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2015050017 ORDINANCE \$65.00  
09/24/2015 09:51:51A 28 PGS  
Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented

**ORDINANCE NUMBER 15-24**

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE UNIFIED DEVELOPMENT ORDINANCE AND THE SPRING MILL STATION NORTHEAST QUADRANT PLANNED UNIT DEVELOPMENT DISTRICT ORDINANCE**

This is an Ordinance to amend the Westfield-Washington Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Unified Development Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended:

**WHEREAS**, the City of Westfield, Indiana (the "City") and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

**WHEREAS**, the Council enacted Ordinance No. 14-39, Spring Mill Station Northeast Quadrant Planned Unit Development on September 8, 2014;

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition (**Petition No. 1508-PUD-15**), requesting an amendment to the Unified Development Ordinance, the Zoning Map and the Spring Mill Station Northeast Quadrant PUD Ordinance with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (collectively, the "Real Estate");

**WHEREAS**, the Commission forwarded **Petition No. 1508-PUD-15** to the Common Council of the City of Westfield, Hamilton County, Indiana (the "Common Council") with a positive recommendation (8-0) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

**WHEREAS**, the Secretary of the Commission certified the action of the Commission to the Common Council on September 9<sup>th</sup>, 2015;

**WHEREAS**, the Common Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Spring Mill Station Northeast Quadrant Planned Unit Development and Zoning Map are hereby amended as follows:

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**Section 1. Applicability of Ordinance.**

- 1.1 The Unified Development Ordinance and Zoning Map are hereby changed to incorporate the real estate described in **Exhibit A.4** into the Spring Mill Station Northeast Quadrant Planned Unit Development District (the “District”), and the real estate shall hereinafter be known as “Area A.4”.
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, (ii) the Spring Mill Station Northeast Quadrant PUD Ordinance (the “PUD Ordinance”); and (iii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance or the PUD Ordinance.
- 1.3 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

**Section 2. Definitions.** The definitions of the PUD Ordinance shall apply in addition to the following:

- 2.1 **Curb Side Pickup Station:** Dedicated parking spaces with covered canopy, appurtenances and way finding/identification signage where merchandise is picked up.
- 2.2 **Anchor Store:** The existing Kroger building located in Area A.1, as generally depicted in **Exhibit B.1** of the PUD Ordinance.

**Section 3. Permitted Uses.** The permitted use in Area A.4 shall be a Curb Side Pickup Station. The service of curbside delivery shall be permitted utilizing existing parking spaces in Area A.1 with temporary signage, until such time that construction is complete on the elements as shown in **Exhibit B**. The curbside delivery service shall be discontinued in Area A. 1 one hundred eighty (180) days after the adoption of this Ordinance; unless otherwise approved by the Director.**Section 4. Setbacks/Building Separation.** The following shall apply to “Area A.4”.

- 4.1 The separation between the Curbside Pickup Station and the existing grocery store shall be at least thirty (30) feet.
- 4.2 Side and Rear yards that abut existing residential shall be at least forty (40) feet.

**Section 5. Parking.** Article 6.14 of the UDO shall apply; however, Article 6.14(E), Stacking Requirements for Drive-Through Facilities, shall not apply.**Section 6. Landscaping.** Article 6.8 of the UDO shall not apply; rather, landscaping and

screening shall be installed in substantial compliance with **Exhibit B.**

**Section 7.** **Sign Standards.** Article 6.17 of the UDO shall apply, except as otherwise modified below.

- A. The maximum permitted Sign Area for the Curb Side Pickup Station shall be one hundred (100) square feet.
- B. The maximum permitted Sign Area for the Anchor Store shall be five hundred (500) square feet.
- C. All signs shall be either (i) reverse channel letter, in accordance with Article 6.17(F)(9) of the UDO; or (ii) externally lit with gooseneck light fixtures.
- D. Ground identification signs shall be architecturally compatible with the architecture of the Real Estate's buildings.
- E. Signs for the Curb Side Pickup Station shall be installed in substantial compliance with **Exhibit C.**
- F. The signs depicted in **Exhibit D** shall be permitted until January 2, 2016, or until signs that conform to Section 7(C) of this Ordinance are installed, whichever occurs first. Extensions may be granted by the Director, as deemed necessary or desirable.

**Section 8.** **Architectural and Streetscape Design Standards.** Article 6.3 of the UDO shall not apply; however, buildings shall be developed in substantial compliance with **Exhibit E.**

ALL OF WHICH IS ORDAINED/RESOLVED THIS 8th DAY OF SEPTEMBER, 2015.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

  
Steven Hoover

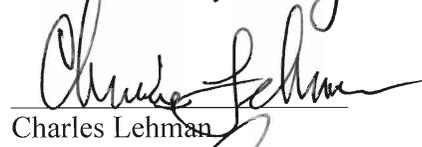
\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

  
Robert L. Horkay

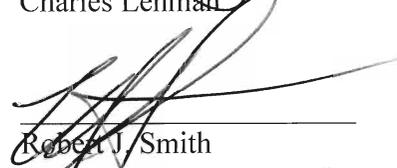
\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

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Cindy L. Spoljaric

  
Robert W. Stokes

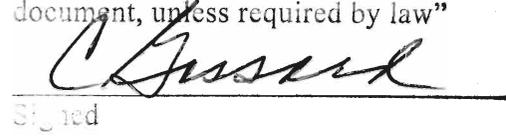
\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

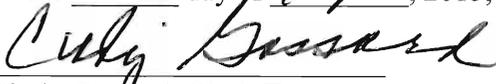
  
Cindy Gossard, Clerk Treasurer

"I affirm, under the penalties of perjury,  
that I have taken reasonable care to redact  
each Social Security Number in this  
document, unless required by law"

  
Signed

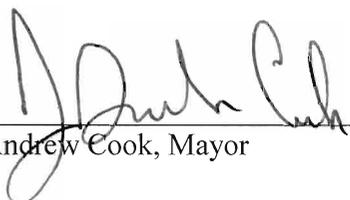
I hereby certify that **ORDINANCE 15-24** was delivered to the Mayor of Westfield

on the 15 day of Sept, 2015, at 3:30 p m.

  
Cindy Gosard, Clerk-Treasurer

I hereby APPROVE **ORDINANCE 15-24**

this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

  
J. Andrew Cook, Mayor

I hereby VETO **ORDINANCE 15-24**

this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
J. Andrew Cook, Mayor

This document prepared by: Paula J. Gartner, PE

# EXHIBIT A.1



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
Phone: 317.913.6930 Toll Free: 888.775.5648

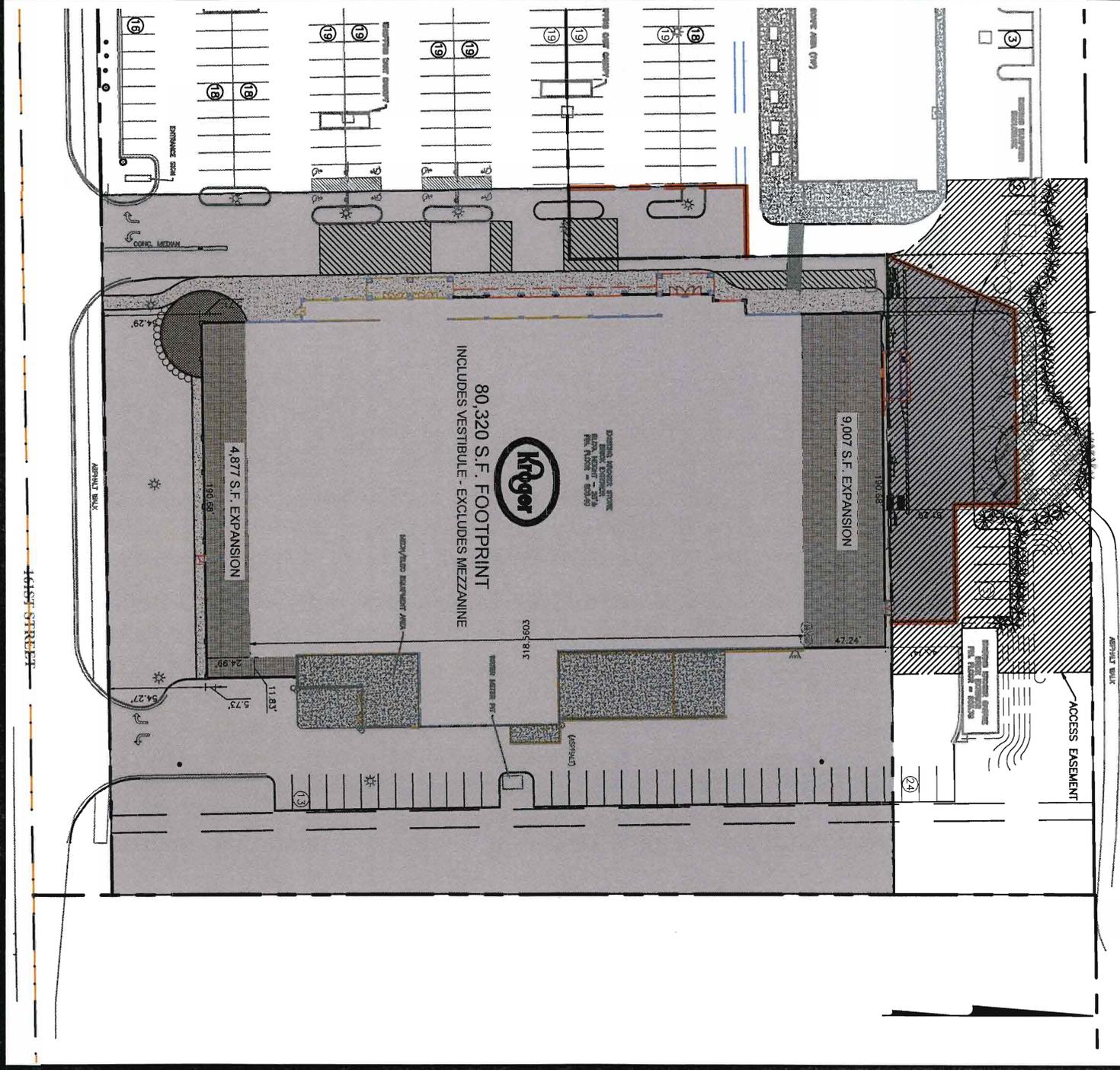
emht.com

## TOWN OF WESTFIELD, HAMILTON, INDIANA EXHIBIT "A.1" FOR KROGER J970 GROCERY STORE EXPANSION AREA LAND DESCRIPTION

DATE: August 14, 2014

JOB NO. 20130351

SCALE: None



# EXHIBIT A.1

TOWN OF WESTFIELD, HAMILTON, INDIANA

EXHIBIT "A.1"

