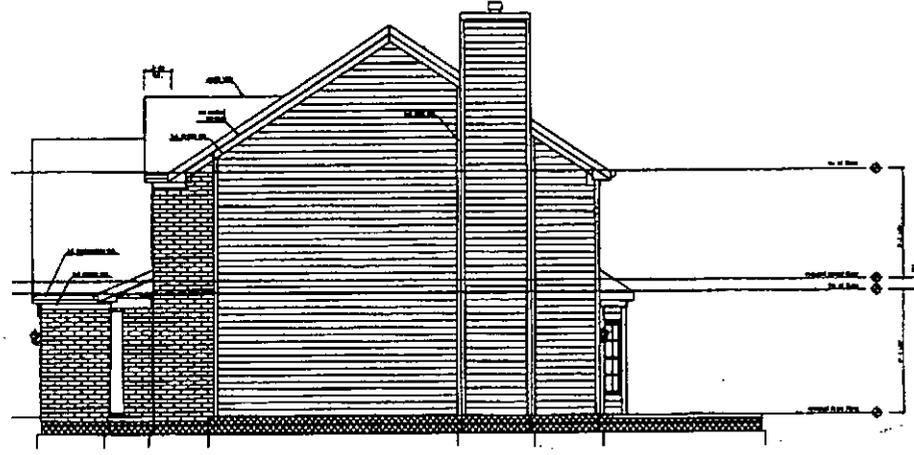
OWNER: []	DATE: []
PROJECT: []	SCALE: []
NO. []	REV. []

DATE: []	BY: []
NO. []	REV. []

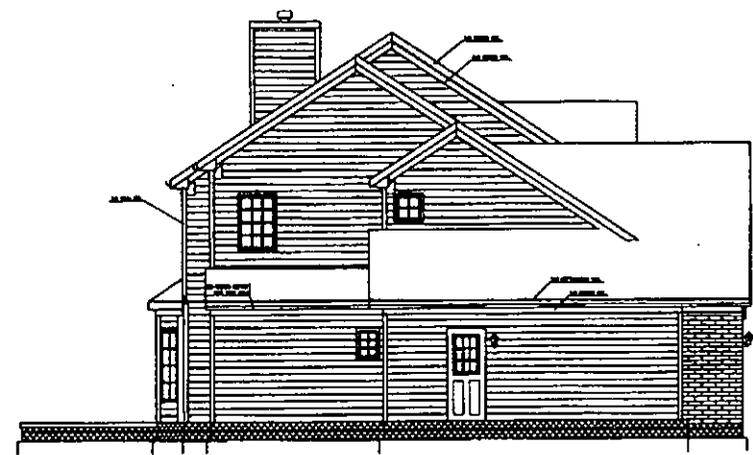
DATE: []	BY: []
NO. []	REV. []

CVR
 06/22/99

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

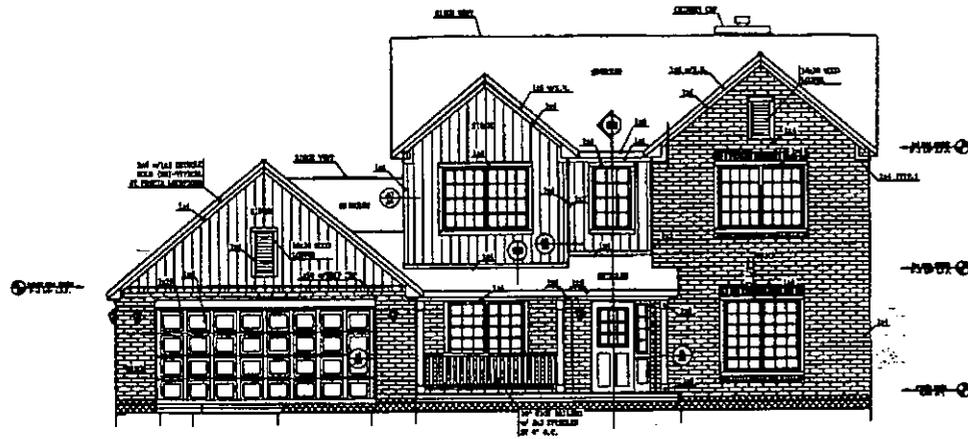
THE
CVR
 CONSTRUCTION
 COMPANY
 INC.
 1000
 1000
 1000

DATE	10/15/99
PROJECT	1000
CLIENT	1000
DESIGNER	1000
DATE	10/15/99

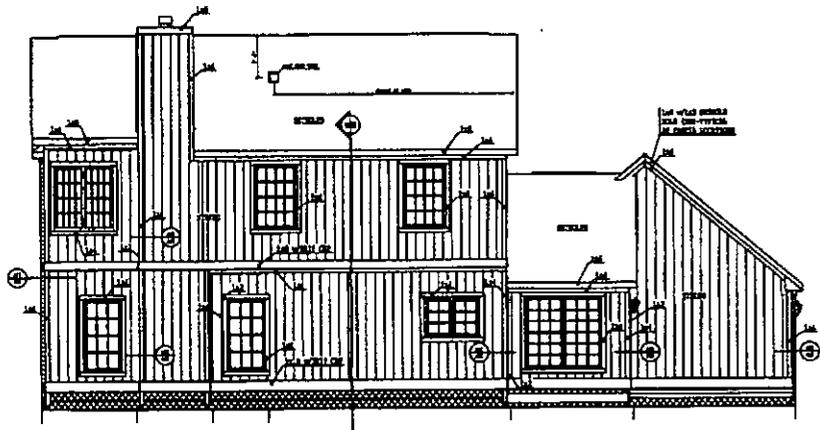
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PROJECT	1000
CLIENT	1000
DESIGNER	1000
DATE	10/15/99

