



VICINITY MAP  
NOT TO SCALE



# CIRCLE K STORES MIDWEST REGION SITE DEVELOPMENT

CIRCLE K - SITE# 2281

1821 E 151ST STREET  
WESTFIELD, INDIANA  
HAMILTON COUNTY

### Sheet List Table

Sheet Number	Sheet Title
CS	COVER SHEET
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2 OF 2	ALTA ACSM TITLE SURVEY
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C1.0	SITE PLAN
C2.0	GRADING PLAN
C2.1	CANOPY AREA GRADING PLAN
C3.0	UTILITY PLAN
C4.0	LANDSCAPING PLAN
C6.0	SITE DETAILS & SPECIFICATIONS
C6.1	SITE DETAILS & SPECIFICATIONS
C6.2	SITE DETAILS & SPECIFICATIONS
C6.3	SITE DETAILS & SPECIFICATIONS
C6.4	SITE DETAILS & SPECIFICATIONS
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C6.6	SITE DETAILS & SPECIFICATIONS
C6.7	CONSTRUCTION NOTES

### SITE CHARACTERISTICS

SITE DATA CHART	
PROJECT NAME:	PROPOSED CIRCLE K CONVENIENCE STORE AND FUELING STATION
ADDRESS:	1821 E 151ST STREET
CITY:	WESTFIELD
COUNTY:	HAMILTON
STATE:	INDIANA
ZONING INFORMATION	
EXISTING ZONING:	GB GENERAL BUSINESS
MINIMUM REQUIRED SETBACK LINES AND MAX BUILDING HEIGHT:	
FRONT BUILDING YARD SETBACK:	90 FEET FROM CENTERLINE OF ROAD
REAR BUILDING YARD SETBACK:	45 FEET
SIDE BUILDING YARD SETBACK:	45 FEET
FRONT LANDSCAPING GREEN BELT:	10 FEET
PROJECT POST-DEVELOPMENT CHARACTERISTICS	
TOTAL CIRCLE K PARCEL AREA:	1.545 Ac. (67,304 S.F.)
IMPERVIOUS SURFACE AREA:	1.22 Ac. (53,224 S.F.)
IMPERVIOUS COVERAGE OF LOT:	77.8%
BREAKOUT OF USES:	N/A
TOTAL DISTURBED AREA (INCL. R/W AREA):	1.56
IMPERVIOUS SURFACE AREA:	1.026
PERCENT OF IMPERVIOUS COVERAGE:	79.5%
BREAKOUT OF USES:	N/A
BUILDING INFORMATION	
BUILDING SQUARE FOOTAGE:	
EXISTING BUILDING AREA:	N/A - EXISTING STRUC. TO BE RAZED
PROPOSED BUILDING AREA:	6,325 S.F.
BUILDING HEIGHT:	
EXISTING BUILDING:	N/A - EXISTING STRUC. TO BE RAZED
PROPOSED BUILDING:	1-STORY
BUILDING COVERAGE OF LOT:	9.4%
PARKING INFORMATION	
MINIMUM PARKING REQUIREMENTS:	N/A
PARKING PROVIDED:	
PARKING SPACES @ 9.5' X 18'	39 SPACES
HANDICAP SPACES @ 9.5' X 18'	2 SPACES
DELIVERY TRUCK SPACES @ 11.5' X 44'	1 SPACES
TOTAL PARKING PROVIDED:	42 SPACES
No. EMPLOYEES/SHIFT:	3

### REFERENCE DRAWINGS

#### ARCHITECTURAL DRAWINGS

Sheet Number	Sheet Title
A1-01	FLOOR PLAN
A4-01	EXTERIOR ELEVATIONS
A4-02	EXTERIOR ELEVATIONS
A4-03	GAS CANOPY ELEVATIONS

#### LIGHTING DRAWINGS

Sheet Number	Sheet Title
RL-3124-S1-R1 1 OF 5	EXTERIOR PHOTOMETRIC APPLICATION
RL-3124-S1-R1 2 OF 5	FIXTURE DETAILS
RL-3124-S1-R1 5 OF 5	FIXTURE SPECIFICATIONS



CIRCLE K STORES, INC.  
4080 W. JONATHAN MOORE PIKE  
COLUMBUS, IN 47201

CONSULTANT:



Wellert Corporation  
5136 Beach Road • Medina, Ohio 44256  
T. 330.239.2699 • F. 330.239.0272