FOR

KROGER J970

GROCERY STORE EXPANSION AREA

LAND DESCRIPTION



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
Phone: 317.913.6930 Toll Free: 888.775.3648

emht.com

DATE: AUGUST 14, 2014

JOB NO. 20130351

SCALE: None

DESCRIPTION FOR GROCERY STORE EXPANSION AREA:

PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 18 NORTH, RANGE 03 EAST, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER SECTION AND RUNNING THENCE NORTH 89 DEGREES 11 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE THEREOF A DISTANCE OF 1203.25 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 40 SECONDS WEST A DISTANCE OF 44.66 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 11 MINUTES 17 SECONDS WEST A DISTANCE OF 401.55 FEET; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS WEST A DISTANCE OF 367.66 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 17 SECONDS EAST A DISTANCE OF 40.87 FEET; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS WEST A DISTANCE OF 80.07 FEET; THENCE NORTH 23 DEGREES 16 MINUTES 50 SECONDS EAST A DISTANCE OF 79.66 FEET; THENCE NORTH 89 DEGREES 13 MINUTES 36 SECONDS EAST A DISTANCE OF 110.91 FEET; THENCE SOUTH 00 DEGREES 43 MINUTES 51 SECONDS EAST A DISTANCE OF 35.92 FEET; THENCE NORTH 89 DEGREES 13 MINUTES 36 SECONDS EAST A DISTANCE OF 66.97 FEET; THENCE SOUTH 00 DEGREES 49 MINUTES 03 SECONDS EAST A DISTANCE OF 36.68 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 17 SECONDS EAST A DISTANCE OF 156.33 FEET; THENCE SOUTH 00 DEGREES 02 MINUTES 40 SECONDS EAST A DISTANCE OF 447.76 FEET TO THE POINT OF BEGINNING; CONTAINING 4.35 ACRES, MORE OR LESS.

# EXHIBIT A.2



Evans, Mechwart, Hambleton & Tilton, Inc.  
 Engineers • Surveyors • Planners • Scientists  
 7400 N. Spodeland Ave., Ste. 150, Indianapolis, IN 46250  
 Phone: 317.913.6930 Toll Free: 888.775.3648

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TOWN OF WESTFIELD, HAMILTON, INDIANA

EXHIBIT "A.2"

FOR

KROGER J970

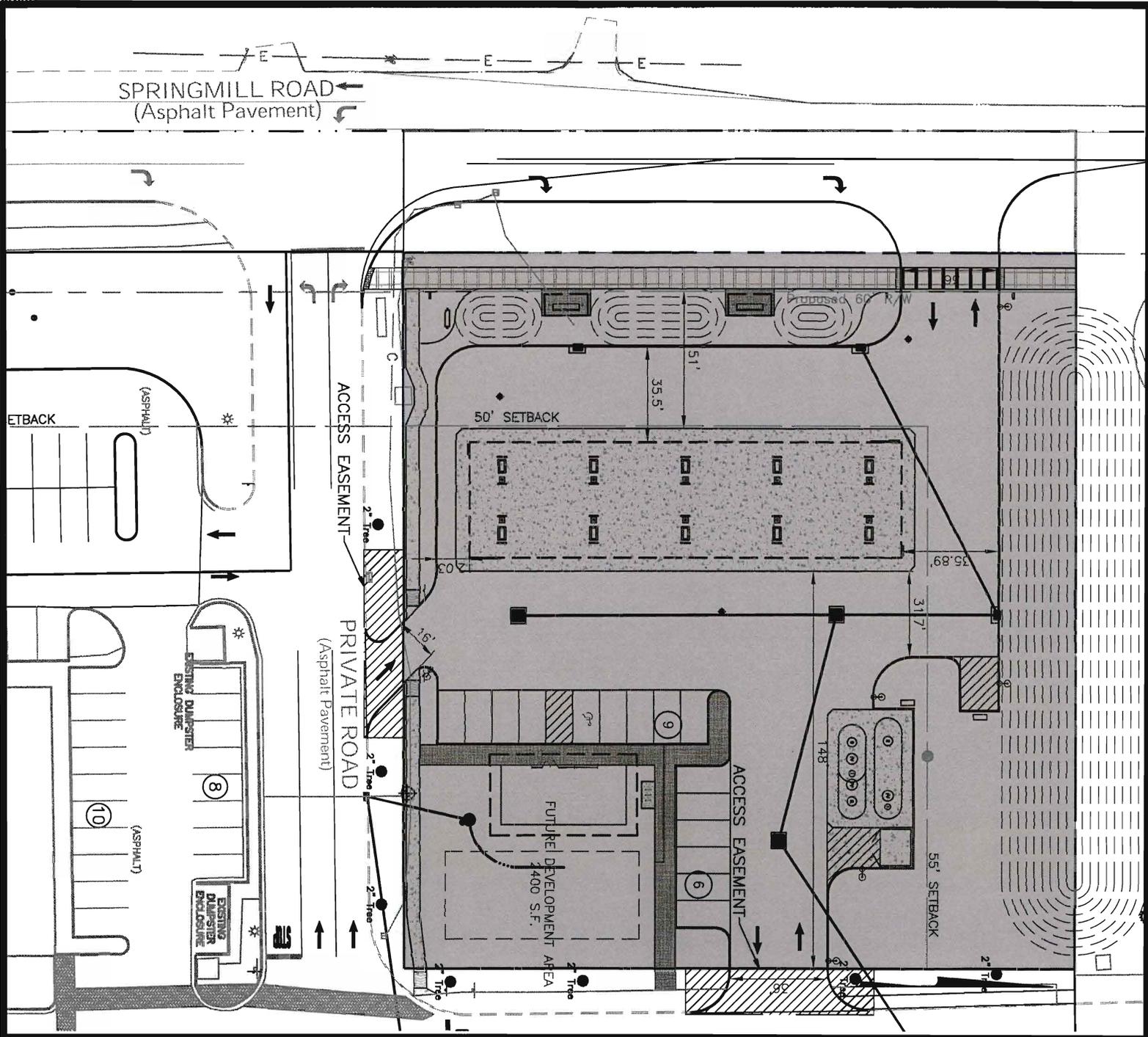
FUEL CENTER EXPANSION AREA

LAND DESCRIPTION

DATE: August 14, 2014

JOB NO.: 20130351

SCALE: None



# EXHIBIT A.2



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TOWN OF WESTFIELD, HAMILTON, INDIANA

EXHIBIT "A.2"

FOR

KROGER J970

FUEL CENTER EXPANSION AREA

LAND DESCRIPTION

DATE: August 14, 2014

JOB NO. 20130351

SCALE: None

## DESCRIPTION FOR FUEL CENTER EXPANSION AREA:

PART OF THE NORTHWEST QUARTER SECTION 11, TOWNSHIP 18 NORTH, RANGE 3 EAST, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE ABOVE MENTIONED QUARTER, NORTH 00 DEGREES 00 MINUTES (ASSUMED BEARING) ALONG THE WEST LINE OF SAID QUARTER SECTION 361.38 FEET TO THE PLACE OF BEGINNING TO THIS DESCRIPTION, THENCE CONTINUING ALONG SAID LINE 249.52 FEET TO A POINT; THENCE NORTH 90 DEGREES 00 MINUTES EAST 312.00 FEET TO A POINT; THENCE SOUTH 00 DEGREES 00 MINUTES EAST 249.52 FEET TO A POINT; THENCE SOUTH 90 DEGREES 00 MINUTES WEST 312.00 FEET TO A POINT WHICH IS THE BEGINNING POINT OF THIS DESCRIPTION; CONTAINING, EXCLUDING THE RIGHT-OF-WAY OF SPRING MILL ROAD, 1.527 ACRES, MORE OR LESS.