DATE	10/15/99
PROJECT	1000
CLIENT	1000
DESIGNER	1000
DATE	10/15/99

CVR
 DATE: 05/22/99



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

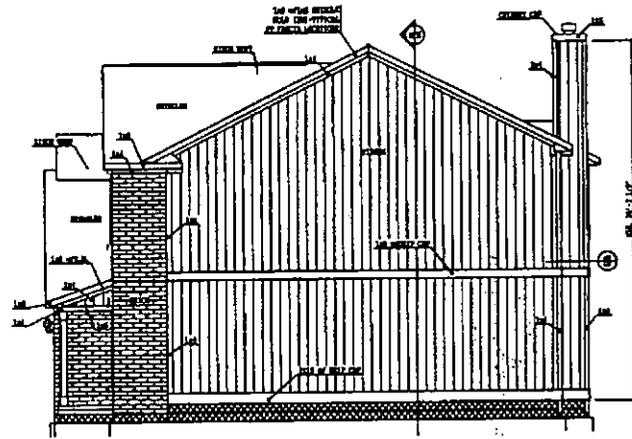
THE ESTIMATING GROUP
 1000 W. 10th St.
 Des Moines, IA 50319
 (515) 281-1111

REVISIONS	
NO.	DESCRIPTION

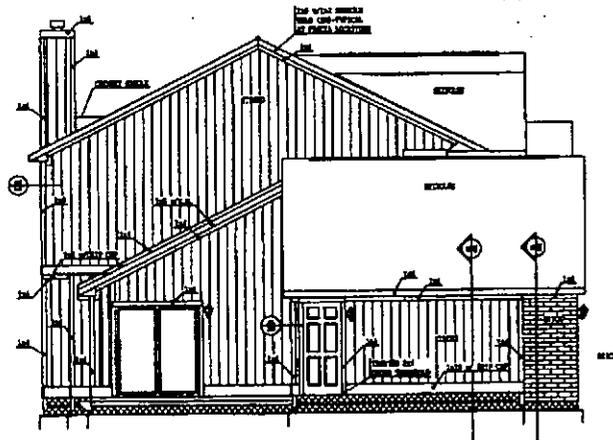
NOTES	

DATE: 07/02/96	BY: [Signature]
CHECKED BY: [Signature]	SCALE: 1/4" = 1'-0"
PROJECT: [Project Name]	CLIENT: [Client Name]
ADDRESS: [Address]	PHONE: [Phone Number]

07/02/96



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

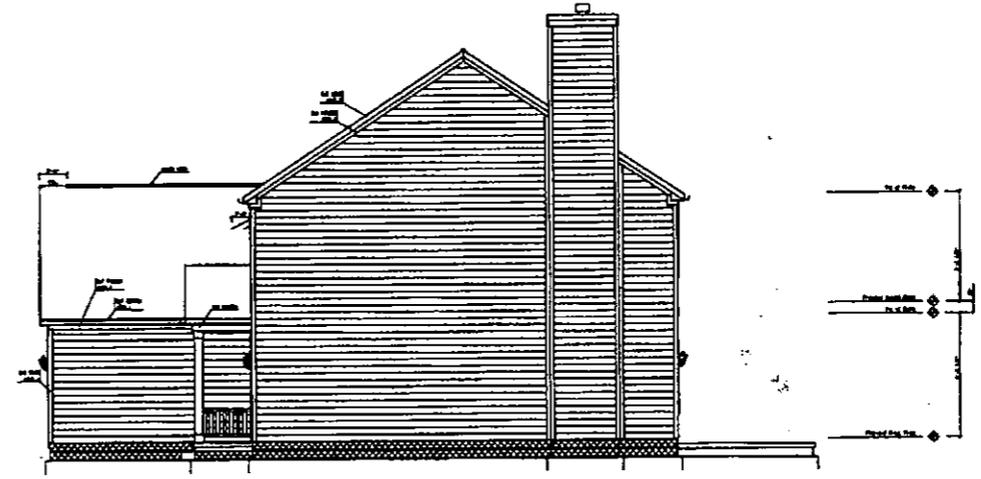
THE STATE OF CALIFORNIA
 COUNTY OF LOS ANGELES
 ARCHITECTURAL BOARD
 100 SOUTH MAIN STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90012
 (213) 223-1234