NO.	DATE	REVISION DESCRIPTION
1	2/16/16	SUBMITTED FOR ZONING PERMIT



PROJECT TITLE

RAZE AND REBUILD  
CIRCLE K  
SITE #2281

SITE ADDRESS:

1821 E 151ST STREET  
WESTFIELD, IN 46033  
HAMILTON COUNTY

SCALE: AS NOTED

DATE: 2/15/2016

DESIGNED BY: BSW

DRAWN BY: BSW

CHECKED BY: RWW

FILE NAME: 150617-CS.dwg

JOB NUMBER: 150617

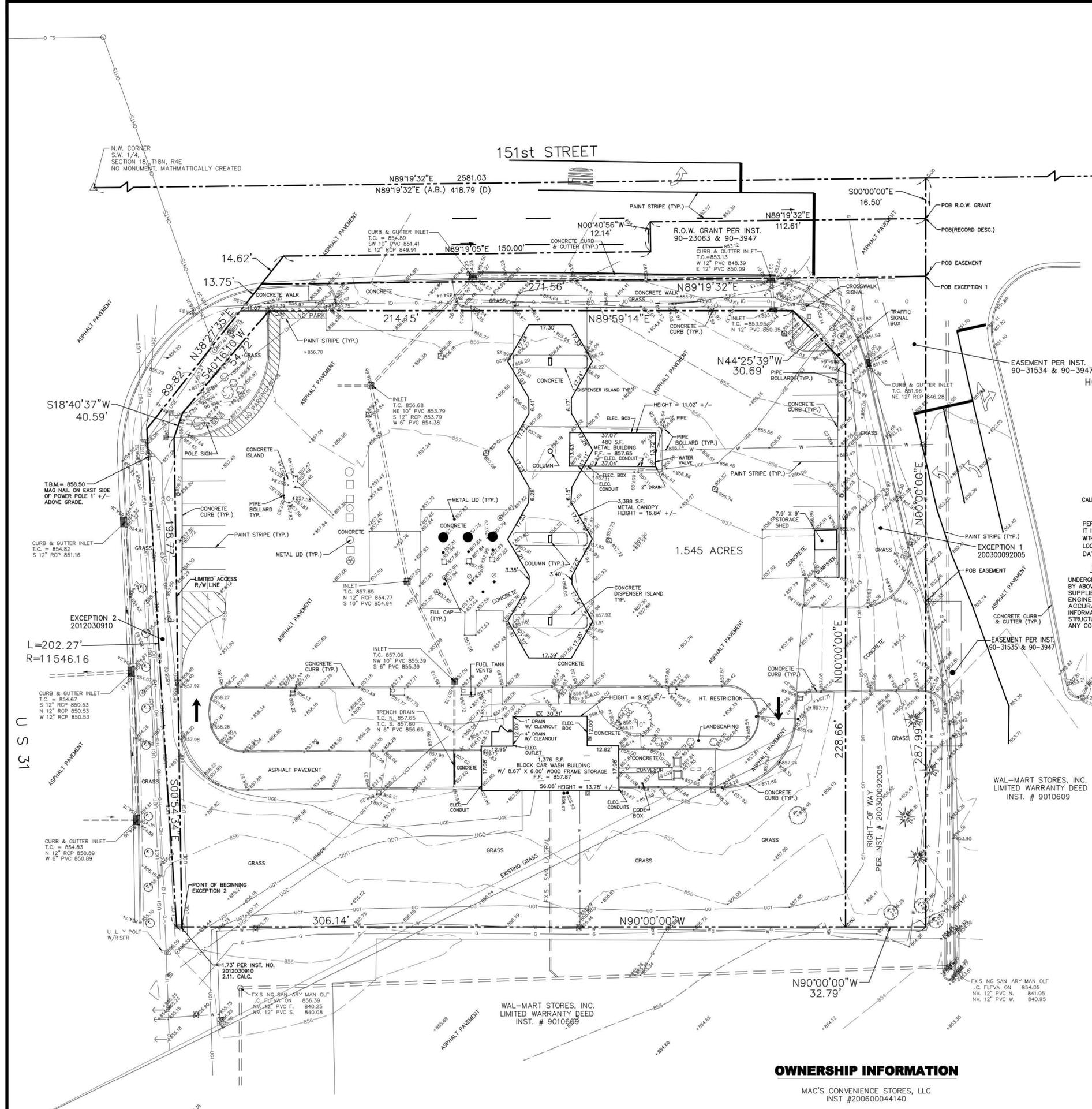
DRAWING TITLE:

COVER SHEET

SHEET NO:

CS





**BENCHMARK DATA**

BM HAM 12 - IN HAMILTON COUNTY, ABOUT 2.1 MILES NORTH OF CARMEL, 2.0 MILES NORTH ALONG STATE ROAD 431 AND THEN U.S. HIGHWAY 31 FROM ITS INTERSECTION WITH STATE ROAD 234 IN CARMEL TO AN EAST-WEST ROAD, THENCE 0.55 FEET EAST TO A 30-FOOT CONCRETE BRIDGE OVER COOL CREEK, SET IN THE TOP OF THE EAST END OF THE SOUTH GUARDRAIL, 9 FEET SOUTH OF THE CENTER LINE OF THE ROAD, 2.1 FEET ABOVE THE ROADWAY, 0.9 FOOT WEST OF THE EAST FACE OF THE SOUTH GUARDRAIL, A STANDARD INDIANA FLOOD CONTROL AND WATER RESOURCES COMMISSION BRONZE BENCH MARK TABLE, STAMPED HAM 12 1959 ELEVATION - 825.08

**EXISTING LEGEND**

- |        |  |     |                       |
|--------|--|-----|-----------------------|
| 830.56 | SPOT ELEVATION                                 | □   | STORM INLET           |
| 831    | SPOT ELEVATION TOP CURB                        | UGF | UNDERGROUND ELECTRIC  |
| 831    | CONTOUR  | UG  | UNDERGROUND TELEPHONE |
| ⊙      | AIR VACUUM                                     | W   | 6" WATER LINE         |
| ⊙      | AREA/STREET LIGHT                              | W   | 6" WATER VALVE        |
| ⊙      | UTILITY POLE                                   | W   | 6" FIRE HYDRANT       |
| ⊙      | UTILITY POLE W/ GUY LINE                       | W   | 6" WATER METER        |
| ⊙      | PAY TELEPHONE                                  | 6"  | GAS LINE              |
| ⊙      | TELEPHONE PEDESTAL                             | 6"  | GAS METER             |
| ⊙      | ELECTRIC METER                                 | ⊙   | DECIDUOUS TREE/BUSH   |
| ⊙      | MONITOR WELL                                   | ⊙   | EVERGREEN TREE/BUSH   |
| ⊙      | TRAFFIC SIGNAL MANHOLE                         | ⊙   | BUSH                  |
| ⊙      | CATCH BASIN (ROUND)                            | ○   | FENCE                 |
| ⊙      | CURB & GUTTER INLET                            | ○   | SIGN                  |
| ⊙      | GAS LINE MARKER                                | ○   | TRAFFIC SIGNAL POLE   |
| ⊙      | MANHOLE (TYPE NOTED)                           | ⊙   | LAWN SPRINKLER        |
| ⊙      | SMART PUMP CONTROL POINT (MAG NAIL SET IN HUB) |     |                       |

**HOLEY MOLEY SAYS 'DIG SAFELY'**



**'IT'S THE LAW'**  
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**1-800-382-5544**  
CALL TOLL FREE

PER INDIANA STATE LAW IC8-1-26. IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

**SURVEYOR'S NOTE**

UNDERGROUND UTILITIES HAVE BEEN LOCATED BY ABOVE GROUND EVIDENCE AND INFORMATION SUPPLIED BY UTILITY SPOTTERS. INSIGHT ENGINEERING CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. LOCATIONS OF UTILITIES AND STRUCTURES SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

Schedule B Items (from Title Policy No. 000367015 dated August 1, 2006)