# EXHIBIT A.3

TOWN OF WESTFIELD, HAMILTON, INDIANA

EXHIBIT "A.3"

FOR

KROGER J970

EXISTING FUEL CENTER REDEVELOPMENT AREA  
LAND DESCRIPTION



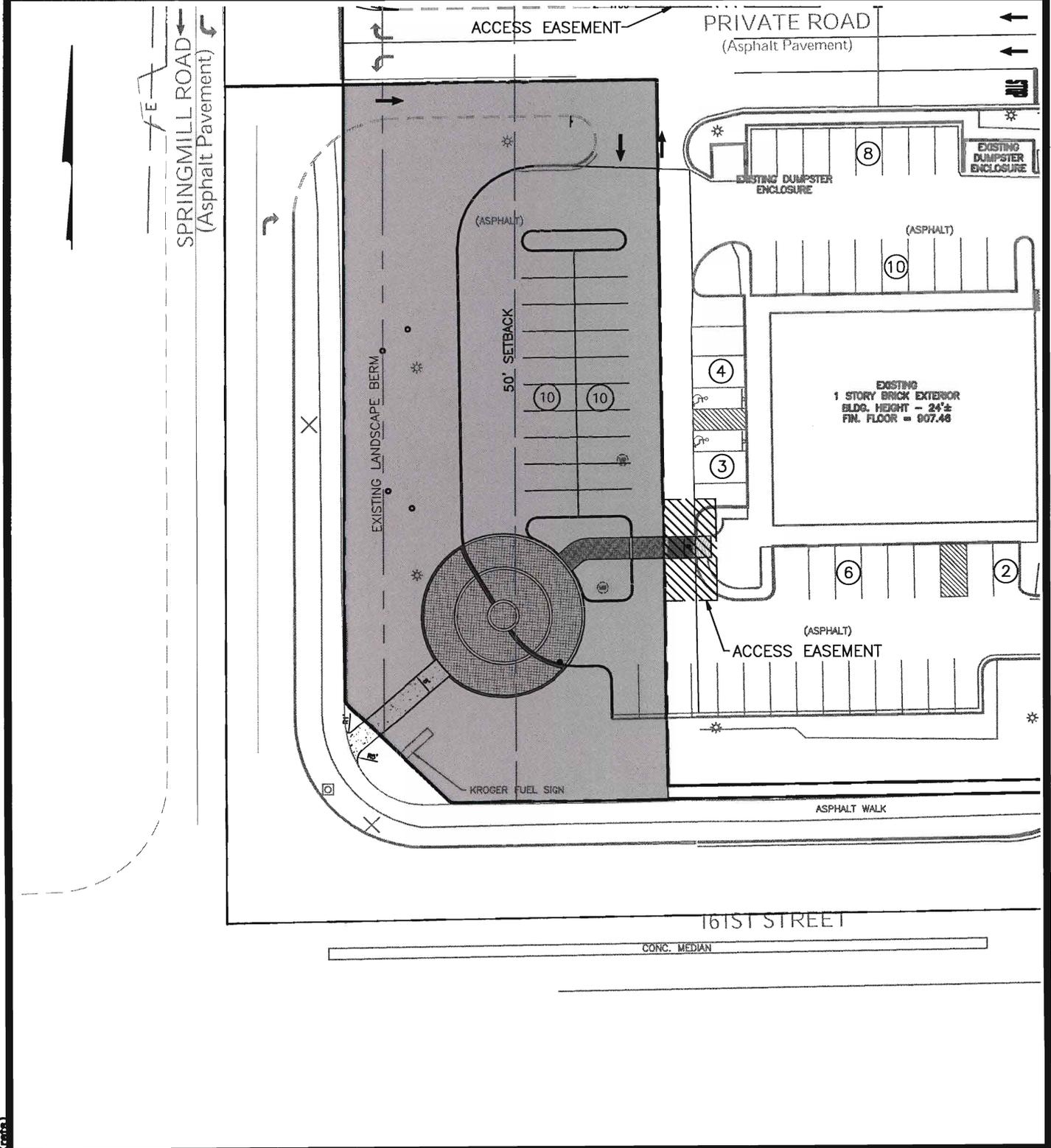
Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
Phone: 317.913.6930 Toll Free: 888.775.3648

emht.com

DATE: August 14, 2014

JOB NO. 20130351

SCALE: None



This drawing is the property of EMH&T and is not to be used for any other project without the written consent of EMH&T.

# EXHIBIT A.3



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TOWN OF WESTFIELD, HAMILTON, INDIANA

EXHIBIT "A.3"

FOR

KROGER J970

EXISTING FUEL CENTER REDEVELOPMENT AREA

LAND DESCRIPTION

DATE: August 14, 2014

JOB NO. 20130351

SCALE: None

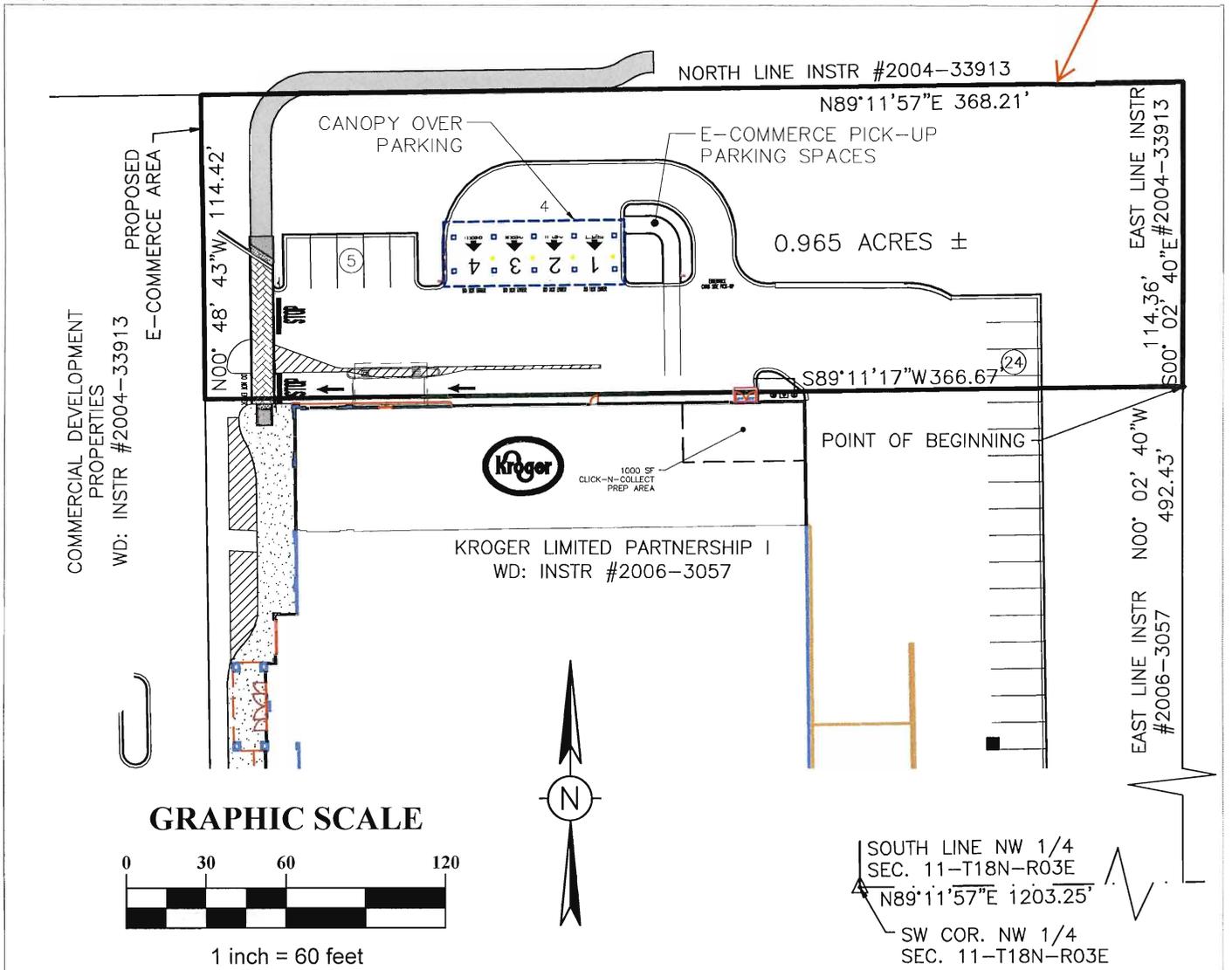
## DESCRIPTION FOR EXISTING FUEL CENTER REDEVELOPMENT AREA:

PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 18 NORTH, RANGE 03 EAST, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER SECTION AND RUNNING THENCE NORTH 00 DEGREES 02 MINUTES 40 SECONDS WEST (ASSUMED BEARING) ALONG THE WEST LINE THEREOF A DISTANCE OF 316.60 FEET; THENCE NORTH 89 DEGREES 11 MINUTES 17 SECONDS EAST A DISTANCE OF 45.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 11 MINUTES 17 SECONDS EAST 118.85 FEET; THENCE SOUTH 00 DEGREES 48 MINUTES 43 SECONDS EAST A DISTANCE OF 272.15 FEET; THENCE SOUTH 89 DEGREES 11 MINUTES 17 SECONDS WEST A DISTANCE OF 82.30 FEET; THENCE NORTH 46 DEGREES 03 MINUTES 43 SECONDS WEST A DISTANCE OF 55.79 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 23 SECONDS WEST A DISTANCE OF 232.90 FEET TO THE POINT OF BEGINNING; CONTAINING 0.736 ACRES, MORE OR LESS.