PROJECT INFORMATION	
PROJECT NO.	
DATE	
REVISION	
REVISION	
REVISION	

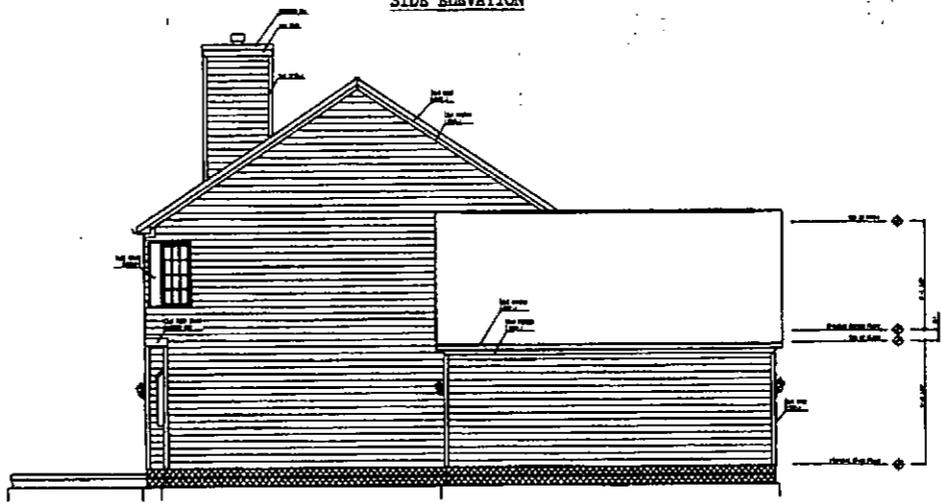
REVISIONS	
NO.	DESCRIPTION

PROJECT NO.	
DATE	
REVISION	
REVISION	
REVISION	

DATE: 07/02/96



SIDE ELEVATION



SIDE ELEVATION

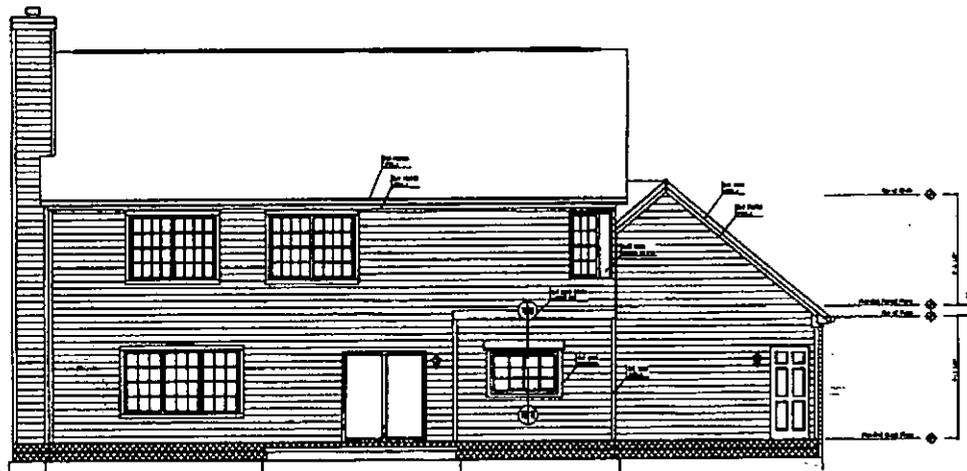
THE INFORMATION CONTAINED
 HEREIN IS FOR GENERAL
 INFORMATION ONLY. IT IS NOT
 TO BE USED AS A BASIS FOR
 ANY DESIGN OR CONSTRUCTION.
 THE USER SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND REGULATORY
 APPROVALS.

REVISION	DATE	BY	CHKD.

CAD REVISED
 02/14/07
 02/14/07

PLAN NO. 011
 SHEET NO. 2/24
 DRAWN BY: New Products, Inc.
 CHECKED BY: JAMES W. HALL, CORP. ARCHT.

CVR
 DATE: 02/13/07



REAR ELEVATION



FRONT ELEVATION

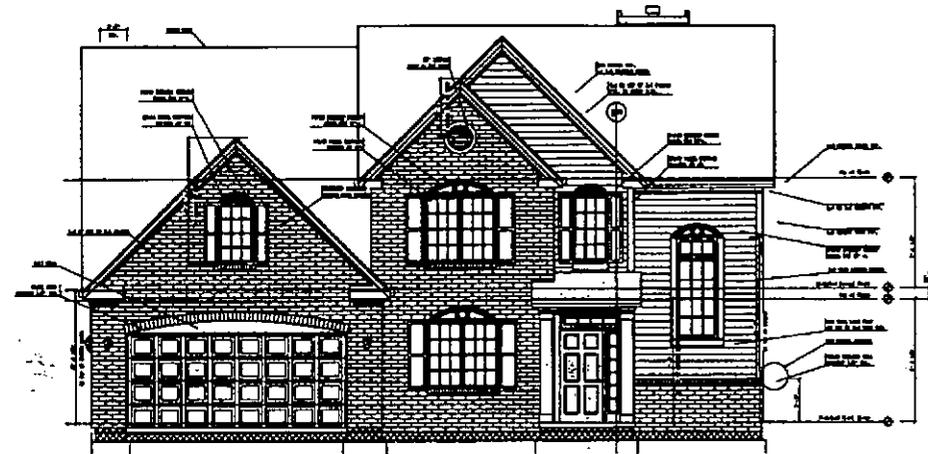
THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT HIS WRITTEN CONSENT.

NO. 1	NO. 2	NO. 3	NO. 4

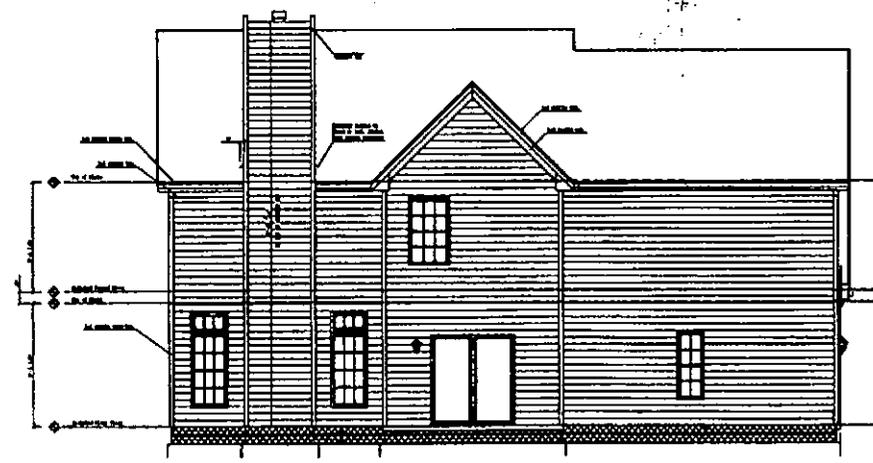
NO OTHER CHANGES WILL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

DATE: 05/19/97	SCALE: 1/8" = 1'-0"
PROJECT: NEW PROJECT, INC.	OWNER: NEW PROJECT, INC.
DESIGNER: CVR	CONTRACT NO.: 0000 0000