- Easement for electric lines and associated rights granted to Public Service Company of Indiana, Inc., an Indiana Corporation as set out in Electric Underground Line Easement dated October 15, 1976 and recorded October 26, 1976 in Book 292, page 210 as Instrument Number 16795 does not give dimensions for the location of the easement. The easement appears to be located for the eastern 10 feet of the property and can not be accurately plotted. This easement area now falls in Westfield right-of-way.
- Right-of-way Granted to the Board of Commissioners of Hamilton County on behalf of the Hamilton County Highway Department as set out in Memorandum Agreement dated January 10, 1990 and recorded February 21, 1990 as Instrument Number 90-3947. This is shown and incorporated in the same grant area as # 6, 8 & 9.
- Right-of-way granted to Board of Commissioners of Hamilton County as set out in Deed for Public Way dated May 15, 1990 and recorded September 18, 1990 as Instrument Number 90-23063. This is shown and incorporated in the same grant area as # 5, 8 & 9.
- Easement for pedestrian and vehicular ingress and egress as set out in Grant of Easement dated July 16, 1990 and recorded December 26, 1990 as Instrument Number 90-31534. This is shown and incorporated in the same grant area as # 5, 6, 8 & 9. This easement area is now a part of the right-of-way grant in # 9.
- Easement for ingress egress as set out in Grant of easement dated July 16, 1990 and recorded December 26, 1990 as Instrument Number 90-31535. This easement area is now accessed through the right-of-way described in # 9.
- Right-of-way to the Town of Westfield as set out in Grant of Right-of-way dated August 1, 2003 and recorded September 9, 2003 as Instrument Number 200300092005. This is shown and is incorporated in the same grant area as # 5, 6 & 8.

**OWNERSHIP INFORMATION**

MAC'S CONVENIENCE STORES, LLC  
INST #200600044140

**SURVEY VOID IF NOT ACCOMPANIED BY SHEET 2 OF 2**

INSIGHT ENGINEERING Inc.  
Civil/Site Design  
Land Planning  
Land Surveying  
Development Consulting  
Suite C  
9765 Randall Drive  
Indianapolis, IN 46280  
(317) 848-8040  
(317) 848-8080 fax  
www.insightengineering.com

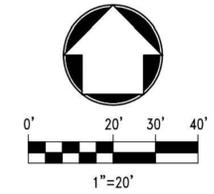
NO.	DATE	REVISION DESCRIPTION

CLIENT:  
  
CONFIDENTIALITY STATEMENT:  
The recipient of these materials understands that copyright in the materials is owned by IEI, and also, that the materials contain privileged and confidential business information of IEI. Accordingly, the recipient agrees to retain these materials in strict confidence and agree not to disclose these materials to any other party and further agrees not to make copies of the materials. The recipient agrees to use the materials only for the limited purpose for which IEI has made the materials available, and recipient agrees to return all materials to IEI after upon completion of the intended purpose or upon the request of IEI, whichever comes first.

SITE ADDRESS:  
**1821 E. 151ST STREET**  
U.S. 31 & E. 151ST STREET  
CARMEL, INDIANA

SCALE: 1"=20'  
DATE: 10/10/15  
DESIGNED BY: N/A  
DRAWN BY: HWR  
CHECKED BY: SOS  
FIELD BOOK #:  
FILE NAME: 9522W-SU  
DRAWING TITLE:

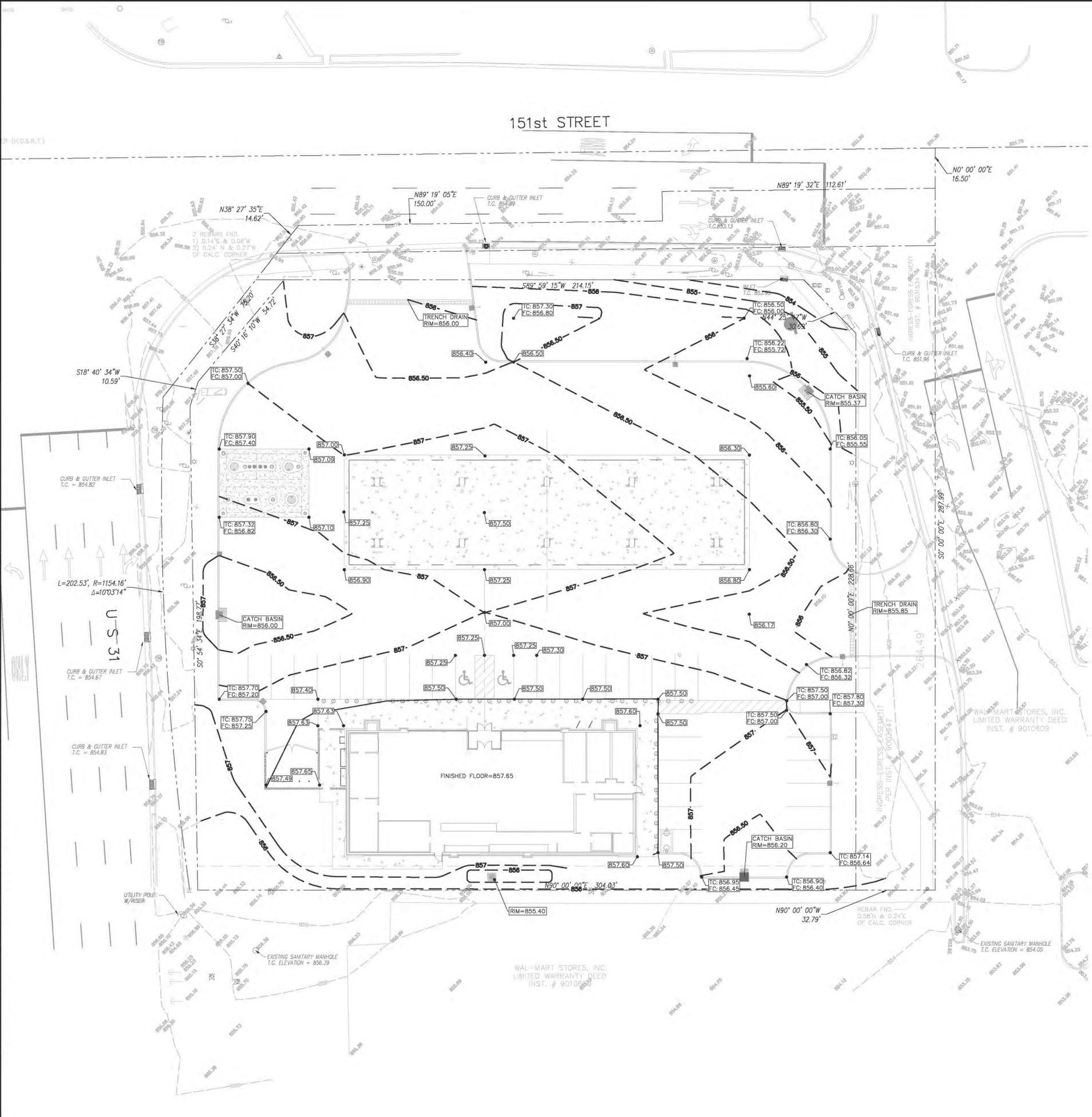
**ALTA/ACSM LAND TITLE SURVEY**  
SHEET NO.  
**1 of 2**



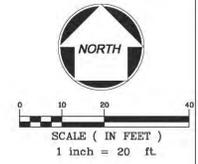








- GRADING LEGEND:**
- TC - TOP OF CURB
  - FC - PAVEMENT ELEVATION AT FACE OF CURB
  - T/ISL - TOP OF ISLAND
  - PV - TOP PAVEMENT (ASPHALT/CONC) ELEV
  - FG - FINISH GRADE ELEVATION
  - TW - TOP OF WALK ELEVATION
  - EX - EX GROUND ELEVATION (ESTIMATED)
  - M.E.G. - MATCH EXISTING GRADE
  - EXISTING ELEVATIONS SHOWN +0000.00
  - FINISH ELEVATIONS SHOWN
  - ESTIMATED ELEVATIONS SHOWN
  - EXISTING CONTOURS SHOWN
  - PROPOSED CONTOURS SHOWN
  - PROPOSED RIDGE LINE



**GRADING GENERAL NOTES:**

1. SEE SITE PLAN AND C6.6 FOR ADDITIONAL GENERAL NOTES.
2. DEVELOPMENT PLANS ARE BASED ON THE ALTA/ASCM LAND TITLE SURVEY BY WELLET CORPORATION, DATED 11/10/2015.
3. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE PROPOSED CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL NOT USED ON THE JOB SITE.
7. PROPOSED PAVEMENT AND BUILDING AREAS ARE TO BE PROOF-ROLLED IMMEDIATELY PRIOR TO CONSTRUCTION. ANY AREAS FOUND TO BE "SOFT" OR "SPONGY" ARE TO BE OVER-EXCAVATED TO FIRM EARTH AND BACKFILLED PER SPECIFICATIONS.
8. COMPACTION TESTING OF FILL MATERIAL UNDER PROPOSED PAVEMENT AREAS SHALL BE PERFORMED AS DIRECTED BY OWNERS REPRESENTATIVE. FILL WHICH FAILS TO MEET THE APPLICABLE COMPACTION REQUIREMENTS SHALL BE CORRECTED BEFORE PAVING WILL BE PERMITTED.
9. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE ENGINEER.
10. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND THE ODOT MATERIAL AND CONSTRUCTION SPECIFICATIONS.
11. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OUPS AT 1-800-362-2764 AT LEAST 48 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
13. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 98% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
14. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
15. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
16. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
17. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
18. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
19. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
20. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
21. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO STORMWATER POLLUTION PREVENTION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
22. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
23. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
24. ALL DISTURBANCE INCURRED TO TOWNSHIP, COUNTY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE LOCAL MUNICIPALITY AND/OR ODOT.
25. ALL CONSTRUCTION SHALL COMPLY WITH CIRCLE K AND THE LOCAL MUNICIPALITY'S STANDARDS AND ODOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS.
26. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
27. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
28. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
29. ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY XXXXXXXXXXXXX.