# EXHIBIT A.4

## AREA A.4



**PROPOSED E-COMMERCE AREA DESCRIPTION**

PART OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 18 NORTH, RANGE 03 EAST IN THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID QUARTER SECTION; THENCE NORTH 89 DEGREES 11 MINUTES 57 SECONDS EAST ALONG THE SOUTH LINE THEREOF A DISTANCE OF 1203.25 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF THE LAND DESCRIBED TO KROGER LIMITED PARTNERSHIP I IN INSTRUMENT #2006-3057 RECORDED IN THE OFFICE OF THE HAMILTON COUNTY RECORDER A DISTANCE OF 492.42 FEET TO THE NORTHEAST CORNER THEREOF AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 89 DEGREES 11 MINUTES 17 SECONDS WEST ALONG THE NORTH LINE OF SAID LAND A DISTANCE OF 366.67 FEET TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 48 MINUTES 43 SECONDS WEST A DISTANCE OF 114.42 FEET TO THE NORTH LINE OF THE LAND DESCRIBED TO COMMERCIAL DEVELOPMENT PROPERTIES IN INSTRUMENT #2004-33913 RECORDED IN THE OFFICE OF THE HAMILTON COUNTY RECORDER; THENCE NORTH 89 DEGREES 11 MINUTES 57 SECONDS EAST ALONG THE NORTH LINE OF SAID LAND A DISTANCE OF 368.21 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00 DEGREES 02 MINUTES 40 SECONDS EAST ALONG THE EAST LINE OF SAID LAND A DISTANCE OF 114.36 FEET TO THE POINT OF BEGINNING, CONTAINING 0.965 ACRES, MORE OR LESS.



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CITY OF WESTFIELD, INDIANA

EXHIBIT A

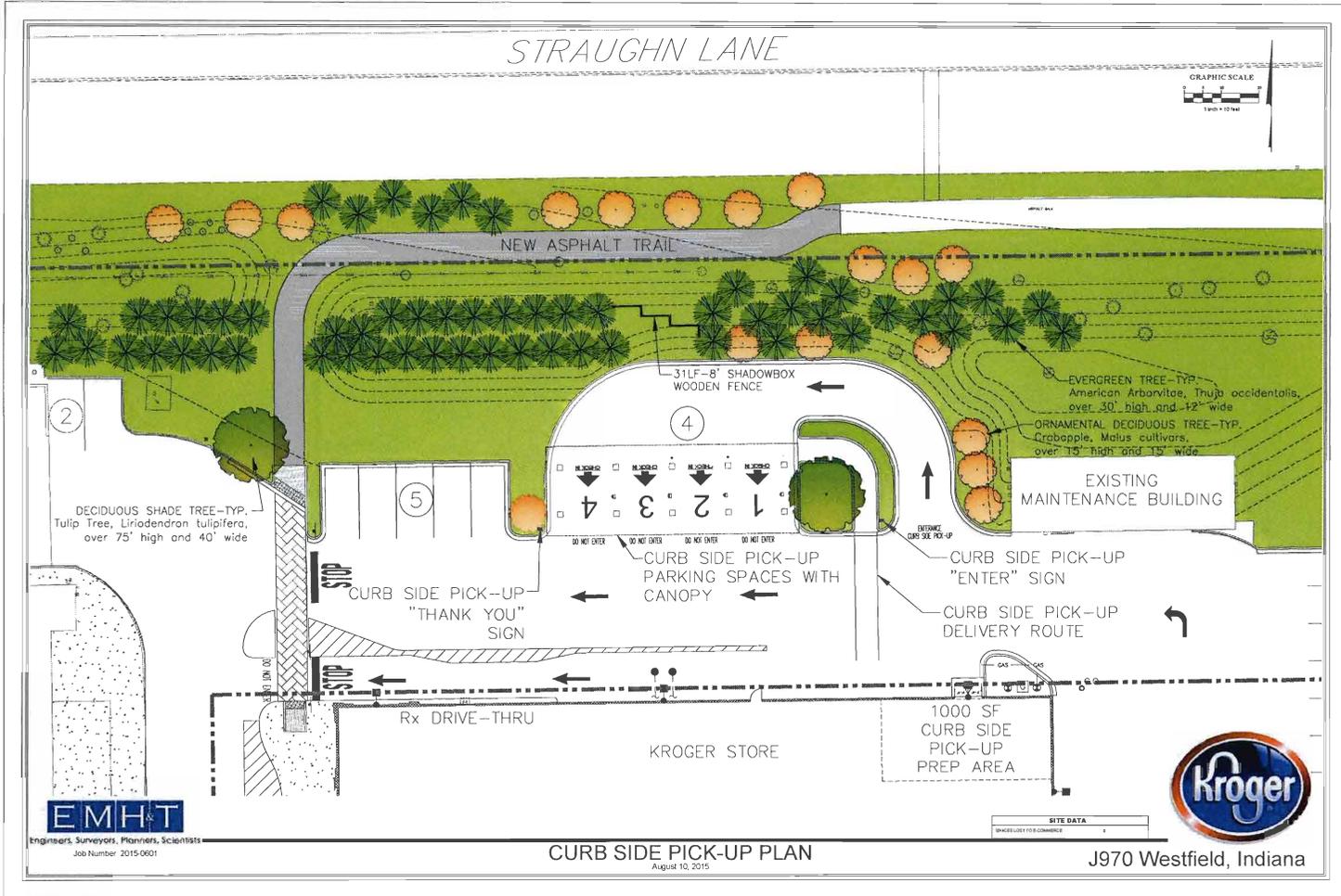
FOR

**KROGER J970  
 CURB SIDE PICK UP**

JULY 23, 2015

1" = 60'

2015-0601



# EXHIBIT C.1



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 Phone: 317.913.6930 Toll Free: 888.775.3648

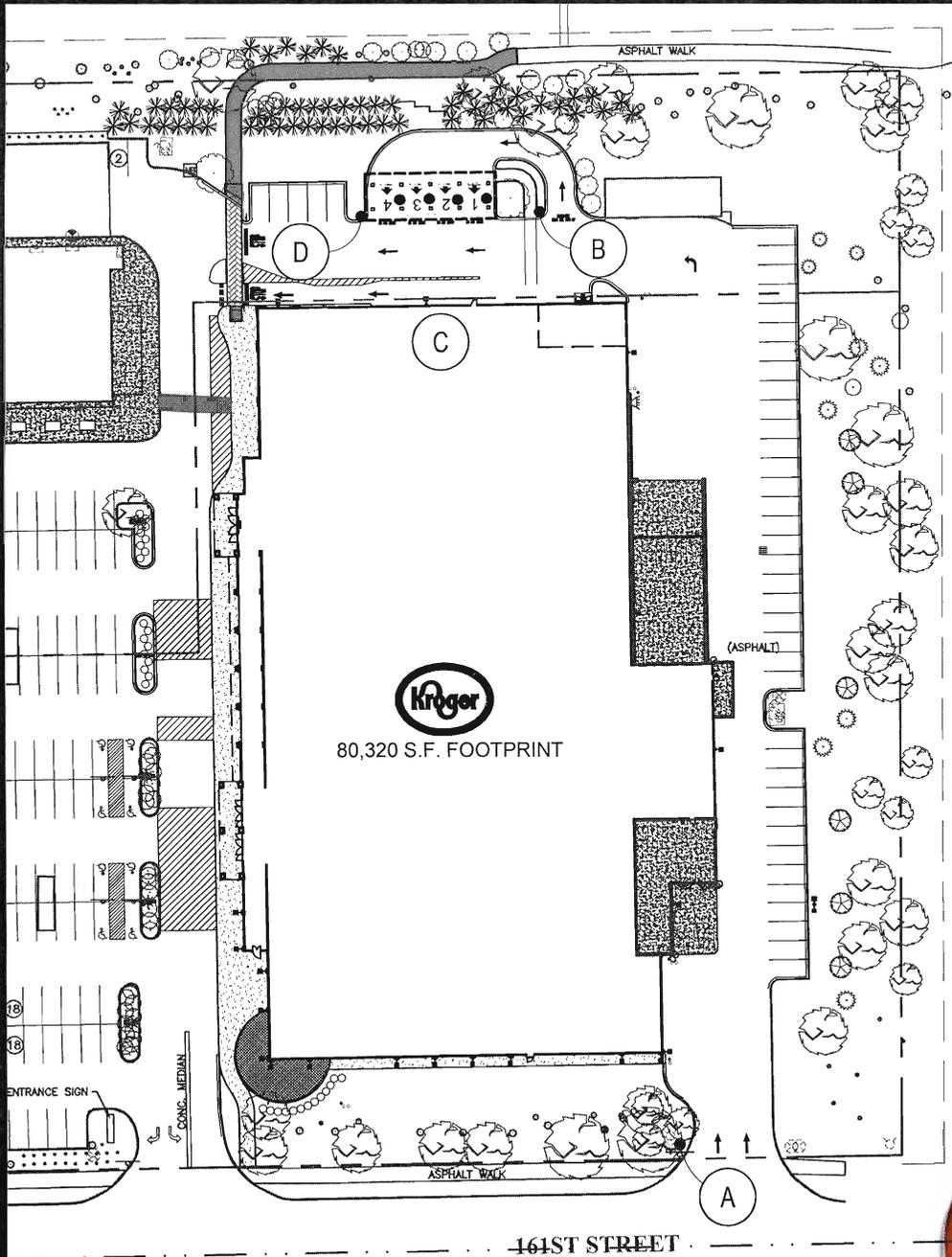
emht.com

CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA  
 EXHIBIT  
 FOR  
**KROGER J-970 CURB SIDE PICK-UP  
 SIGNAGE PLAN**

DATE: August 10, 2015

JOB NO. 2015-0601

SCALE: None



**KEY**

- (A) MONUMENT SIGN
- (B) "ENTER" SIGN
- (C) CALL BOX SIGN
- (D) "EXIT" SIGN



Engineers, Surveyors, Planners, Scientists



# EXHIBIT C.2



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Phone: 317.913.6930 Toll Free: 888.775.3648