CVR
 DATE: 05/19/97



FRONT ELEVATION



REAR ELEVATION

THE
FORBES GROUP
 ARCHITECTS

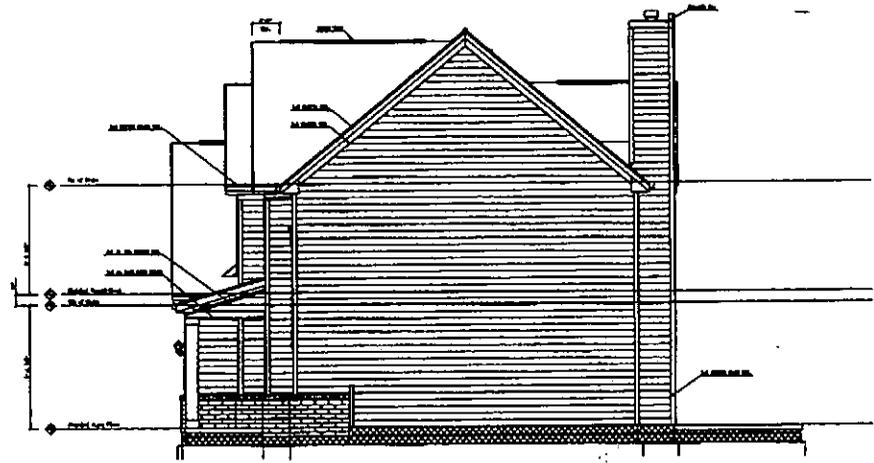
OWNER	ARCHITECT
DATE	NO. OF SHEETS
NO.	NO.

DATE	NO.
NO.	NO.

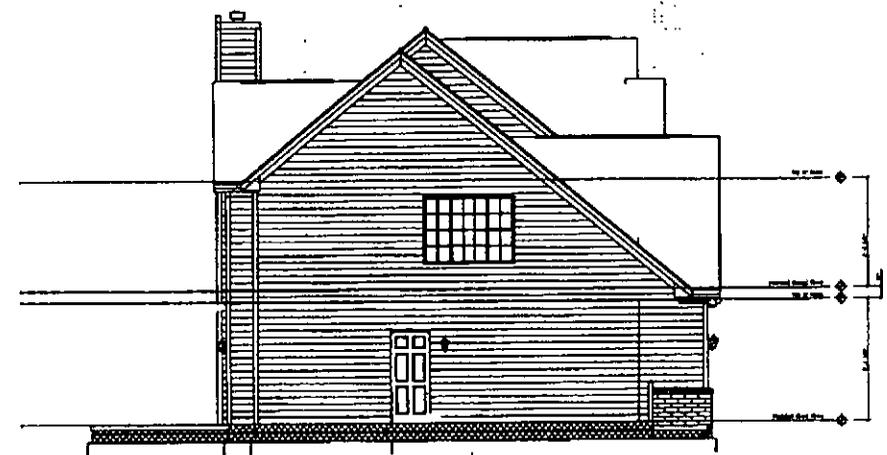
DATE	NO.
NO.	NO.

CVR
 DATE: 10/30/00

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

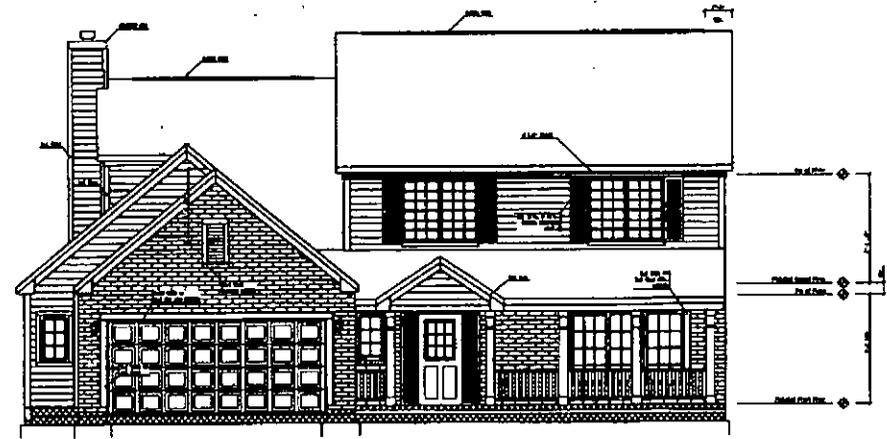
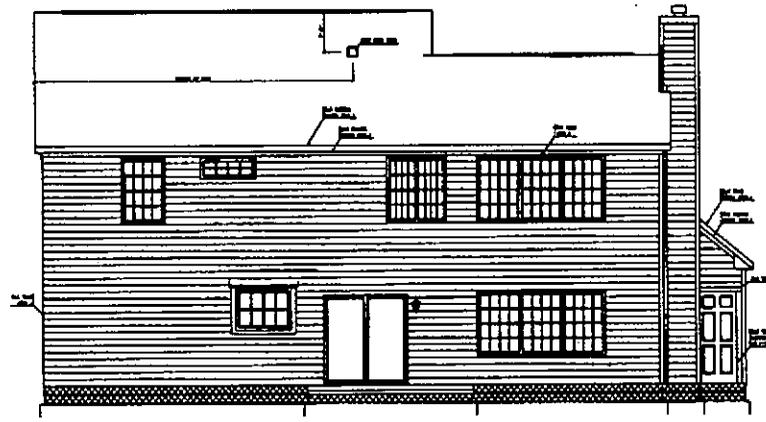


PROJECT INFORMATION:	
NO.:	DATE:
REV.:	BY:
APP.:	CHK.:
DES.:	REV.:

DATE:	BY:
NO.:	DATE:
REV.:	BY:
APP.:	CHK.:
DES.:	REV.:

DATE:	BY:
NO.:	DATE:
REV.:	BY:
APP.:	CHK.:
DES.:	REV.:

CVR
ENGINEERING & CONSTRUCTION, INC.
10/30/00



ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
 ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS APPROVED BY THE LOCAL BUILDING DEPARTMENT.
 © 1998 CVR ARCHITECTS, INC.