NO.	DATE	REVISION DESCRIPTION
1	02/16/16	SUBMITTED FOR ZONING PERMIT



PROJECT TITLE

PROPOSED  
CIRCLE K

SITE ADDRESS

1821 E. 151ST STREET  
WESTFIELD, IN 46033  
HAMILTON COUNTY

SCALE: 1" = 20'

DATE: 01/18/2016

DESIGNED BY: RWV

DRAWN BY: BSW

CHECKED BY: RWV

FILE NAME: 150617-C2.dwg

JOB NUMBER: 150617

DRAWING TITLE

GRADING PLAN

SHEET NO.

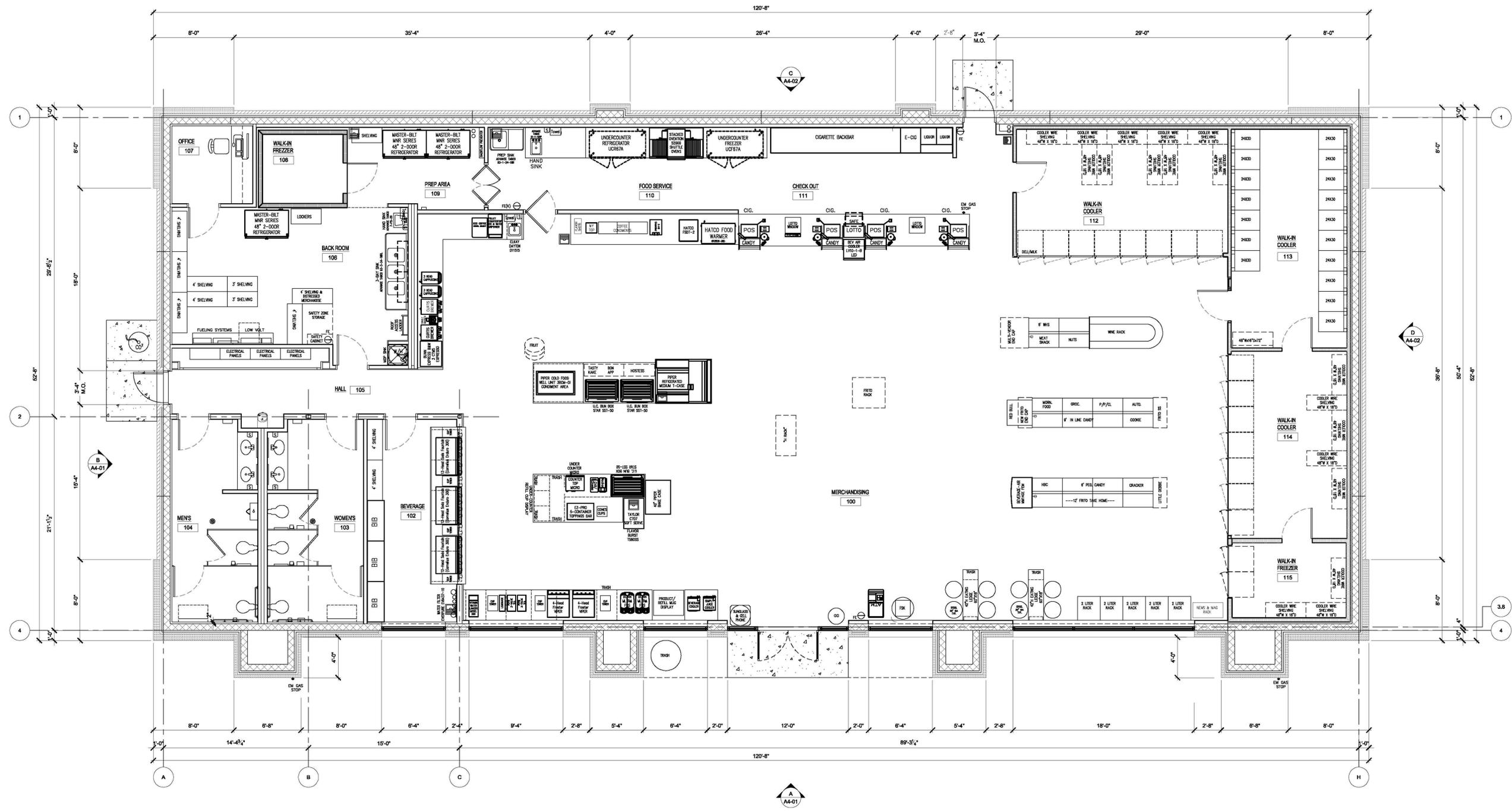
C2.0

**ADA COMPLIANCE NOTE**

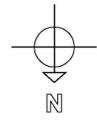
ALL RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ADA REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, INCLUDING ALL SUPPLEMENTS. SIDEWALKS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 1:64 (1.56%). CROSS-SLOPE OF CROSSWALK AREAS BETWEEN CURB RAMPS SHALL NOT EXCEED 1:64 (1.56%).







1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROJECT: **Circle K 2281 Westfield**  
1821 East 151st Street  
Westfield, IN 46053  
CLIENT: **Circle K Midwest**  
4080 Johnathan Moore Pike  
Columbus, IN 47201

ARCHITECT: **cupkoma architecture llc**  
6000 Theobalds Woods Blvd  
Cincinnati, Ohio 45111  
216.524.8400 phone  
www.cupkoma.com  
info@cupkoma.com