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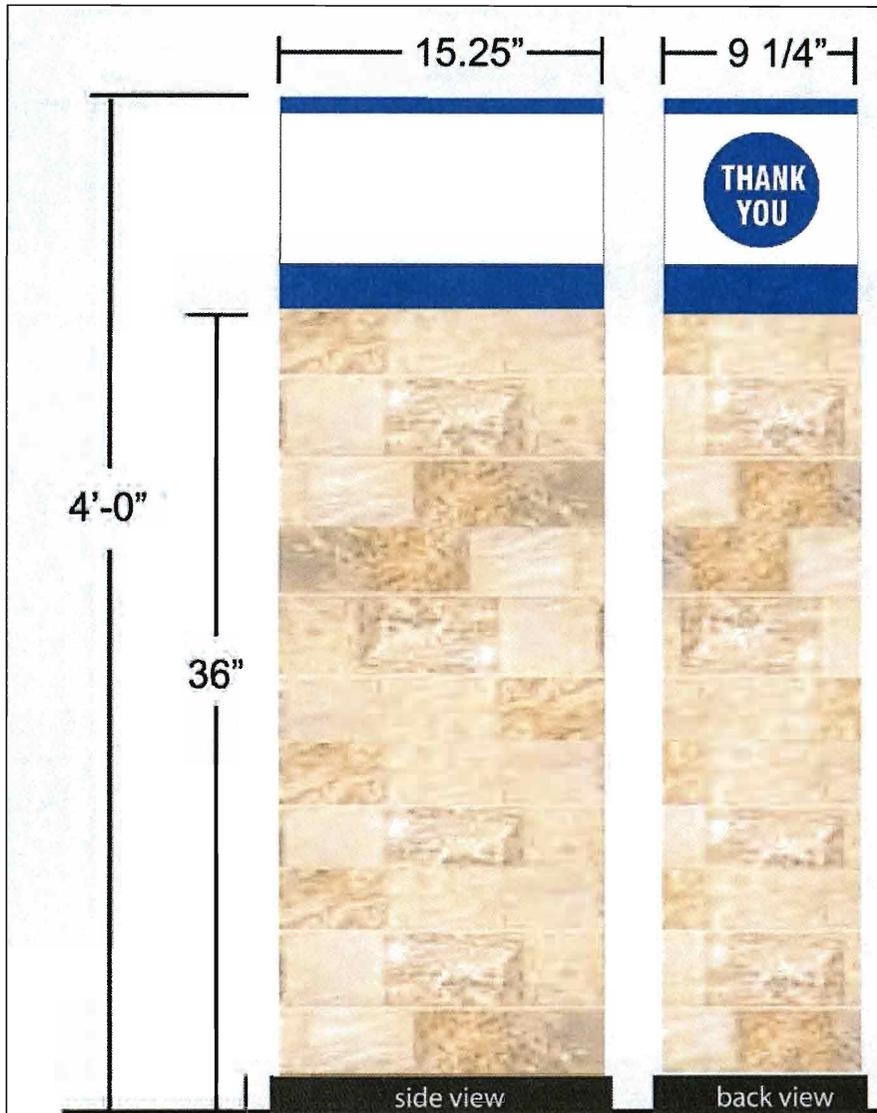
CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA  
EXHIBIT  
FOR

## KROGER J-970 CURB SIDE PICK-UP "THANK YOU" SIGN - DETAIL D

DATE: June 12, 2015

JOB NO. 2015-0596

SCALE: None



"THANK YOU" SIGN (NON-ILLUMINATED)

Aluminum angle frame with aluminum and Desert Slate Quarry Stone.  
Directional copy to be 1st surface white reflective vinyl decoration.  
PMS 293U Blue circle on a white background.

Quarry Stone  
Color: Desert Slate

**COLOR KEY**  
■ PMS 293U  
□ WHITE

# EXHIBIT C.3



Evans, Mechwart, Hambleton & Tilton, Inc.  
 Engineers • Surveyors • Planners • Scientists  
 7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
 Phone: 317.913.6930 Toll Free: 888.775.3648  
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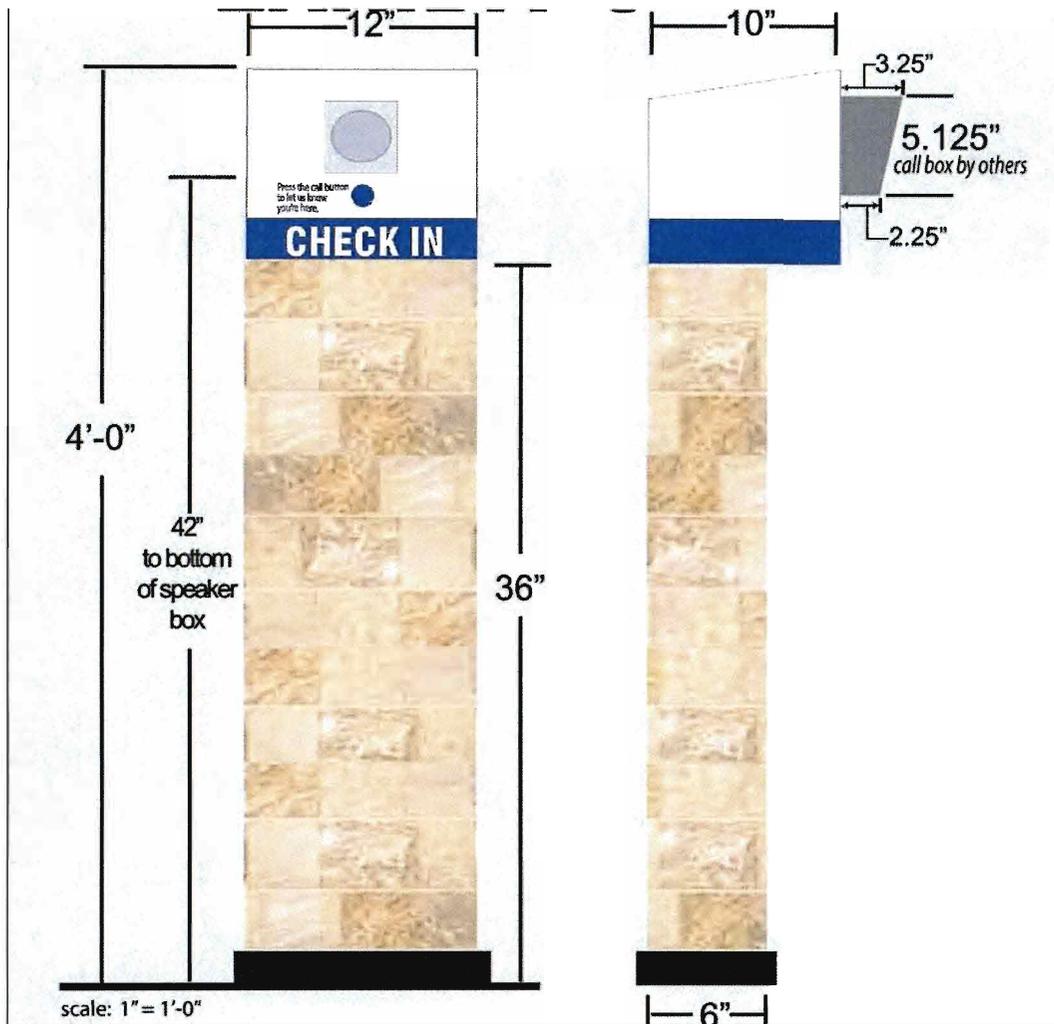
CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA  
 EXHIBIT

## FOR KROGER J-970 CURB SIDE PICK-UP CALL BOXES - DETAIL C

DATE: June 12, 2015

JOB NO. 2015-0596

SCALE: None



CALL BOXES

Speaker mechanism by others.

Aluminum angle frame with aluminum and Desert Slate Quarry Stone.

Copy to be 1st surface vinyl decoration.

PMS 293U Blue background with white copy for "Check In"

PMS 293U Blue copy for call button instruction.

Open bottom for conduit.

Quarry Stone  
 Color: Desert Slate

**COLOR KEY**

■ PMS 293U

□ WHITE

# EXHIBIT C.4



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
Phone: 317.913.6930 Toll Free: 888.775.3648