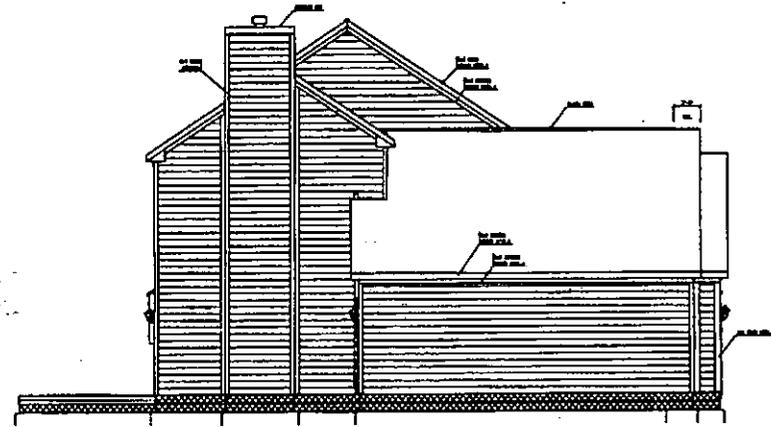
OWNER:	DATE:
ARCHITECT:	SCALE:
ENGINEER:	PROJECT:
DATE:	NO.:

NO.	DATE	DESCRIPTION

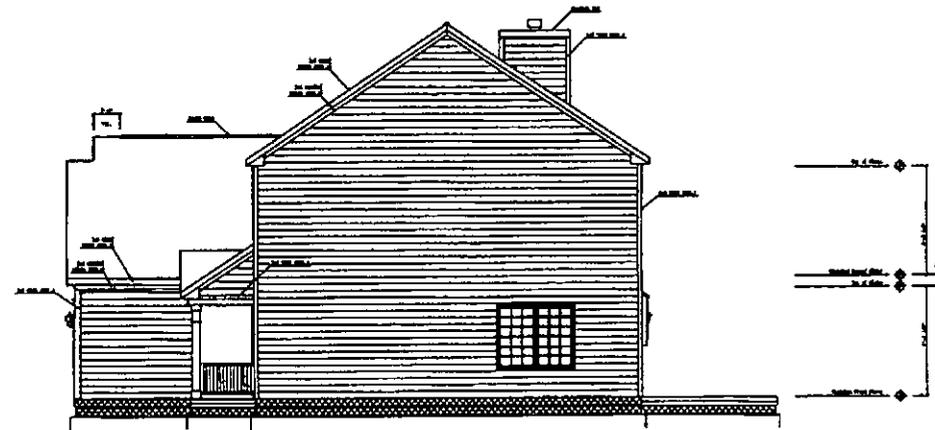
SHEET NO. 137
 PROJECT NO. 1314
 DRAWN BY: J. M. MILLER
 CHECKED BY: C. W. BENT

CVR
 ARCHITECTS, INC.
 01/22/98

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

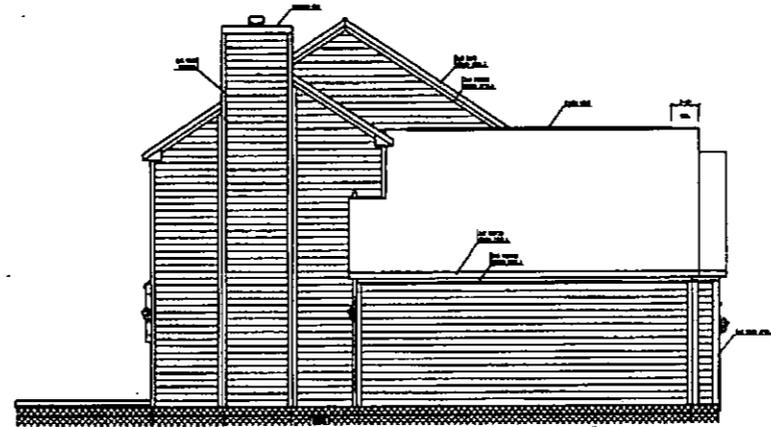


DATE:	1998
BY:	CVR
NO.:	1001
REV.:	

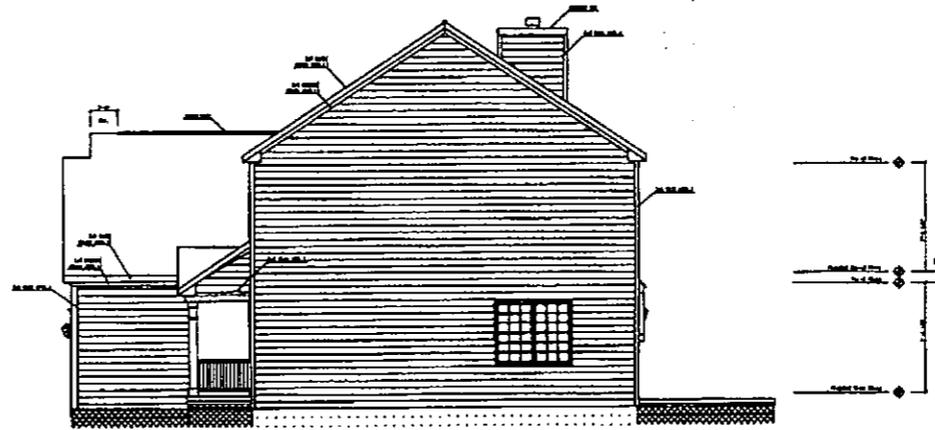
NO.:	
REV.:	

DATE:	1/22/98
BY:	CVR
NO.:	1001
REV.:	

CVR
DATE:
01/22/98



SIDE ELEVATION



SIDE ELEVATION

THE
ESTIMOTE
 GROUP
 ARCHITECTS
 1000 15th Street, NW
 Washington, DC 20004
 (202) 462-1000