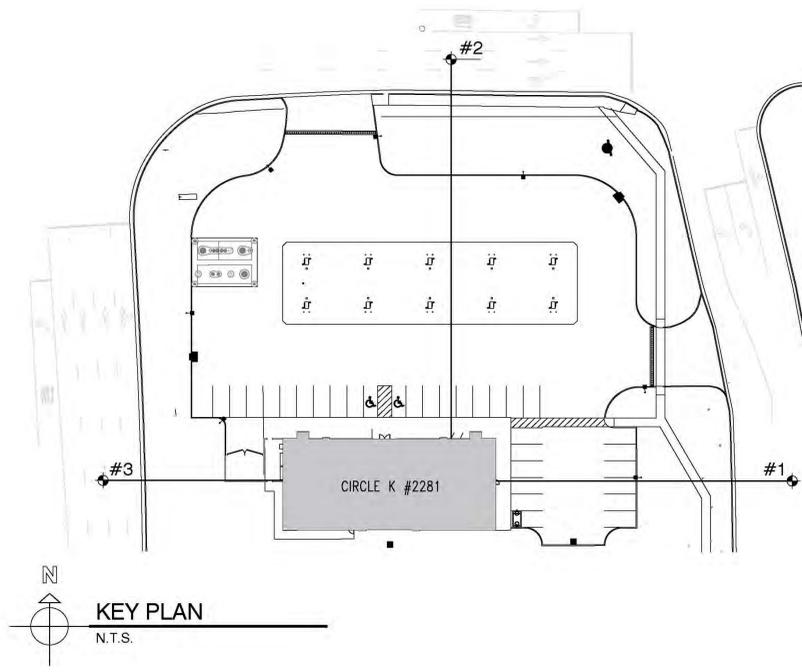
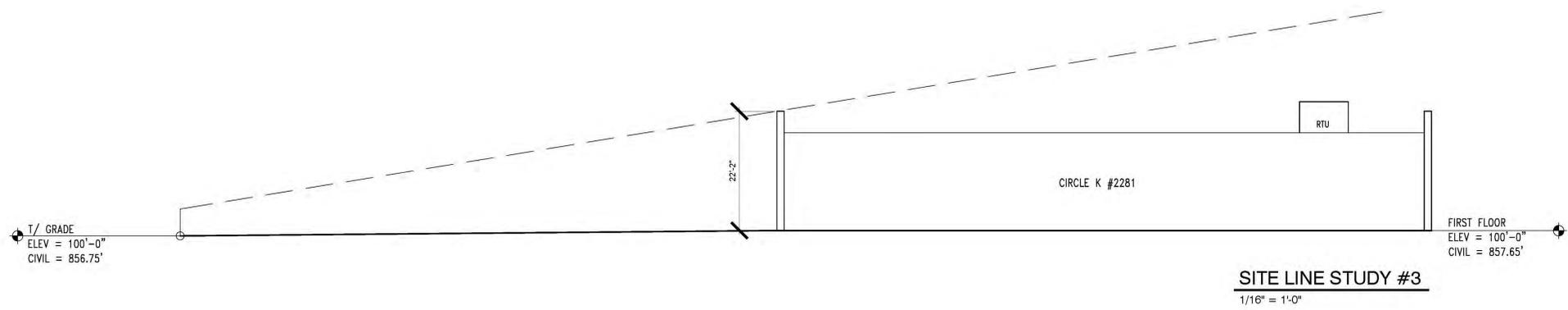
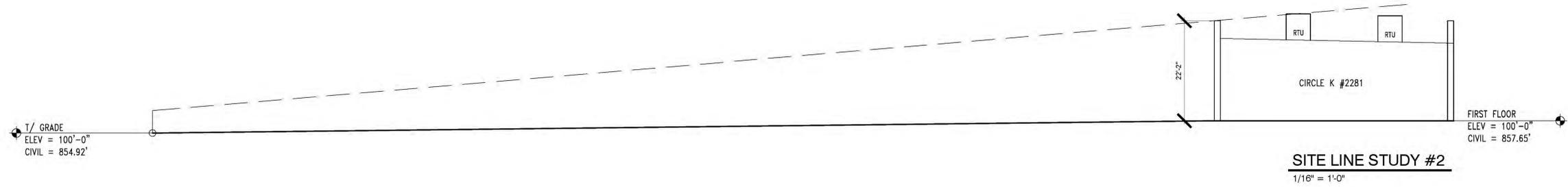
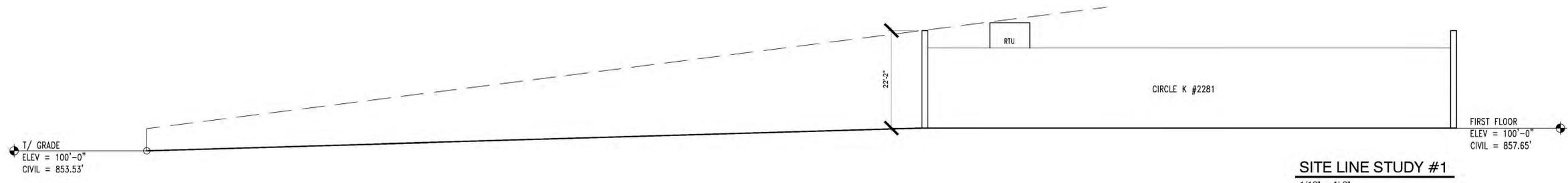
SCALE

NUMBER	DESCRIPTION	DATE

NUMBER	DESCRIPTION	DATE

DRAWING TITLE: **STORE #2281 Westfield FLOOR PLAN**

DESIGNED BY: <b>TS</b>	CHECKED BY: <b>SDM</b>
SCALE: <b>1/4" = 1'-0"</b>	
ISSUE DATE: <b> </b>	
JOB NUMBER: <b>15-312</b>	
DRAWING NUMBER: <b>A1-01</b>	



PROJECT  
**Circle K 2281 Westfield**  
 1821 East 151st Street  
 Westfield, IN 46033  
 CLIENT  
 Circle K Midwest  
 4080 Jonathan Moore Pike  
 Columbus, IN 47201

SEAL  
**CUPKOVIC architecture llc**  
 www.cupkovic.com  
 216.524.8400 phone  
 216.524.8461 fax  
 6060 Burdick's Woods Blvd  
 Cincinnati, Ohio 45110

NUMBER	DESCRIPTION	DATE

NUMBER	DESCRIPTION	DATE

DRAWING TITLE  
**STORE #2281 Westfield**  
**SITE LINE STUDY**

DESIGNED BY  
 TS

CHECKED BY  
 SDM

SCALE  
 1/16" = 1'-0"

DATE  
 .

JOB NUMBER  
 15-318

DRAWING NUMBER  
**G1-02**