emht.com

CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA

EXHIBIT

FOR

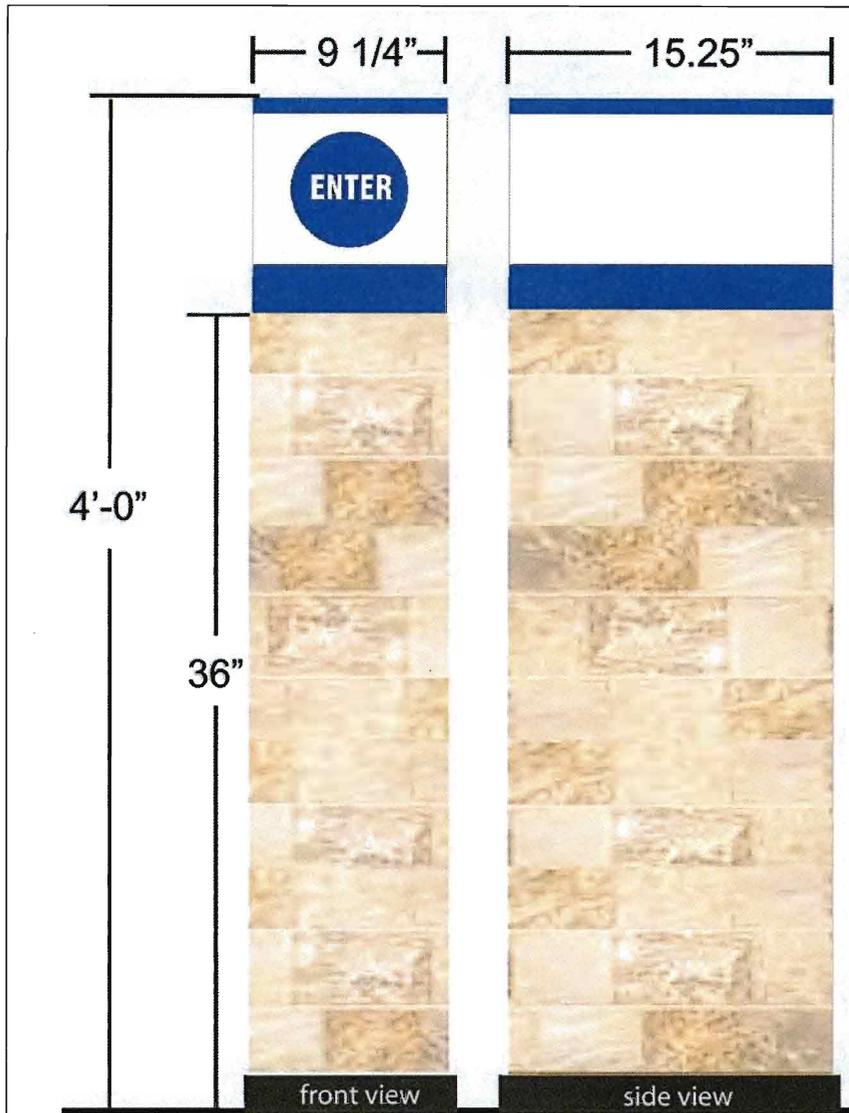
KROGER J-970 CURB SIDE PICK-UP

"ENTER" SIGN - DETAIL B

DATE: June 12, 2015

JOB NO. 2015-0596

SCALE: None



"ENTER" SIGN (NON-ILLUMINATED)

Aluminum angle frame with aluminum and Desert Slate Quarry Stone.  
Directional copy to be 1st surface white reflective vinyl decoration.  
PMS 293U Blue circle on a white background.

Quarry Stone  
Color: Desert Slate

**COLOR KEY**

■ PMS 293U

□ WHITE

# EXHIBIT C.5



Evans, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
7400 N. Shadeland Ave., Ste. 150, Indianapolis, IN 46250  
Phone: 317.913.6930 Toll Free: 888.775.3648

emht.com

CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA

EXHIBIT

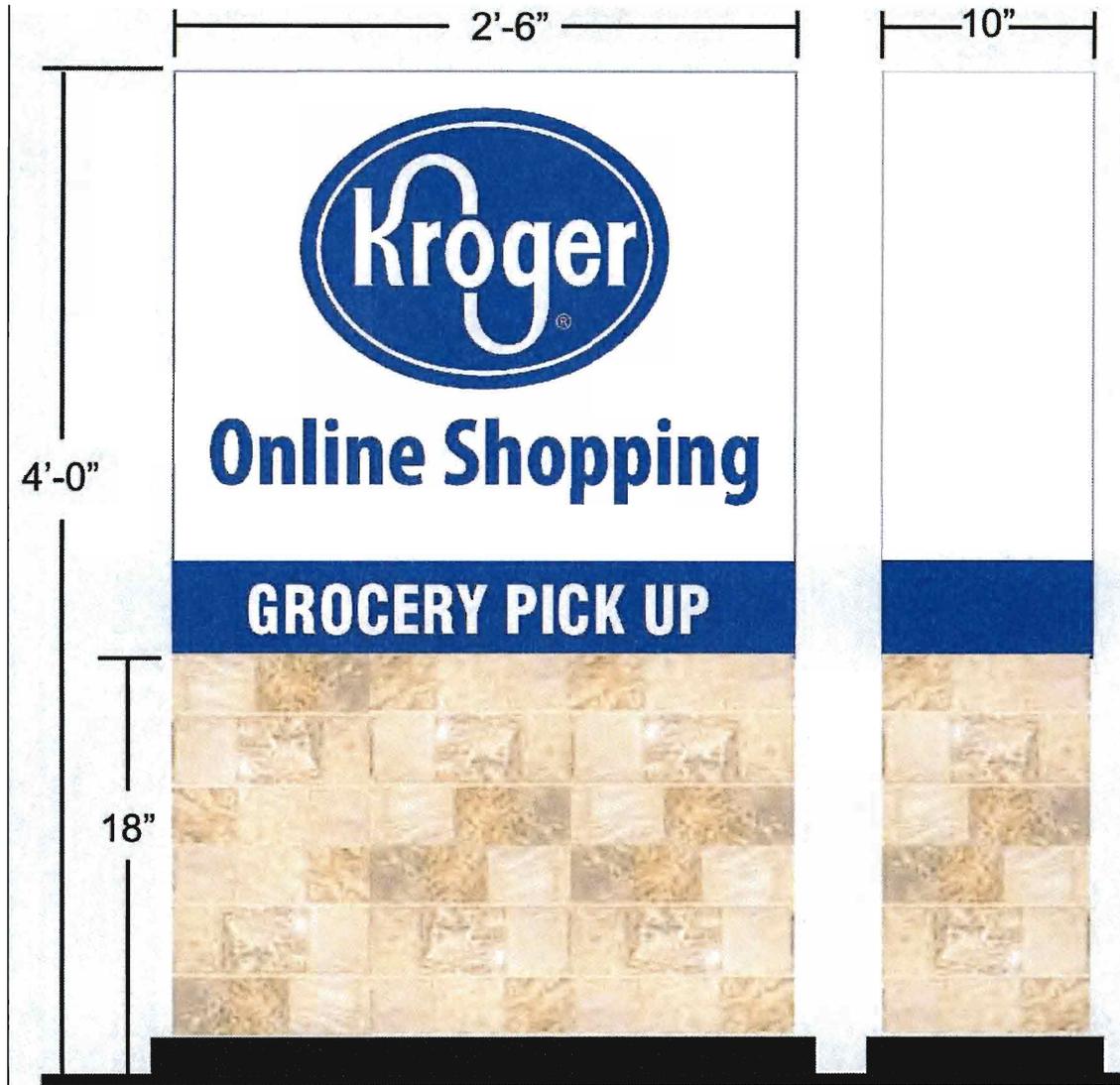
FOR

## KROGER J-970 CURB SIDE PICK-UP MONUMENT SIGN @ 161ST - DETAIL A

DATE: August 3, 2015

JOB NO. 2015-0601

SCALE: None



MONUMENT SIGN (INTERNALLY ILLUMINATED)

Routed aluminum faces with push-thru, illuminated copy.  
Base to be decorated with Desert Slate Quarry Stone.  
Removeable base cover - aluminum painted dark grey.  
Open bottom for conduit.  
Fabricated white "topper" to be single piece,  
removeable via top fasteners.

Quarry Stone  
Color: Desert Slate

**COLOR KEY**  
■ PMS 293U  
□ WHITE

**EXHIBIT C.6**



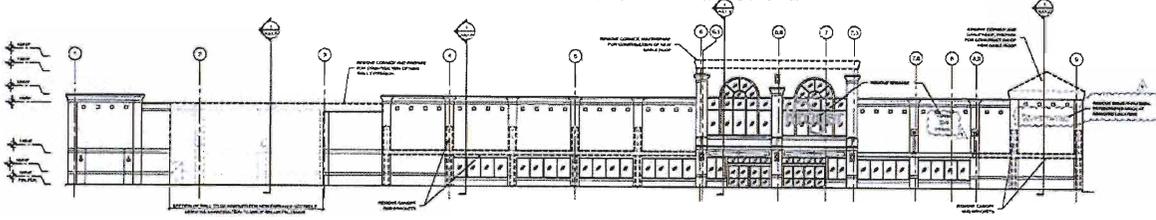
**EMHT**  
Engineers, Surveyors, Planners, Scientists  
Job Number: 2015-0601

**CANOPY SIGN**  
August 3, 2015

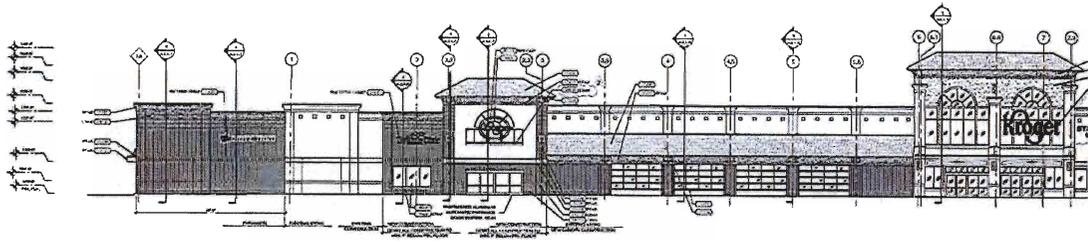


J970 Westfield, Indiana

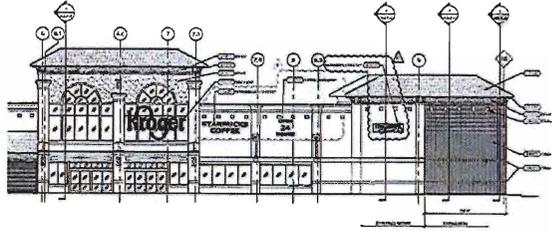
# EXHIBIT D.1



FRONT ELEVATION - WEST

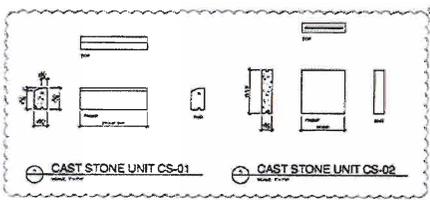


FRONT ELEVATION - WEST



FRONT ELEVATION - WEST

Total Sign Area Requested: 495.57  
 Total Sign Area Permitted by UDO outlot  
 Standards: 203.67 (based on street frontage)



- GENERAL NOTES**
1. General contractor shall provide all materials and labor for the construction of the building and shall be responsible for the overall quality of the work.
  2. All materials shall be of the highest quality and shall be approved by the architect before use.
  3. The contractor shall be responsible for obtaining all necessary permits and licenses for the construction of the building.
  4. The contractor shall be responsible for the safety of the construction site and shall provide all necessary safety equipment and personnel.
  5. The contractor shall be responsible for the protection of the existing structures and utilities on the site.
  6. The contractor shall be responsible for the removal and disposal of all debris and waste from the construction site.
  7. The contractor shall be responsible for the completion of the building in accordance with the approved plans and specifications.
  8. The contractor shall be responsible for the maintenance and repair of the building for a period of one year after completion.