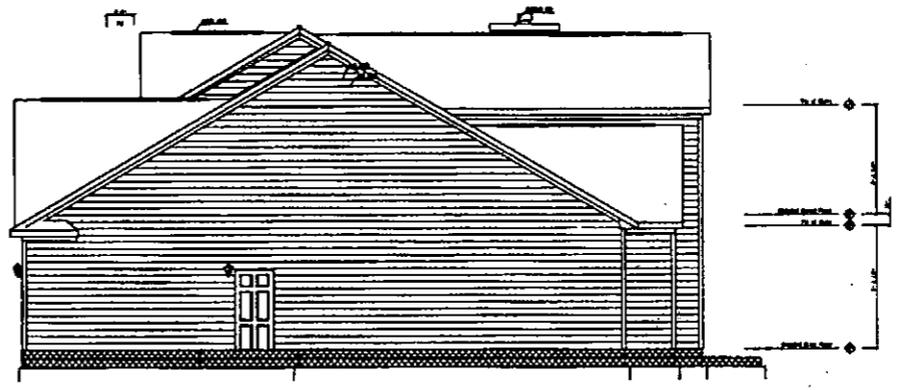
DATE:	
BY:	
CHECKED:	
SCALE:	
LEVEL:	

NO.	
DATE	
BY	
CHECKED	

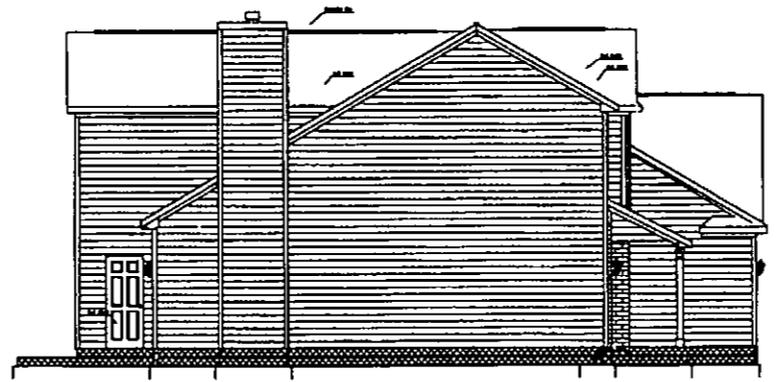
PLAN NO. 712
 PROJECT NO. 1000000000
 DRAWN BY: [Name]
 CHECKED BY: CVR
 DATE: 01/22/98

CVR
 DATE:
 01/22/98

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION



 THE ROOF GUARANTEE

OWNER'S ADDRESS:	
APRIL	1991
MAY	1991
JUNE	1991
JULY	1991

OPTION:

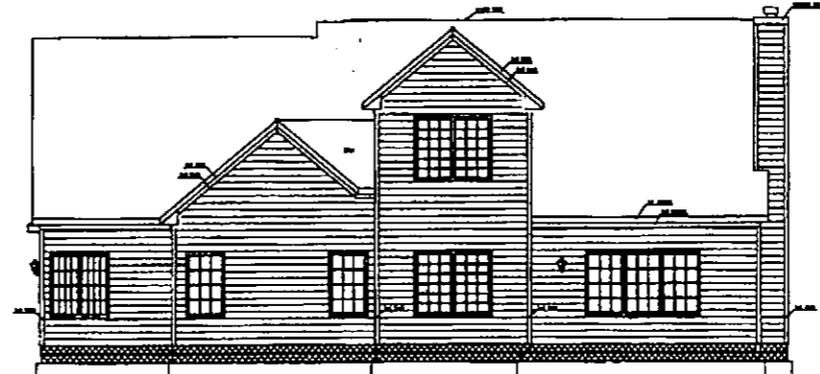
PLAN NO. 012	DATE: 1
PROJECT NO. 012	NO. 1, 1
DATE OF THIS PLAN: 11/11/95	
SCALE: 1/4" = 1'-0"	

CVR
 DATE: 12/31/95

SCALE - 1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

NO PART OF THIS
 DRAWING TO BE
 REPRODUCED
 WITHOUT THE
 WRITTEN
 PERMISSION OF
 THE ARCHITECT

**THE
 FINN
 COMPANY**

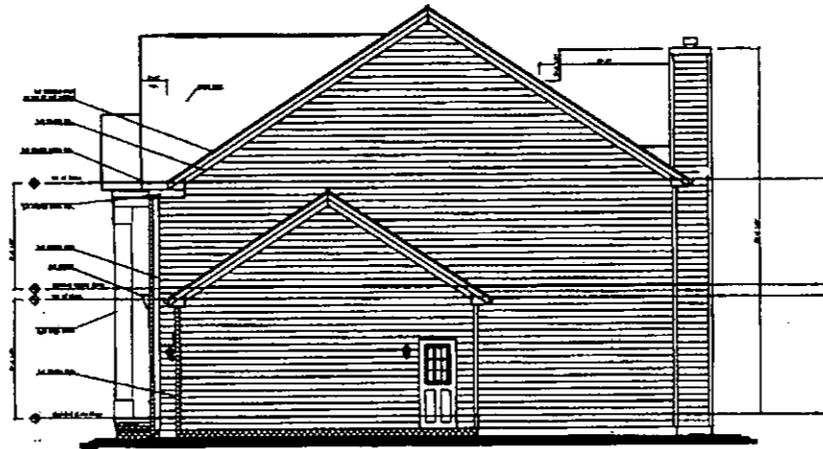
DRAWING REVISIONS: NO. 1 DATE BY	NO. 2 DATE BY
NO. 3 DATE BY	NO. 4 DATE BY

OPTIONAL

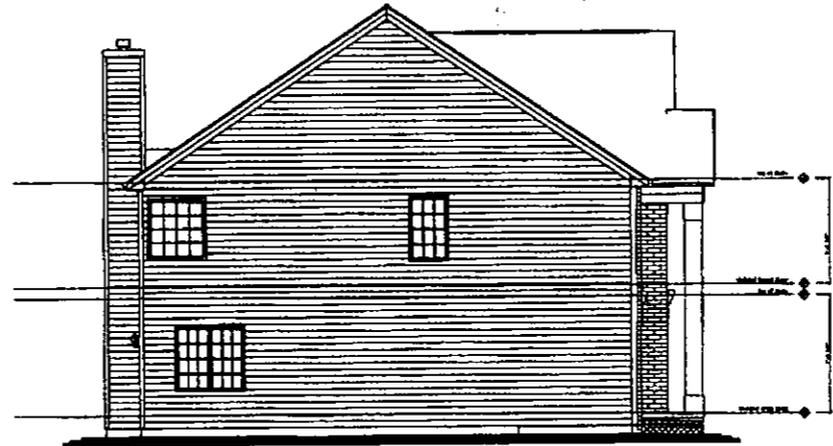
FILE NO.: 02 COMPLETE FROM: 02-0 DRAWING NO.: 1000-1000-10 DRAWING TITLE: REAR ELEVATION	SHEET NO. 1 OF 1
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CVR
 DATE:
 12/31/95

SCALE - 1/4" = 1'-0"



SIDE ELEVATION



SIDE ELEVATION

THE HOUSE SOURCE

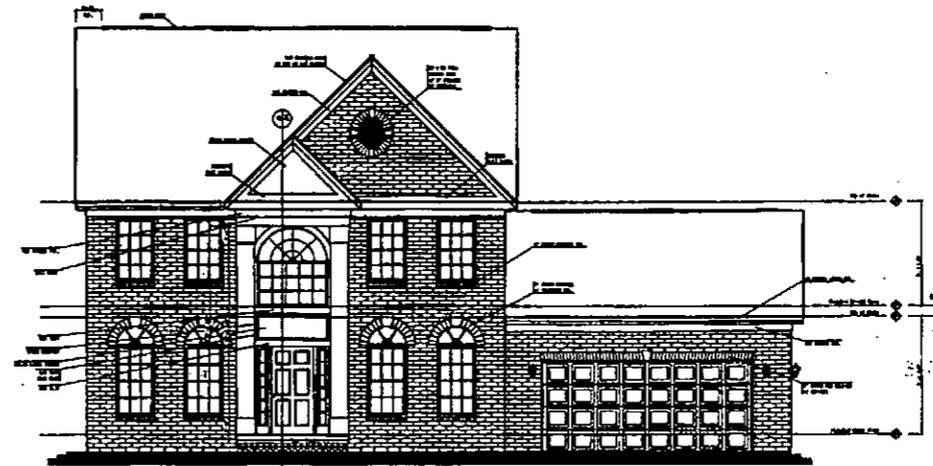
1000 W. 10th St. Suite 100
 Lincoln, NE 68502
 (402) 441-1111
 www.house-source.com

PROJECT: _____
 DRAWING NO.: _____
 SHEET NO.: _____

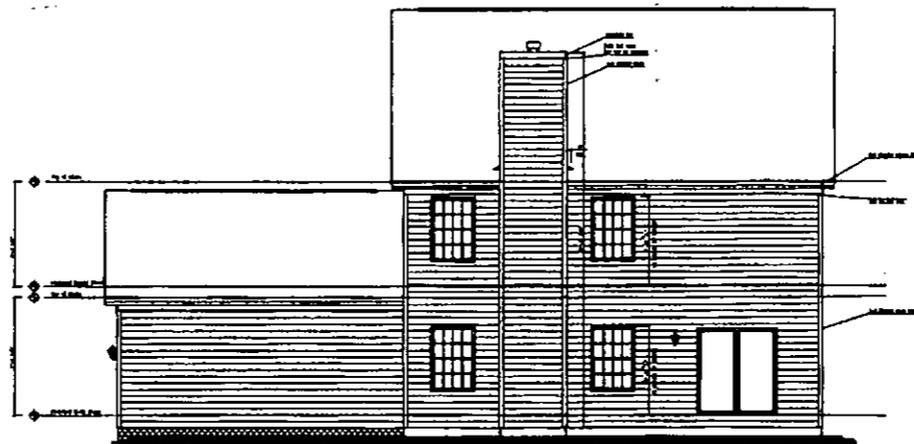
CLIENT: _____
 ARCHITECT: _____
 DATE: _____
 SCALE: _____

DRAWN BY: _____
 CHECKED BY: _____
 DATE: _____

SCALE: 1/4" = 1'-0"
 DATE: 05/10/03



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

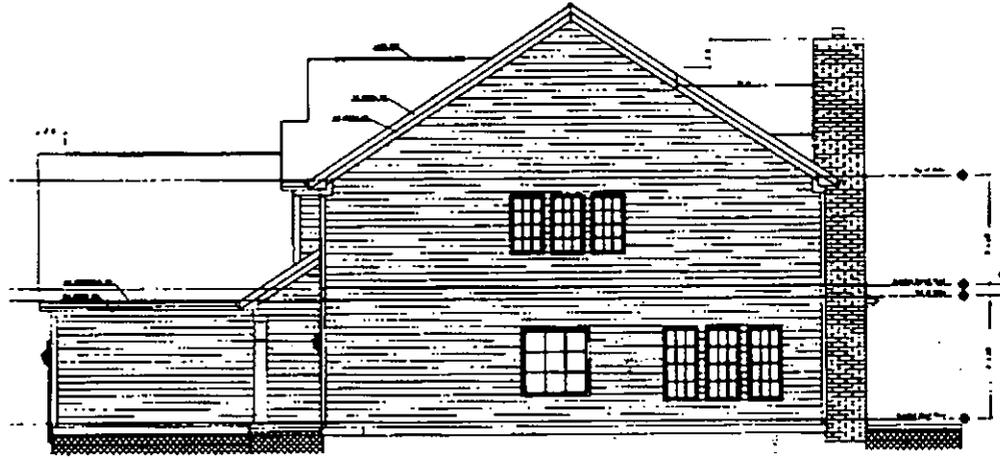
STATE OF MISSISSIPPI
REGISTERED ARCHITECT
 ARCHITECT'S SEAL
 ARCHITECT'S SIGNATURE