- KEYNOTES**
1. All materials shall be of the highest quality and shall be approved by the architect before use.
  2. The contractor shall be responsible for obtaining all necessary permits and licenses for the construction of the building.
  3. The contractor shall be responsible for the safety of the construction site and shall provide all necessary safety equipment and personnel.
  4. The contractor shall be responsible for the protection of the existing structures and utilities on the site.
  5. The contractor shall be responsible for the removal and disposal of all debris and waste from the construction site.
  6. The contractor shall be responsible for the completion of the building in accordance with the approved plans and specifications.
  7. The contractor shall be responsible for the maintenance and repair of the building for a period of one year after completion.



THE  
**J-970**  
 FOR THE CITY OF  
 WESTFIELD, INDIANA  
 EXTERIOR  
 ELEVATIONS  
**A2.1.1**

## EXHIBIT D.2

Sign Area: 211.57sf

19 Ft 1"



Project: Kroger

Account Rep:  
Danny Gayde

Client Approval:

Address:

Request I.D.

City / State:

Design Date:  
June 02.15

Design I.D.:

Photo I.D.

D60215Pylon

Scale:

1/4" = 1'-0"

PHOTO ELEV. NOT TO SCALE

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877-381-SIGN 7446

"When Dependability Matters"

**SignDoc**

**IDENTITY LLC.**

# EXHIBIT D.3

Sign Area: 40.47sf

060-00005154 (120v)  
060-00005157 (277 v)

**SINGLE FACE WALL SIGN**

5'-7"

7'-3"

SCALE: 1" = 1'-0"

**PAN FORMED POLYCARBONATE FACE  
EMBOSSED GRAPHICS,  
RED AND BLUE VINYL GRAPHICS**

- 3630-157
- 3630-33
- WHITE

RETURNS:  
AKZO TO MATCH  
MATTHEWS P&L 2530  
CATTAIL GRAY  
(Gloss Level T.B.D.)

**SECTION VIEW**

**EMBOSSMENT DETAIL**  
Embossment Depth T.B.D.

FACE END VIEW

**CUMMINGS SIGNS**

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CUSTOMER APPROVAL:

DATE: \_\_\_\_\_

Rev. #1	DATE	BY	Rev. #4	DATE	BY
Rev. #2			Rev. #5		
Rev. #3			Rev. #6		

ACTUAL SQ. FT.: 31.65

403-LOGO-SX75C-120  
402-LOGO-SX75C-277

**DRAWING NO:**  
**52602 MSC**

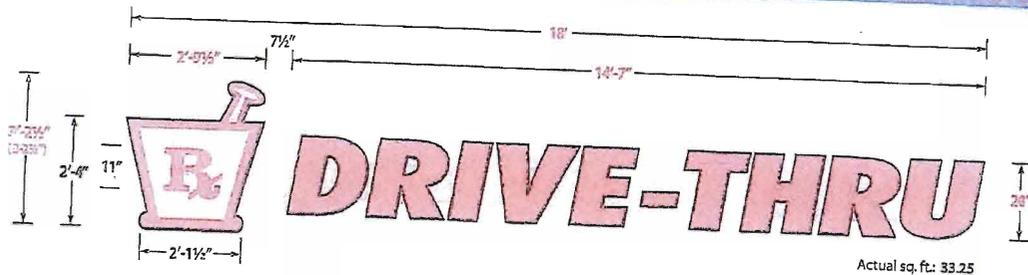
DATE: 6-30-09  
D. Pawlik

# EXHIBIT D.4

Sign Area: 57.75sf

21' :~

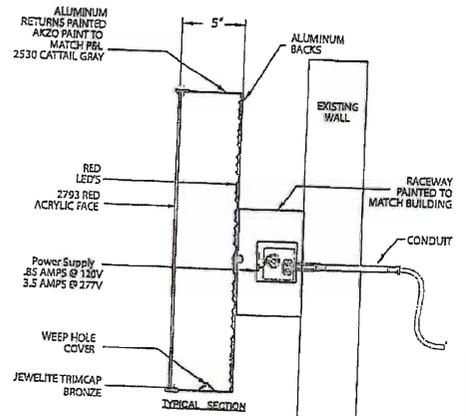
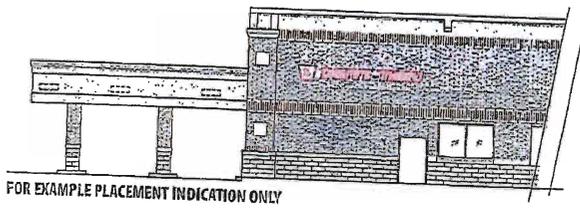
CHANNEL LETTER SET - RACEWAY MOUNT



2793 RED ACRYLIC FACE

JEWELITE TRIMCAP BRONZE

FILLER:  
AKZO TO MATCH  
MATTHEWS P&L 2530  
CATTAIL GRAY  
(Gloss Level T.B.D.)



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CUSTOMER APPROVAL:

DATE: \_\_\_\_\_

Rev. #1 \_\_\_\_\_ DATE \_\_\_\_\_ BY \_\_\_\_\_

Rev. #2 \_\_\_\_\_

Rev. #3 \_\_\_\_\_

Rev. #4 \_\_\_\_\_ DATE \_\_\_\_\_ BY \_\_\_\_\_

Rev. #5 \_\_\_\_\_

Rev. #6 \_\_\_\_\_

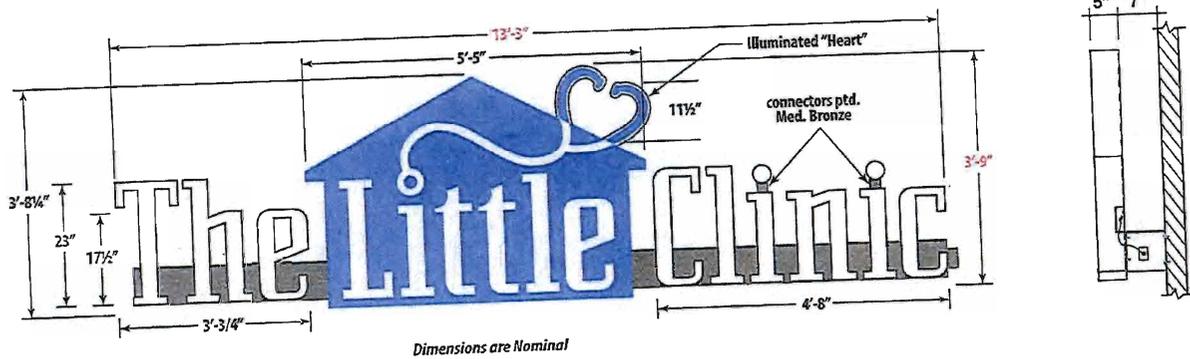


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DRAWING NO:  
53154.24  
DATE: 2-7-09  
S. Hawke

# EXHIBIT D.5

Sign Area: 49.69sf



# EXHIBIT D.6

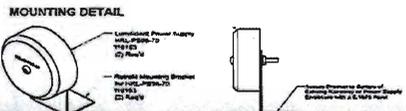


**SCOPE OF WORK:**  
 Remove and discard existing 18" channel letter set.  
 Install one (1) new set of raceway mounted channel letters. Letters are 18" tall and internally illuminated with LEDs.  
 New set installs in same position on elevation.

**DESCRIPTION:**  
 New set of internally illuminated raceway mounted channel letters. Letters to be of aluminum construction with pre-finished black returns and white letter interior. Letter faces to be 7328 LD white acrylic with translucent vinyl overlay applied first surface. Leave white border around letter perimeter. Faces are secured with Jewelite trimcap. Illumination to be Lumilux White LED's. All letters are mounted to 5 1/2" tall x 3 1/2" deep aluminum raceway, which installs on elevation. Power supplies are located inside raceway.

**COLOR SCHEDULE:**

- Letter faces = 7328 LD white acrylic with 3M 3630-76 Holly Green translucent vinyl overlay leaving outline to show white border around letters
- Aluminum Returns = Pre-finished black
- Jewelite Trimcap = 1" Black
- Internal Illumination = Lumilux White LED's
- Aluminum Raceway = TBD is not a color



Client Approval:

- ELECTRICAL NOTES:**
- All materials and laborers must 2004-11
  - All electrical components are UL listed and approved.
  - Sign grounded according to NEC 8507.7
  - Signs manufactured and listed NEC 800.3 and marked per NEC 800.4.
  - All branch circuits per NEC 800.5(B), 1 or (B), 2.
  - All signs controlled by photocell or time clock per NEC 13-11.3, (NEC) 1.4.
  - One visible 20 amp disconnect per sign per circuit per NEC 800.6(A), 1

**ELECTRICAL CHART**

Quantity	Item	LED PL + Jumper	AMPS @ 120V
1	25.2" x 2"		0.8A
3	20.2" x 4"		0.6A
2	18.2" x 4"		0.6A
<b>TOTAL</b>			<b>1.2A</b>

**KEY**

	LED
	Jumper

**Project:** STARBUCKS  
**Account Rep:** Danny Gayde  
**Design Date:** 8.06.15  
**Version:** Version 1 STACKED  
**Scale:** 1/2" = 1'-0"  
 PHOTO ELEV. NOT TO SCALE

**Checklist**

Planned ✓ as appropriate items

- All spelling is correct.
- All colors are correct.
- All dimensions are correct.
- Art is approved with noted changes.
- Changes noted, provide revision.

**"WHEN DEPENDABILITY MATTERS"**

**SIGNDOC**

**IDENTITY LLC.**

**317-247-9670**

**www.SIGNDOC.com**

**dg** **DIGITAL GRAPHICS & WRAPS**

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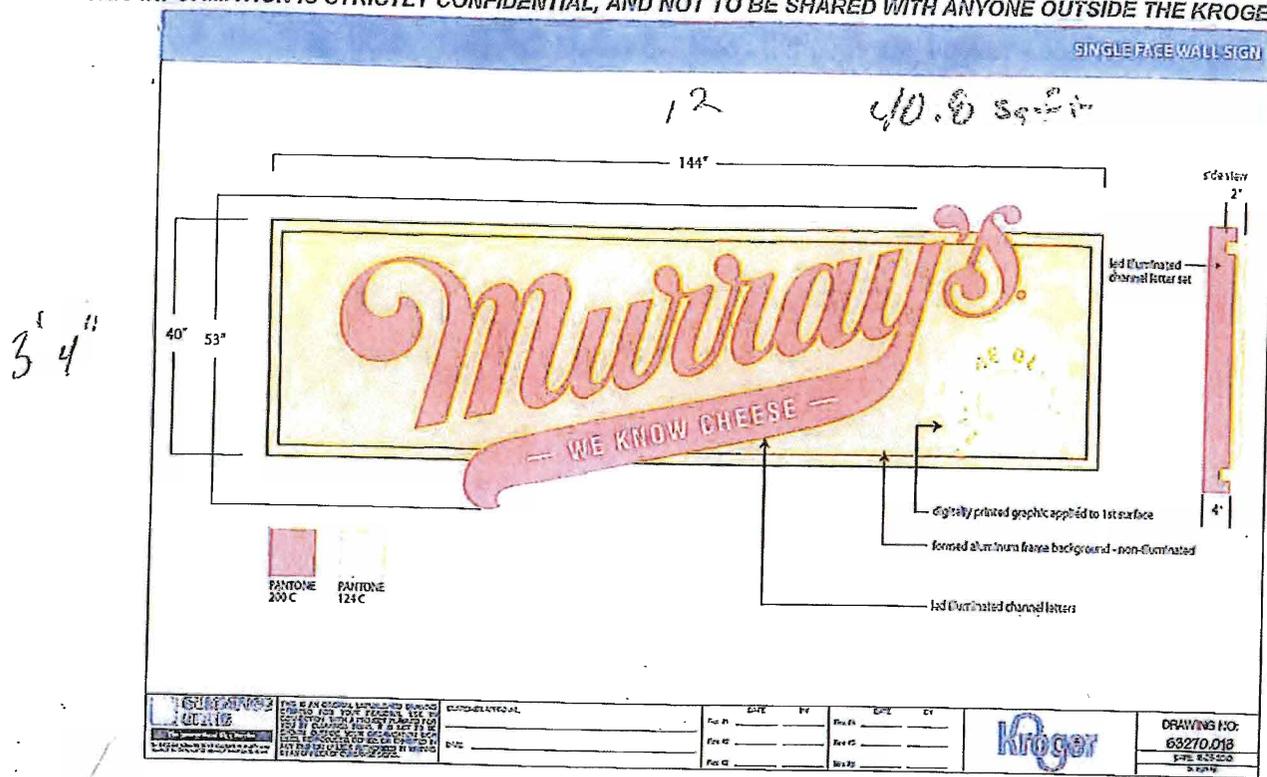
**765-349-9500**

**www.DGGRAPHICSIGNS.com**

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# EXHIBIT D.7

THIS INFORMATION IS STRICTLY CONFIDENTIAL, AND NOT TO BE SHARED WITH ANYONE OUTSIDE THE KROGER CO.



<small>THIS IS AN ORIGINAL ILLUMINATED SIGNAGE DRAWING FOR YOUR RECORD. USE IN CONNECTION WITH A PROPER LICENSE FOR THE USE OF CHANNEL LETTERS AS SET FORTH IN LOCAL ORDINANCES. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.</small>	<small>ESTIMATED TOTAL</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____		DRAWING NO: <b>63270.018</b> <small>DATE: 8/25/2009</small>	
	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____		DRAWING NO: <b>63270.018</b> <small>DATE: 8/25/2009</small>
	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____	<small>DATE</small> DATE: _____ BY: _____ DATE: _____ BY: _____		DRAWING NO: <b>63270.018</b> <small>DATE: 8/25/2009</small>

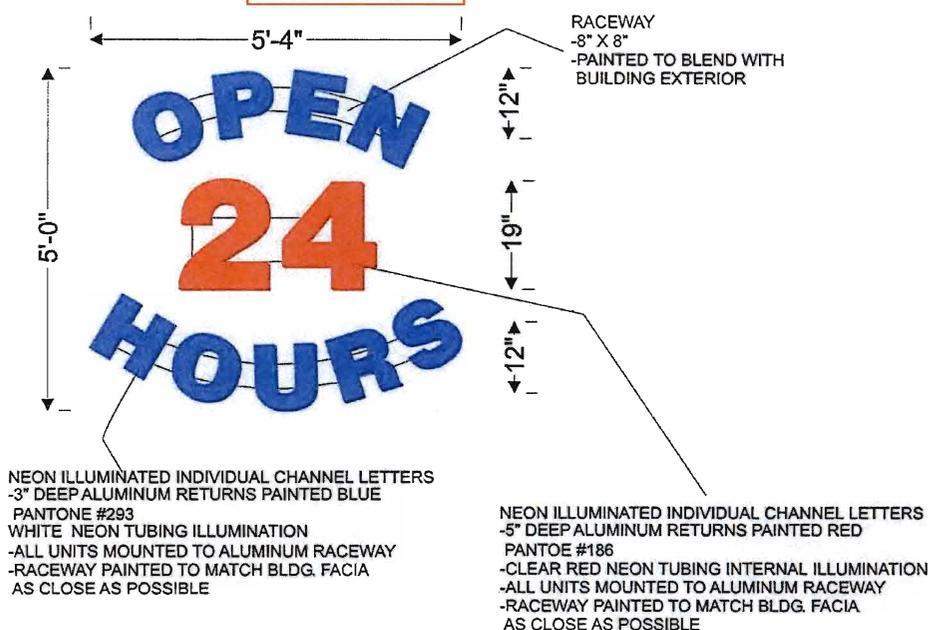
**\*\*\*Self-Contained Internally Illuminated Hanging Sign is recommended to be used if zoning does not permit the use of exterior Murray's Cheese signage\*\*\***

**Sign Area: 53.00sf**

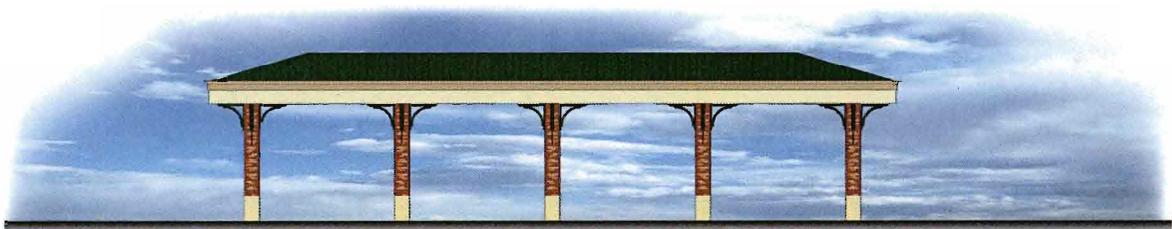
# EXHIBIT D.8

## OPEN FACE NEON ILLUMINATED CHANNEL LETTERS RACEWAY MOUNTED

Sign Area: 26.67sf



Project:	Account Rep: Name	Client Approval:
Address:	Request I.D.	
City / State:	Design Date: Jan 14-10	
Design I.D.: ID	Photo I.D.	
Scale: 1/2" = 1'-0" PHOTO ELEV. NOT TO SCALE	<small>© All artwork, design concepts, engineering drawings and reproductions are copyright protected and shall remain the sole property of SignDoc Identity LLC. Use of the material without prior knowledge and consent of SignDoc Identity LLC management is forbidden. Customer will be responsible for all legal action and consequences.</small>	<p>(317) 247-9670 877-381-SIGN 7446</p> <p><b>"When Dependability Matters"</b> <b>Sign Doc</b> <b>IDENTITY LLC.</b></p>



NORTH/SOUTH ELEVATION



EAST/WEST ELEVATION

ALL MATERIALS ON PROPOSED CANOPY TO  
MATCH MATERIALS ON FUEL CENTER CANOPY

EXHIBIT E



proposed canopy  
July 21, 2015

Kroger J970  
Westfield, IN  
513111