PROJECT INFORMATION
 NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____

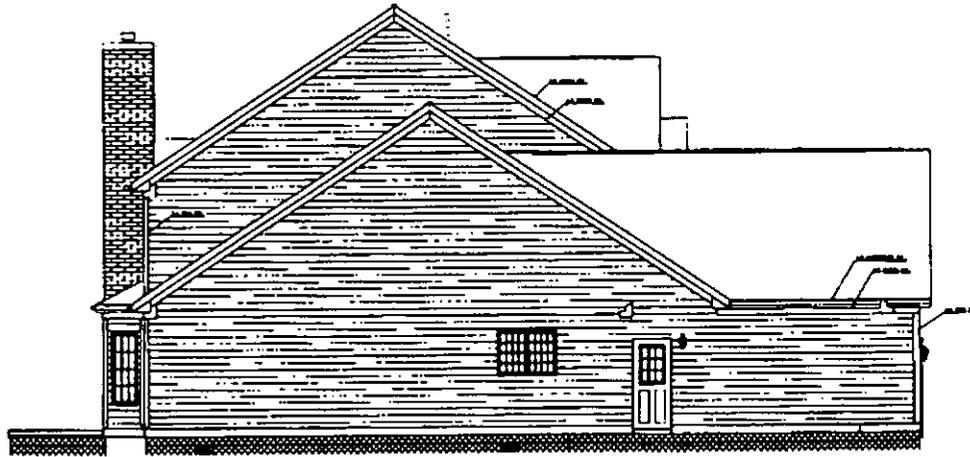
OWNER INFORMATION
 NAME: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____

DATE: _____
 DRAWING NO.: _____
 SHEET NO.: _____

DATE: 05/10/01



SIDE ELEVATION



SIDE ELEVATION

SCALE - 1/4" = 1'-0"

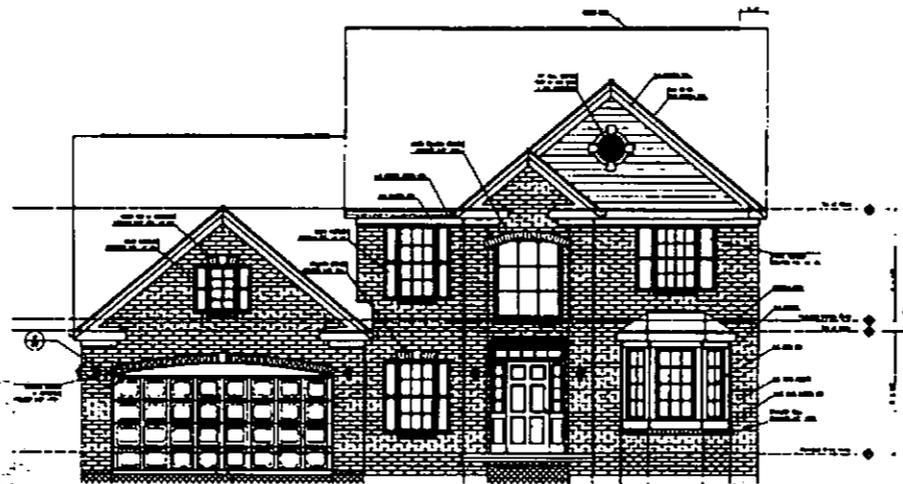
THE HOUSE IS TO BE BUILT
 ACCORDING TO THE
 PLANES AND SPECIFICATIONS
 HEREON.
 ALL WORK TO BE DONE
 IN ACCORDANCE WITH
 THE BUILDING CODES OF
 THE CITY OF
 [City Name]

DATE	12/30/93
BY	[Signature]
CHECKED BY	[Signature]
APPROVED BY	[Signature]

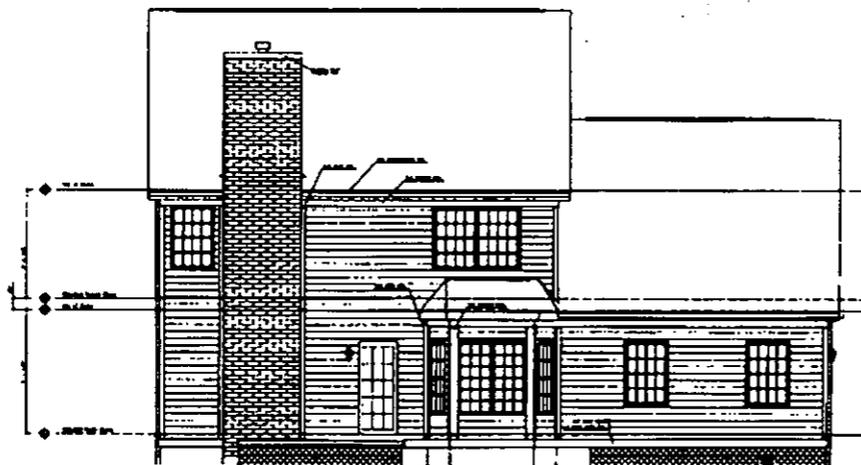
NO.	1
DATE	12/30/93
BY	[Signature]
CHECKED BY	[Signature]
APPROVED BY	[Signature]

NO.	2
DATE	12/30/93
BY	[Signature]
CHECKED BY	[Signature]
APPROVED BY	[Signature]

CVR
 12/30/93



FRONT ELEVATION



REAR ELEVATION

SCALE - 1/4" = 1'-0"

THE STATE OF TEXAS
 COUNTY OF DALLAS
 CITY OF DALLAS
 DEPARTMENT OF HEALTH SERVICES
 DIVISION OF PUBLIC HEALTH
 COMMUNITY HEALTH SERVICES
 1200 MARSHALL STREET
 DALLAS, TEXAS 75201
 TEL: 214-776-2000
 FAX: 214-776-2001

PROJECT NAME	
ADDRESS	
CITY	
STATE	
ZIP	
DATE	
DESIGNER	
CLIENT	

DATE	
DESIGNER	
CLIENT	
PROJECT	
ADDRESS	
CITY	
STATE	
ZIP	

DATE	
DESIGNER	
CLIENT	
PROJECT	
ADDRESS	
CITY	
STATE	
ZIP	

CVR
 12/30/99